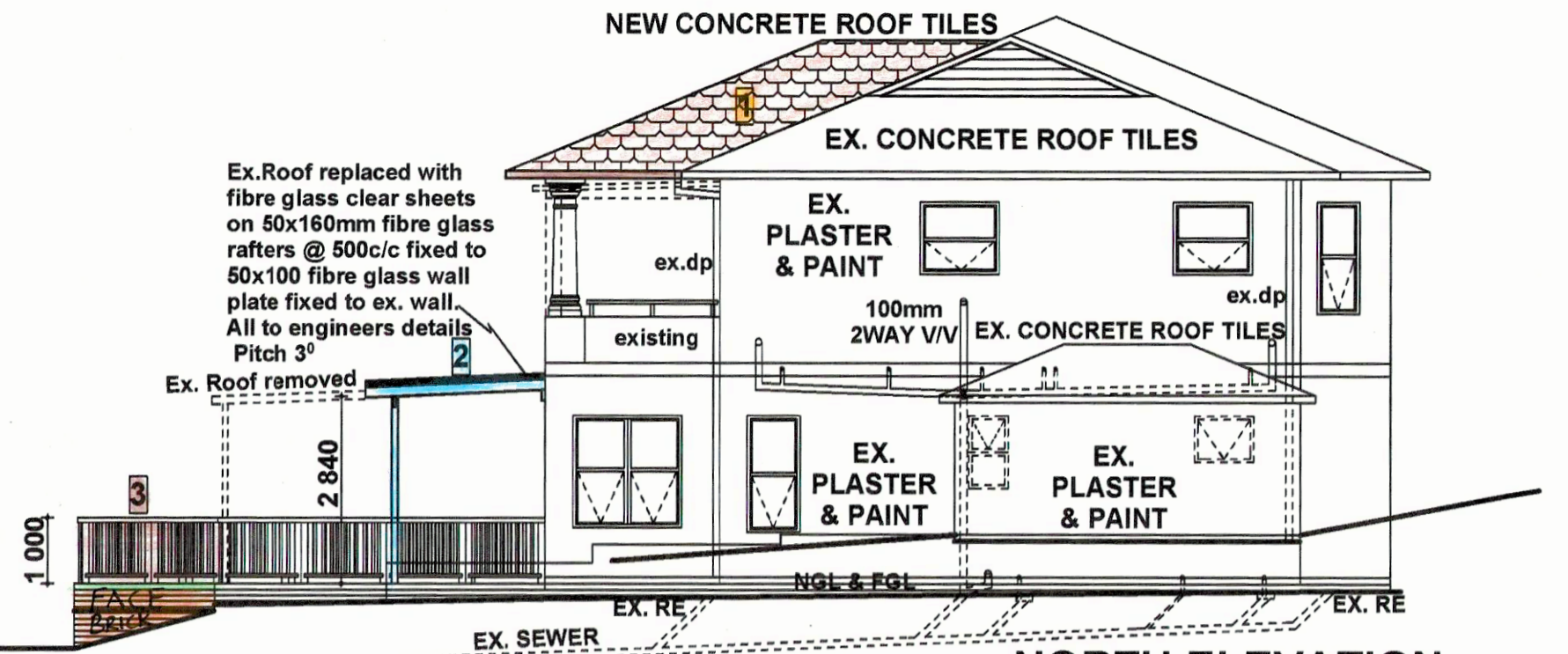
