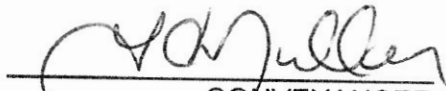



35

Prepared by me

FEES	
Stamp Duty	
REG	R1 270-00
Waiver	
D/M Bond	


 CONVEYANCER
 SHERALEE ANN MULLEN

2020 -06- 2 2

T 000019992 / 2020


DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT

ROHN PETER HAIG BARRON

appeared before me, the Registrar of Deeds at Pietermaritzburg, the said appearer, being duly authorised thereto by a power of attorney granted to her by

KATHLEEN LORRAINE JEWELL
 Identity Number 531020 0107 08 2
 Unmarried

signed at Durban North on 28th February 2020

And the appearer declared that:

Whereas the Transferor had truly and legally sold the undermentioned property on 21 February 2020 by Private Treaty



Now therefore the Appearer on behalf of the Transferor, did by these presents, cede and transfer to and on behalf of

EZP PROPERTIES AND DEVELOPMENT PROPRIETARY LIMITED
Registration Number 2019/570114/07

its successors in title or assigns, in full and free property

PORTION 1 OF ERF 2292 DURBAN, REGISTRATION DIVISION FU, PROVINCE OF
KWAZULU-NATAL

IN EXTENT 586 (FIVE HUNDRED AND EIGHTY SIX) SQUARE METRES

FIRST TRANSFERRED BY DEED OF TRANSFER T24/1899 WITH DIAGRAM
ANNEXED THERETO AND HELD BY DEED OF TRANSFER T11217/2012

THIS PROPERTY IS TRANSFERRED:

- A. SUBJECT to all the terms and conditions of original Government Grant No. 1737 in so far as applicable.
- B. WITH THE RIGHT to the owners and occupiers of Subdivision of the said Lot CDE/22 Block B to use the roads, lanes and rights of way as laid off on the diagram of the said Subdivision 1 in common with the present owner, as created in Deed of Transfer No. 24/1899.
- C. SUBJECT to the following special conditions contained in said Deed of Transfer No. 24/1899 namely:
 - 1. That within eighteen months from the date of purchase (from the Durban Corporation viz 14th day of May 1987) the purchaser shall erect a building on the said land to the value of at least R500,00 per 4047 square metres or pro rata according to the size of the land purchased and in case of subdivision of smaller area to the value of at least R300,00 for each subdivision; and failing the erection of said building rates will be levied for some on that basis in the second and each succeeding year in addition to the value of the land in the same way as though such building were actually erected.
 - 2. In the event of the land being subdivided a plan must be submitted to the Town Council of the said Borough for approval and all new roadways must be at least 9.14 metres wide with a back lane to each Subdivision at least 4.57 metres wide.
 - 3. The building line shall be 3.05 metres back from the boundary of any such new roadway and there shall be no building other than outbuildings erected facing the back lanes.

 C

WHEREFORE the appearer, renouncing all the right and title the said

KATHLEEN LORRAINE JEWELL, Unmarried

heretofore had to the premises, did, in consequence also acknowledge her to be entirely dispossessed of, and disentitled to, the same; and that, by virtue of these presents, the said

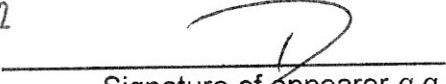
EZP PROPERTIES AND DEVELOPMENT PROPRIETARY LIMITED

its successors in title or assigns, now is and henceforth shall be entitled thereto, conformably to local customs; the State, however, reserving its rights, and finally acknowledging that the purchase price is the amount of R1 700 000,00 (One Million Seven Hundred Thousand Rand).

IN WITNESS WHEREOF I, the said Registrar, together with the appearer, have subscribed to these presents, and have caused the seal of office to be affixed thereto.