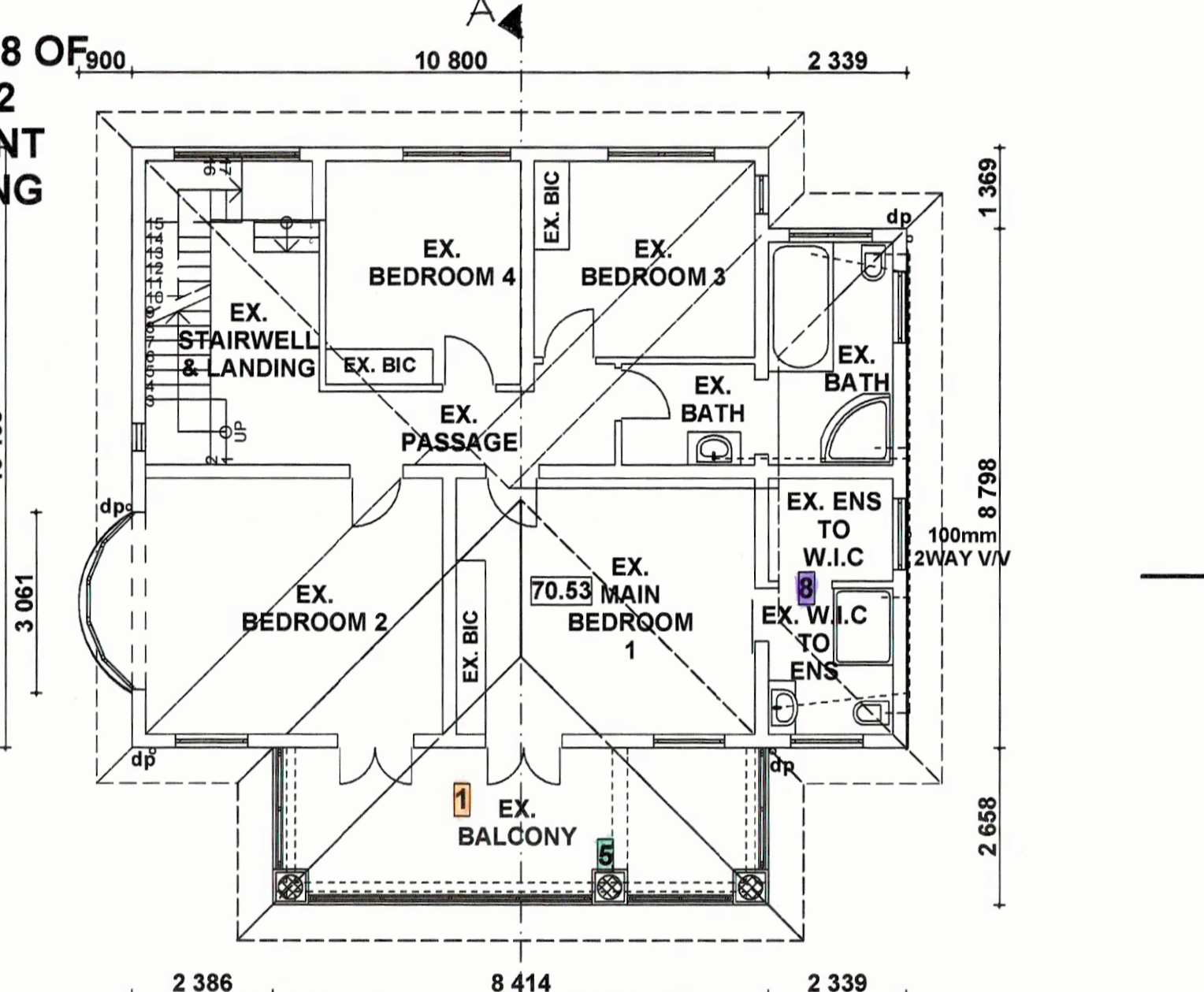


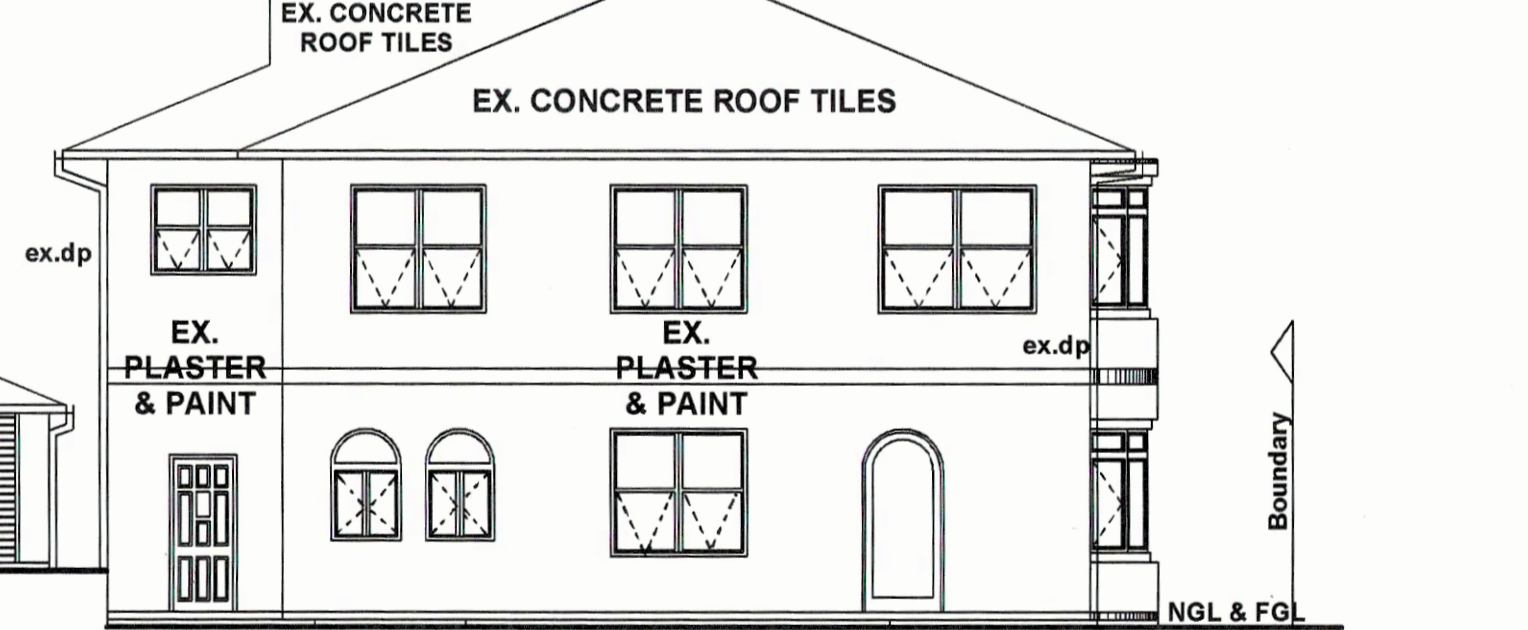
EAST ELEVATION



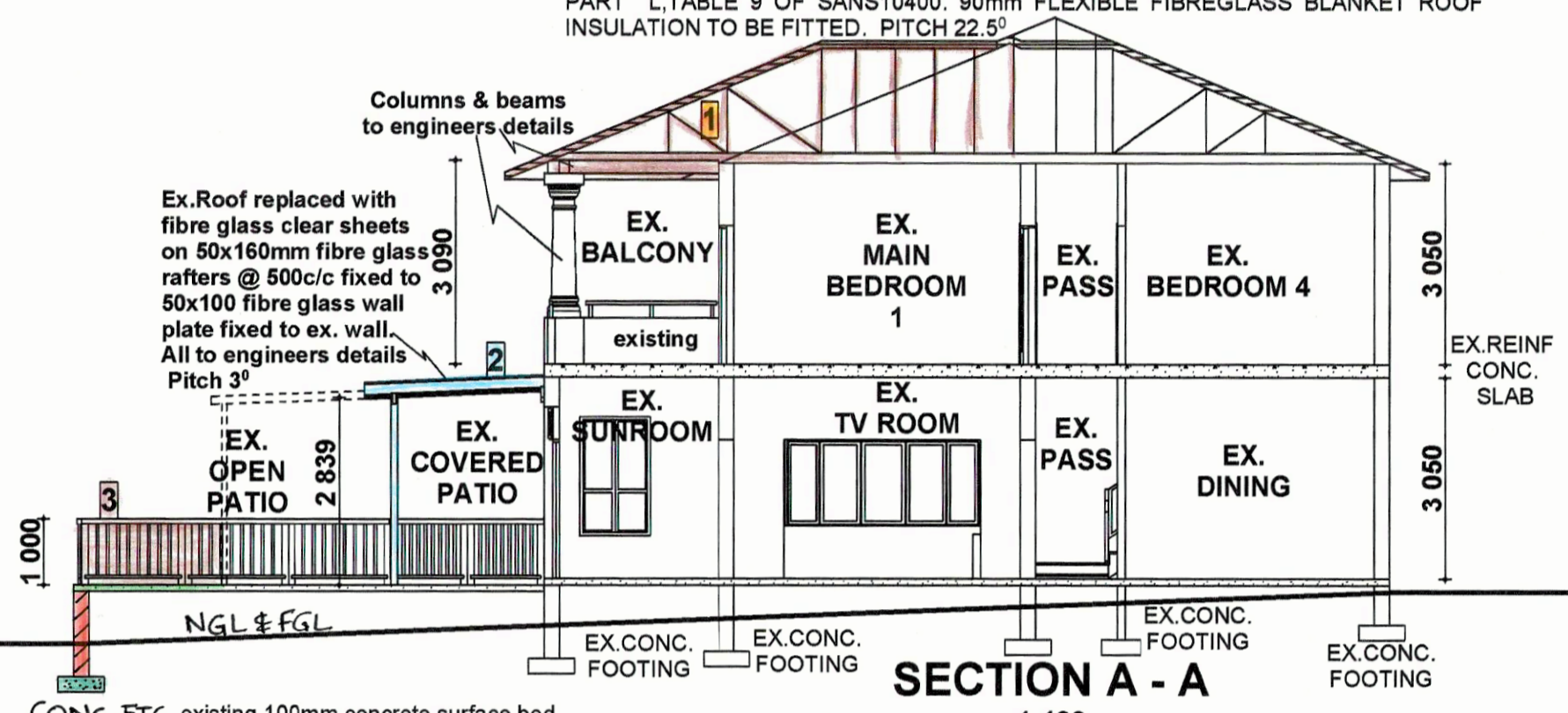
NORTH ELEVATION



FIRST STOREY 1:100

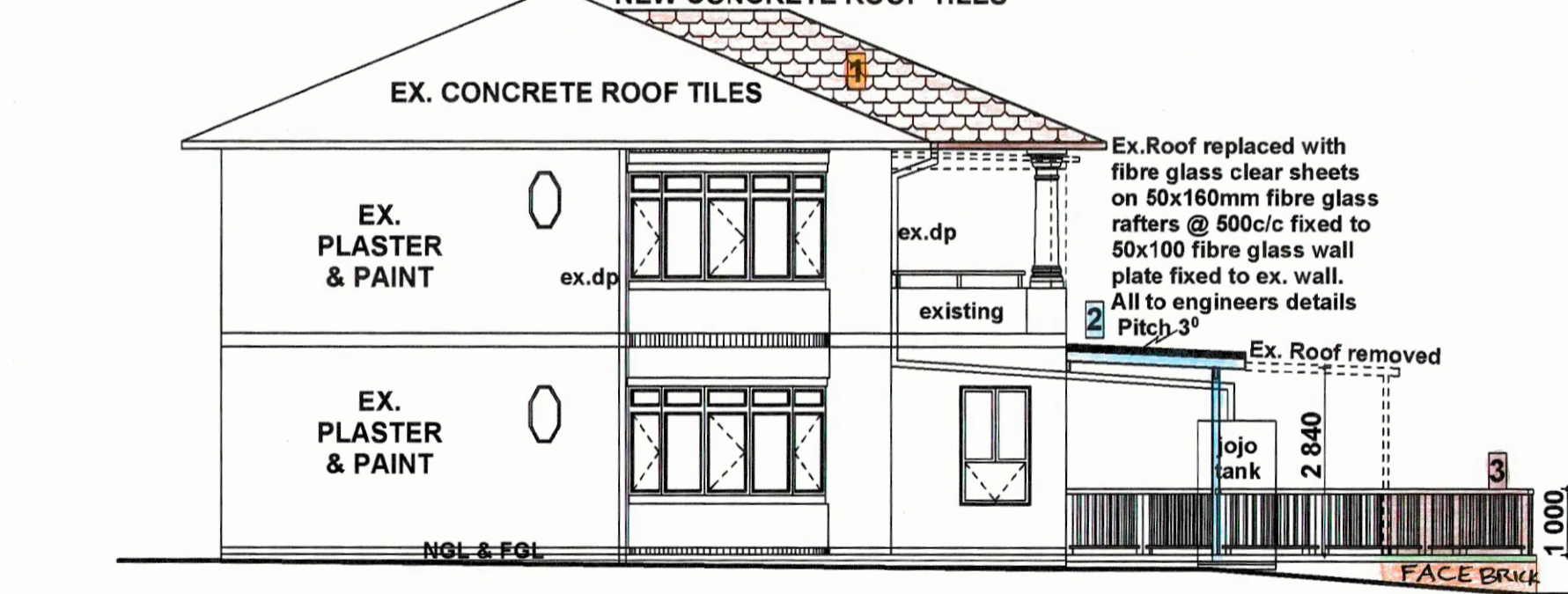


WEST ELEVATION



SECTION A - A 1:100

NAME	ADDRESS	TEL. NO.	SIGNATURE



SOUTH ELEVATION

SCHEDULE OF AREAS	M ²
SITE	1 012,00
EX. FLOOR AREA:	
MAIN DWELLING	349,72
SINGLE GARAGE	17,33
DOUBLE GARAGE	35,74
STORE/WC	14,77
TOTAL EXISTING:	417,56
PROPOSED PATIO EXTENSION:	
MAIN BUILDING-GF	12,73
TOTAL PROPOSED AREA	12,73
TOTAL FLOOR AREA	430,29
PERMITTED COVERAGE 50%	506,00
EXISTING COVERAGE	262,86
PROPOSED COVERAGE-PATIO EXTN	12,73
TOTAL COVERAGE	275,59
COVERAGE IN HAND	230,41
EXISTING PARKING BAYS	2
PROPOSED PARKING BAYS	0
TOTAL PARKING BAYS	2
REQUIRED PARKING BAYS	2

WINDOW SCHEDULE

DESCRIP. & SIZE	LOCATION	GLAZING	FRAME MATERIAL	TOTAL NO.
fixed	W1 1650 x 1900mm	6mm TOUGHENED SAFETY GLASS TO COMPLY WITH SANS 10400 PART N TABLE 1	TIMBER	2
3.14m ² /pane	EX. FAMILY BAR EX. SUNROOM			