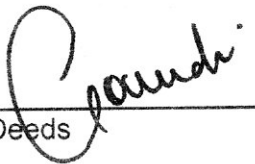
THUS DONE AND EXECUTED at the Office of the Registrar of Deeds at Pietermaritzburg on

2020-06-22



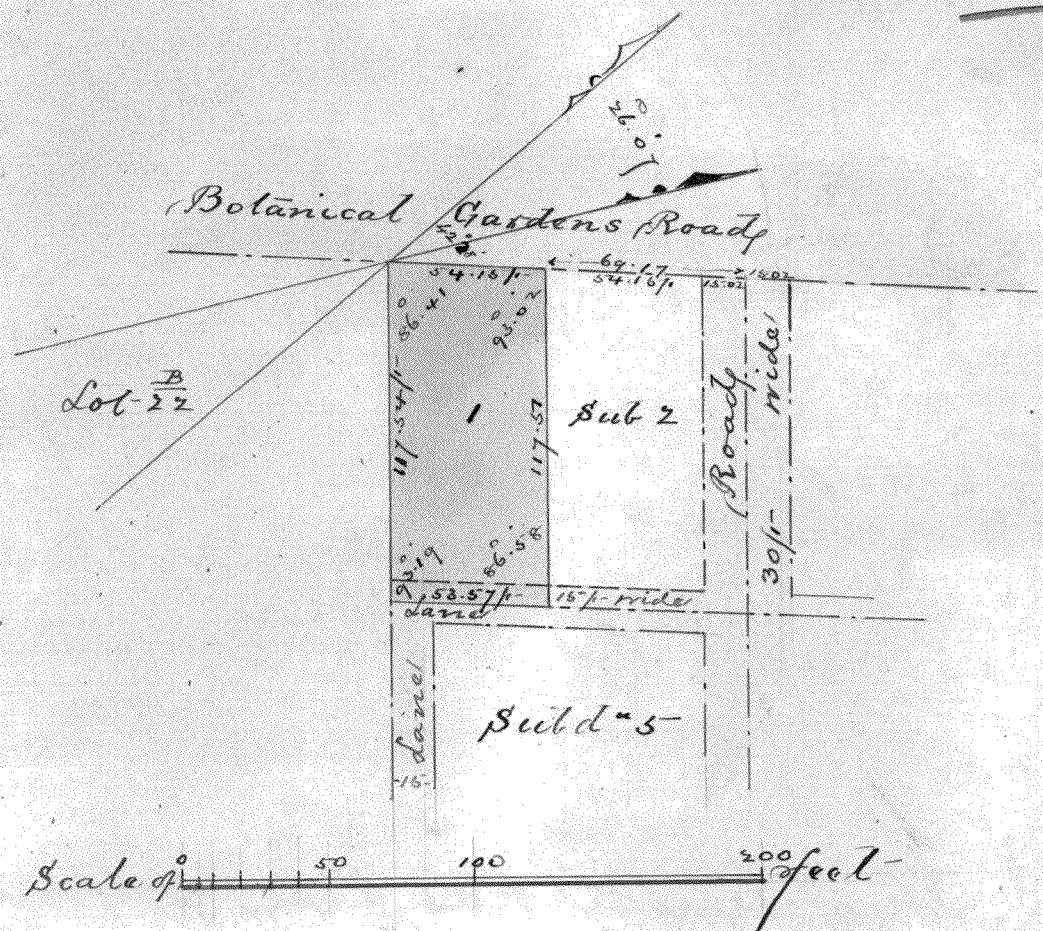
Signature of appearer q.q.