DEVIATIONS TO APPROVE PLAN NO. 497/08/96

- REMOVE EX. ROOF AND BUILD IN NEW HIPPED ROOF - EX. BALCONY.
- REMOVE EX. ROOF AND BUILD IN CLEAR FIBRE GLASS SHEETING - EX. SUN ROOM.
- OPEN PATIO EXTENDED.
- WINDOWS IN EX. FAMILY BAR AND EX. SUNROOM CHANGED TO FIXED GLASS.
- ADDITIONAL COLUMN ADDED ON EAST ELEVATION.
- EXISTING DOUBLE GARAGE ELEVATIONS & SECTION ADDED.
- EXISTING SERVANTS ROOM CHANGED TO STORE AND ELEVATIONS ADDED.
- FIRST FLOOR ENSUITE AND WIC SWITCHED AROUND.

- Site Operations & Excavations:**
- Sanitary facilities to be provided in accordance with detailed requirements of SANS 10400-F.
 - All excavations less than 3.0m deep to comply with SANS 10400-G.
 - Existing foundations to be checked, assessed and certified by the structural engineer.
- General:**
- Foundations not to encroach on boundaries and municipal services.
 - All levels and dimensions to be checked on site and any discrepancies to be reported to the Pr Arch T.
 - Reinforced concrete slabs, beams and stairs to engineers details.
- Roofs:**
- All roofs to comply with the detailed requirements of SANS 10400-L and certified by an engineer.
 - 135mm flexible fibreglass blanket roof insulation to be fitted.
- Glazing:**
- All glazing to comply with the detailed requirements of SANS 10400-N.

- Walls:**
- All walls to be built in solid joint in cement mortar with brick force at cill and wall plate levels.
 - All load-bearing walls to be designed by a structural engineer in accordance with SANS 10400-K.
 - All walls to comply with the detailed requirements of SANS 10400 - Part B, K & T.
- Drainage:**
- All existing sewer and stormwater manhole depths and plumbing to be checked on site.
 - All plumbing shown as provisional and is to be checked on site by the contractor.
 - All drainage to comply with the detailed requirements of SANS 10400-P.
- Floors:**
- 100mm concrete surface bed on BRC mesh on DPM on well consolidated and poisoned soil.
 - All floors to comply with SANS 10400-J.
- Lighting and Ventilation:**
- All lighting and ventilation requirements to be in strict accordance with SANS 10400-O.

REVISIONS:

SHEET 1 OF 2
CLASSIFICATION: H4

PROPOSED DEVIATIONS TO APP. PLAN. NO. 497/08/96 ON PORTION 27 OF ERF 952 DURBAN NORTH AT 60 KENNETH KAUNDA ROAD FOR MR D. NAIDOO & MRS D.A. NAIDOO

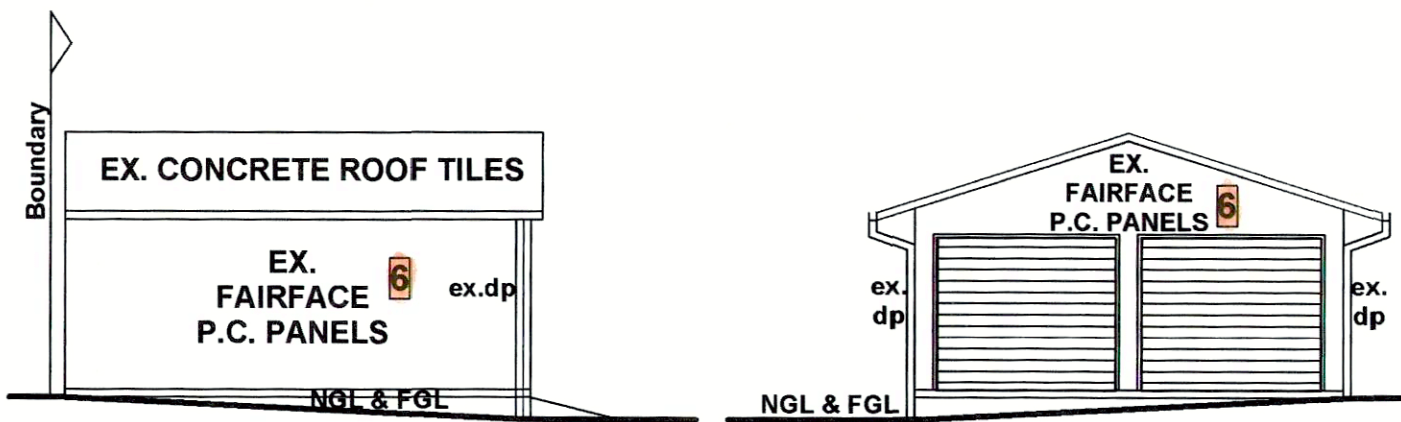
Owner's Signatures: MR D. NAIDOO, MRS D.A. NAIDOO
CELL NO. 082 784 0544

J F BUILDING DESIGN CONSULTANTS
EST. 1987
Pr Arch T
KZ-NIA(Affiliate) MEMBERSHIP No.105
159 SNELL PARADE
NORTH BEACH
DURBAN
CELL: 072-2985286
TEL: 031-2050760

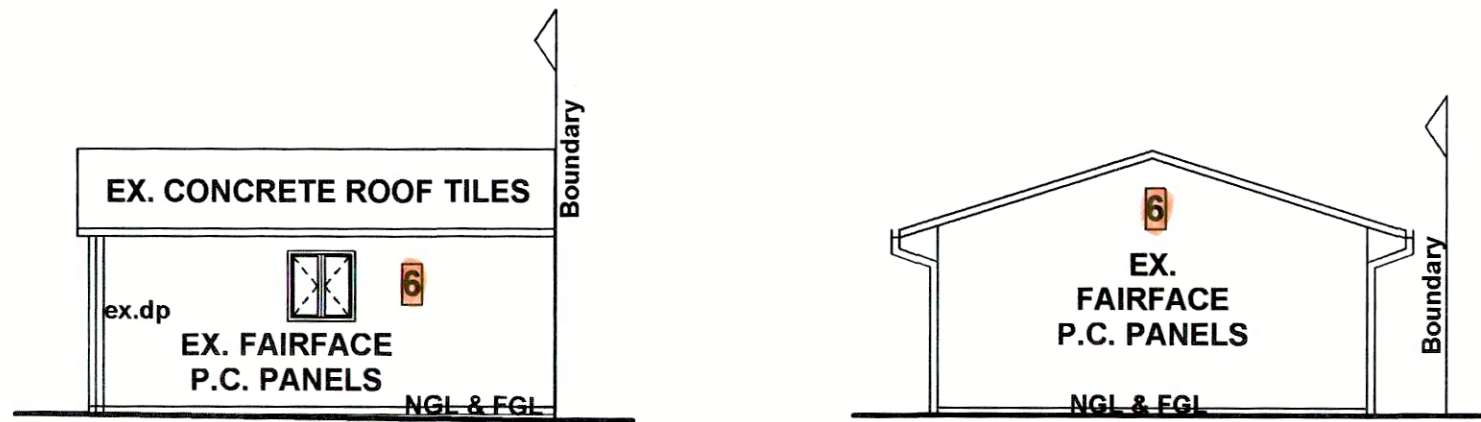
SACAP REG No. T0095
SACAP PRACTICE CODE TJ0241
SCALE: 1:100
DRAWN BY: J.S. FRANK