In my presence



Registrar of Deeds





Now SUB. 1 of
 LOT 2292 DURBAN

The above Diagram represents a Piece of Land, containing
 ~~~~~ Acres, ~~~~~ Roads, 23.215 Perches, being Subdivision 1  
 of Lot  $\frac{CDE}{22}$  Block B, situate on the Town Lands of the  
 Borough of Durban, in the Colony of Natal. It is bounded  
 on the North by Botanical Gardens R<sup>d</sup> South by Subd. 5  
 East by Subd. 2 and West by Lot  $\frac{B}{22}$ .

Reg. Div.  
 FU

Surveyed by me,  
 124/1899

William R. G. C.  
 Government Surveyor.

Decr 1898

Sh 941

14934

# WORKING PLAN

SU 557 F 26

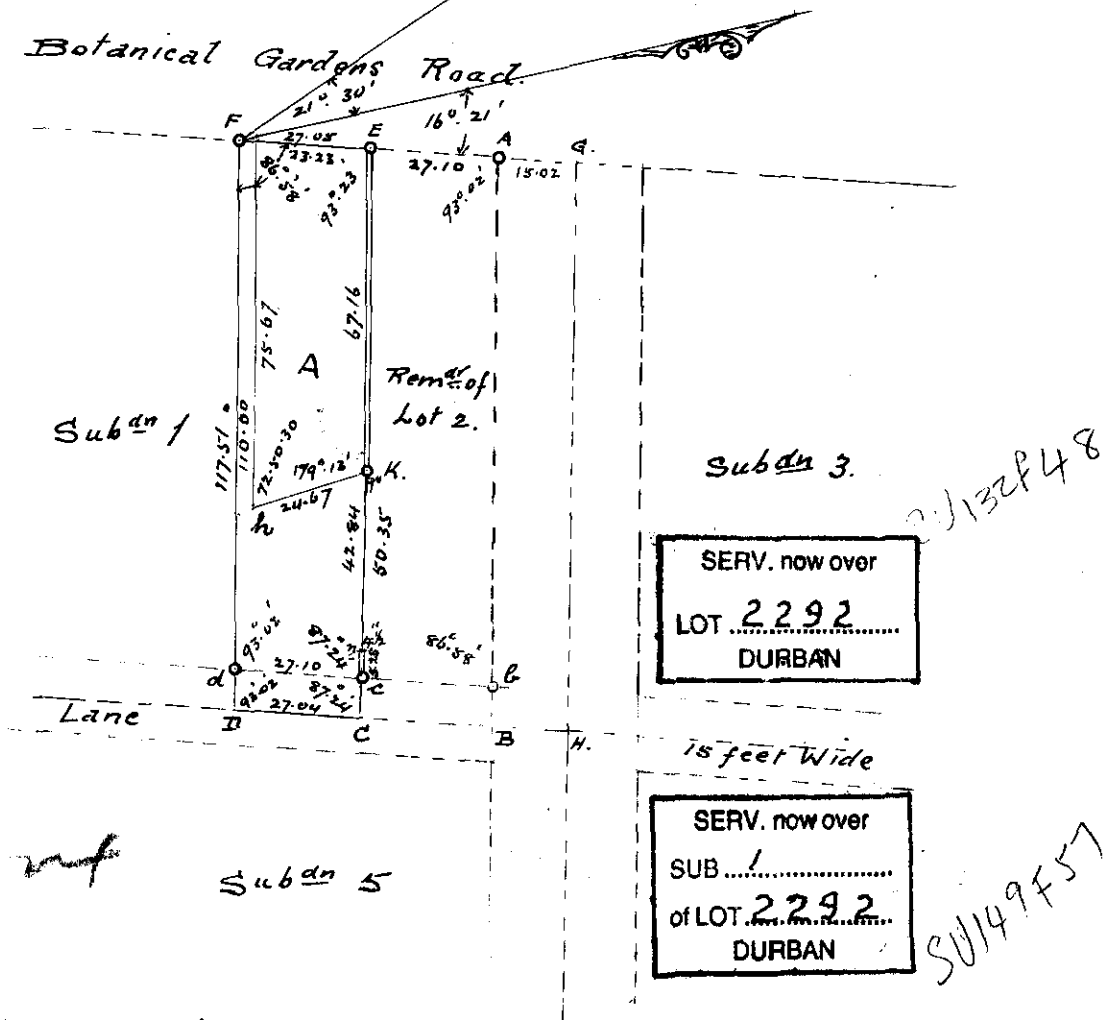
Shewing Party Wall 9 inches Wide extending from E to K  
and party Wall 4½ inches Wide extending from c to n. on  
Lots A & Rem<sup>d</sup> of Lot 2 of Lot  $\frac{CDE}{22}$  Block B of the 8 JUN 1923  
Town Lands of the Borough of Durban, Natal.

Verulam Scale: - 1 Inch = 40 feet  
December 1922.

Surveyed personally by me

G. L. Hugman

Gov<sup>t</sup> Land Surveyor.



Found beacons at A, d, f and L  
Chained lines & observed angles entered on plan in blue ink.  
Fixed beacons at c, G, E & K.  
Observed angles on offsets.

The Widths of the Party Walls were obtained on reference to  
Building Plan filed in the office of the Building  
Inspector, Corporation Offices, Durban.

### Beacons.

- A. 1" pipe against corner of brick corner post
- b. ½" - at corner of fences.
- c. ½" - against Party Wall of outhouse.
- d. ½" - at corner of outhouse.
- E upright chiselled mark in brick Standard.
- F 1" pipe against brick corner post.
- K ¾" - against foundation at end of Party Wall
- L ¾" - on Street line corner of fences.