DESIGNED BY: J.S. FRANK
SUBMISSION DRAWING

DATE: 08 NOV 2021
DRAWING No. 21009

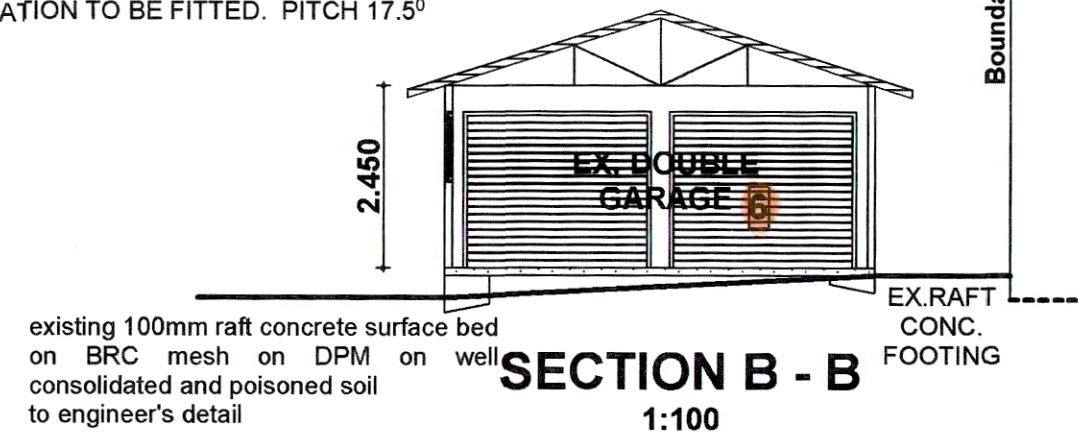


EAST ELEVATION - GARAGE NORTH ELEVATION - GARAGE

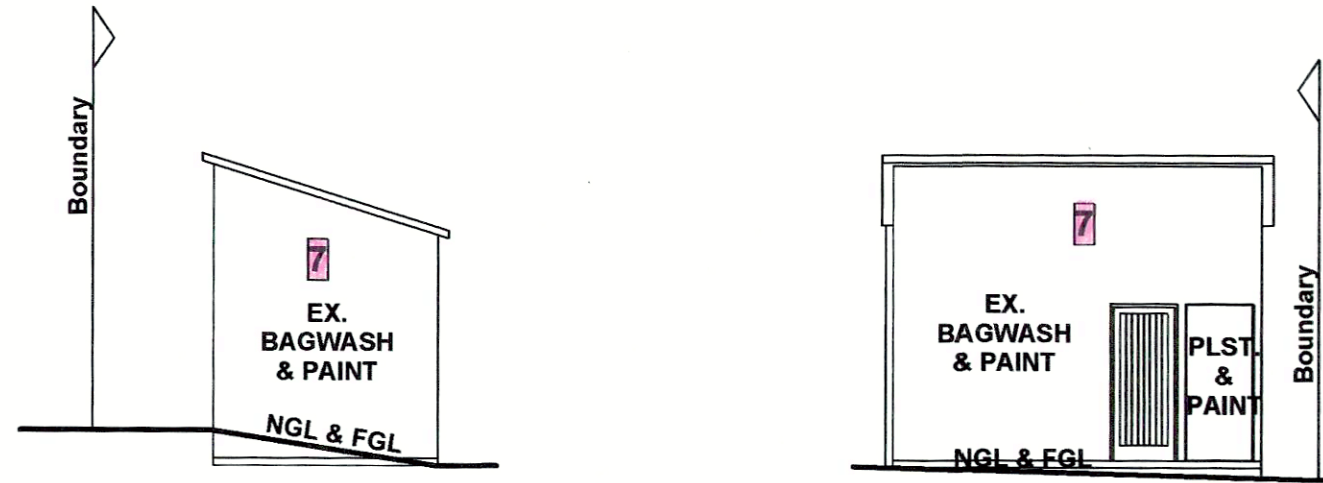


WEST ELEVATION - GARAGE SOUTH ELEVATION - GARAGE

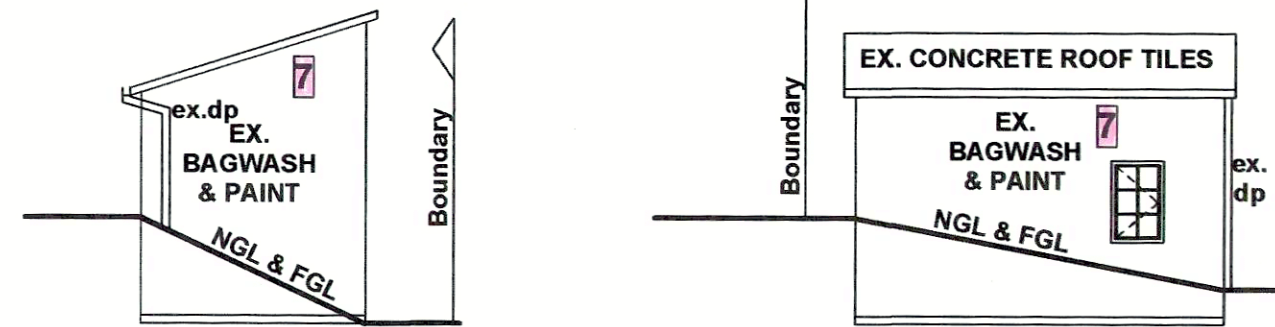
CONCRETE ROOF TILES ON 38x38mm SAP BATTENS @ 340mm CENTRES ON 250 MICRON WHITE PLASTIC UNDERLAY ON 38x152mm GRADE 5 TIMBER RAFTERS & TIE BEAMS WITH 38x152mm GRADE 5 TIMBER WEB MEMBERS. TRUSSES AT MAX 760mm CENTRES ON 38x114 WALL PLATE TIED DOWN 3 COURSES INTO BRICKWORK WITH GALVANISED WIRE TIES. RAFTERS, TIE BEAMS AND WEB MEMBERS TO BE DESIGNED BY STRUCTURAL ENGINEER AND TO COMPLY WITH PART L, TABLE 9 OF SANS10400. 90mm FLEXIBLE FIBREGLASS BLANKET ROOF INSULATION TO BE FITTED. PITCH 17.5°



SECTION B - B
1:100

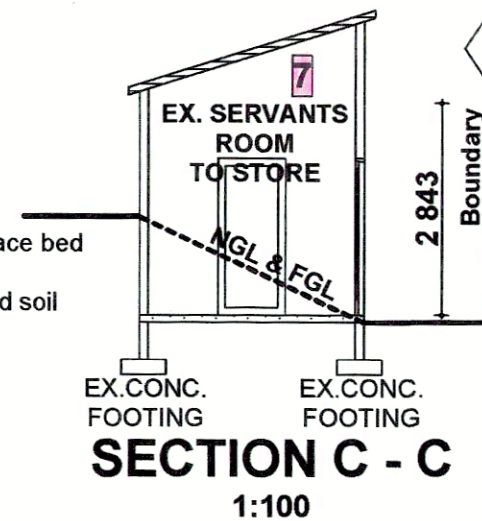


NORTH ELEVATION - STORE EAST ELEVATION - STORE



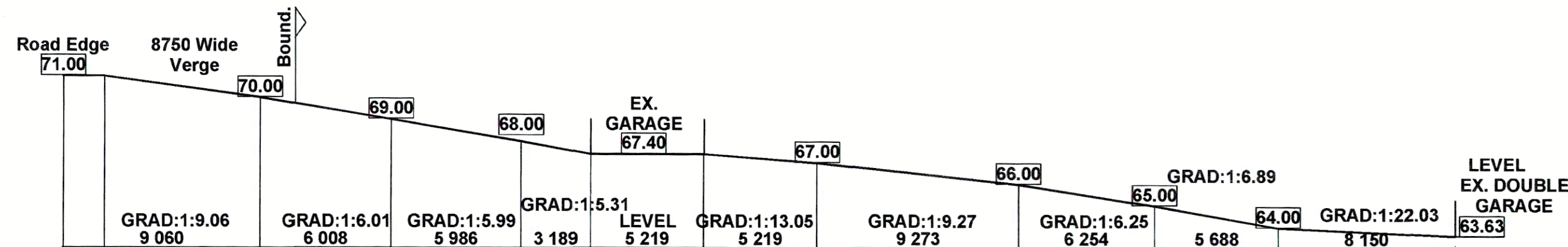
SOUTH ELEVATION - STORE WEST ELEVATION - STORE

existing 100mm concrete surface bed on BRC mesh on DPM on well consolidated and poisoned soil to engineer's detail



SECTION C - C
1:100

CONCRETE ROOF TILES ON 38x38mm SAP BATTENS @ 340mm CENTRES ON 250 MICRON WHITE PLASTIC UNDERLAY ON 38x152mm GRADE 4 TIMBER RAFTERS AT MAX 760mm CENTRES ON 38x114 WALL PLATE TIED DOWN 3 COURSES INTO BRICKWORK WITH GALVANISED WIRE TIES. RAFTERS, TIE BEAMS AND WEB MEMBERS TO BE DESIGNED BY STRUCTURAL ENGINEER AND TO COMPLY WITH PART L, TABLE 9 OF SANS10400. 90mm FLEXIBLE FIBREGLASS BLANKET ROOF INSULATION TO BE FITTED. PITCH 22.5°



EX. DRIVEWAY SECTION
1:200

NAME	ADDRESS	TEL. NO.	SIGNATURE

REVISIONS:

SHEET 2 OF 2

CLASSIFICATION: H4

PROPOSED DEVIATIONS TO APP. PLAN. NO. 497/08/96 ON PORTION 27 OF ERF 952 DURBAN NORTH AT 60 KENNETH KAUNDA ROAD FOR MR D.NAIDOO & MRS D.A. NAIDOO

Owner's Signatures: *[Signatures]*
MR D. NAIDOO MRS D.A. NAIDOO

CELL NO. 082 784 0544

J F BUILDING DESIGN CONSULTANTS

SACAP REG.No. T0095
EST. 1987
Pr Arch T
KZ-NIA(Affiliate) MEMBERSHIP No.105
FLAT 2 SHORELANDS
159 SNELL PARADE
NORTH BEACH
DURBAN
CELL: 072-2985266 TEL: 031-2050760

SCALE: 1: 100	DESIGNED BY: J.S. FRANK	DATE: 08 NOV 2021
DRAWN BY: J.S. FRANK	SUBMISSION DRAWINGS	DRAWING No. 21009

NOTES:

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Floors:

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- All floors to comply with SANS 10400-J.

Lighting and Ventilation:

- All lighting and ventilation requirements to be in strict accordance with SANS 10400-O.