

KWAZULU-NATAL

**AMAFA AND RESEARCH
INSTITUTE**

THE KZN PROVINCIAL HERITAGE
RESOURCES AUTHORITY



APPLICATION FORM I

Ref:

Date Received:

Application no:

Approved:

Not Approved:

Date of Permit:

Permit No:

APPLICATION IN TERMS OF THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018) FOR THE CONDONATION/ APPROVAL/RECTIFICATION OF THE UNLAWFUL COMMENCEMENT OR CONTINUATION OF WORK ON, OR DAMAGE TO, HERITAGE RESOURCES PROTECTED IN TERMS OF CHAPTERS 8 & 9 (sections 37 to 50, including both generally and specially protected heritage resources).

This form is to be used for applications where work was commenced, alternatively completed without the prior written approval of the Institute in its capacity as the Provincial Heritage Resources Authority. If no work has been undertaken select the appropriate form from the website www.heritagekzn.co.za.

NB: IT IS AN OFFENCE IN TERMS OF THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE ACT (5/2018) TO MAKE ANY FALSE STATEMENT OR FAIL TO PROVIDE REQUIRED INFORMATION IN THIS APPLICATION (Consult the attached guidelines before completing this form)
THE ONUS IS ON THE APPLICANT TO ENSURE THAT THE CURRENT APPLICATION FORM IS USED. APPLICATIONS ON NON-COMPLIANT FORMS WILL NOT BE PROCESSED

ALL APPLICATION FORMS, REQUIRED SUPPORTING DOCUMENTATION AND PROOF OF PAYMENT MUST BE SUBMITTED TO THE KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE AS PER THE GUIDELINES ATTACHED, THE TYPE OF CONTRAVENTION WILL DETERMINE THE METHOD OF SUBMISSION.

A. DECLARATION BY OWNER

I, DAVID JOHN LEE

(full names of owner/person authorized to sign) undertake strictly to observe the terms, conditions, restrictions, by-laws and directions under which the KWAZULU-NATAL AMAFA AND RESEARCH INSTITUTE may issue the written approval of the work to me.

Signature

Place

DURBAN

Date

26 JULY 2022

(The owner of the property must fill in these details and those in Section E: 3 and sign this document and any plans or other documents submitted in support of this application)

B. PROPERTY DESCRIPTION:

Title Deed No.

T 13147/96

Name of property/Project title:

EXISTING RESIDENCE

Erf/Lot/Farm No:

SUB 18 OF LOT 2129

GPS Co-ordinates

Street Address:

61 MONMOUTH ROAD

Local Municipality

ETHEKWINI - CENTRAL

District Municipality

Traditional Authority Area

ETHEKWINI

Current zoning

MEDIUM DENSITY

Present use

RESIDENCE

C. HERITAGE SIGNIFICANCE: (complete sections appropriate to site)

1. Status of Heritage Resources on the Site:

Permanent Protection:	Heritage Landmark/ Provincial HL		Listed on the Heritage Register		Provisionally Protected (notice issued)		Site in a Protected Area	
Generally Protected site containing:	Structures 60 years +	X	Graves		Archaeological site Battlefield or rock art		Palaeontological material Meteor impact site	

2. Historical/Military Significance:

FROM OUR RESEARCH, WE COULD NOT FIND ANY HISTORICAL SIGNIFICANCE TO DOCUMENT.

References

3. Architectural Significance:

Original date of construction: 1940+

Significance: CONSTRUCTED IN THE EARLY 1940'S, THIS DWELLING HAS THE TYPICAL CHARACTERISTICS OF LATE VICTORIAN OR EARLY EDWARDIAN ARCHITECTURAL STYLES. DUE TO ALTERATION AND ADDITION WORK UNDERTAKEN SINCE, THE HOUSE HAS LOST A LOT OF THESE CHARACTERISTICS.

References A MEASURE OF THE PAST - RODNEY HARBER / BRIAN KEARNEY.

4. Archaeological Significance:

FROM OUR RESEARCH, WE DID NOT FIND ANY ARCHAEOLOGICAL SIGNIFICANCE.

References KZNIA

5. Palaeontological Significance:

FROM OUR RESEARCH, WE DID NOT FIND ANY PALAEOLOGICAL SIGNIFICANCE.

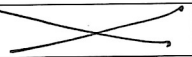
References

D. WORK CARRIED OUT WITHOUT PRIOR APPROVAL

1. Purpose of Application:	Damage/destruction/demolition		Alterations/Additions	X
Redecoration	Disfigured Written/drawn on		Excavation	
Exhumation	Inundation		Development	
Collection/Removal from original site	Trade/export (heritage objects)		Restricted use of equipment s40(5)	
Consolidation/Subdivision	Amendment of Plan		Other	

2. Existing Improvements made on site:
A BOUNDARY WALL OF 1,7 m HIGH HAS BEEN CONSTRUCTED ALONG THE DRIVEWAY AND AN ALUMINIUM CARPORT HAS BEEN ERECTED AT THE BOTTOM OF THE DRIVEWAY

3. Detail the work commenced/carried out
THE BOUNDARY WALL IS 1,7 m HIGH AND IS STANDARD BRICKWORK CONSTRUCTION, WITH PLASTER AND PAINTED FINISH AND A PLASTER COPING ALL TO MATCH EXISTING ADJACENT BOUNDARY WALLS.
A STANDARD ALUMINIUM CARPORT, IN COLOUR WHITE, WITH 75mm SQUARE POSTS HAS BEEN ERECTED AT THE BOTTOM END OF THE DRIVEWAY. THE ADDITIONAL WORK PROPOSED AS DETAILED BELOW, HAS NOT COMMENCED YET.


4. Motivation for work (Please motivate fully why work was commenced without approval)						
THE OWNER WAS NOT AWARE THAT ANAFA APPROVAL WAS REQUIRED FOR THESE ADDITIONS, WHICH WERE COMPLETED 7 YEARS AGO. THE CURRENT OWNER CONTACTED ME FOR FURTHER WORK THEY ARE PLANNING, AND I HAVE NOW INFORMED THEM OF THE CORRECT PROCEDURE THAT NEEDS TO FOLLOWED. THE WORK THAT IS STILL TO BE DONE, INCLUDES INTERNAL AMENDMENTS TO THE BATHROOM, KITCHEN AND STUDY, AS WELL AS A NEW SWIMMING POOL, AND A NEW STAIR FROM THE VERANDA TO THE REAR GARDEN.						
Status of work	Commenced		Stopped		Completed	
Date commenced			Date stopped		Completion date	

E. CONTACT DETAILS

1. CONTRACTOR (the person who has done or who will complete the work)

NAME		UNKNOWN	
POSTAL ADDRESS			
			POST CODE
TEL		FAX/EMAIL	
CELL		QUALIFICATIONS	
REGISTRATION OF INDUSTRY REGULATORY BODY:			

2. ARCHITECTURAL PROFESSIONAL/ HERITAGE PRACTITIONER

NAME DEREK HAUPTFLEISCH	
POSTAL ADDRESS 18 KNOLL ROAD	
WESTVILLE	POST CODE 3630
TEL 031- 2671421	FAX/EMAIL
CELL 083 775 1079	PROFESSIONAL REG. NO. ST2201
Author's Drawing Nos. dhs 2022 - 186 - 301 AND dhs 2022 - 186 - 302	
SIGNATURE 	DATE 29 JUNE 2022

3. OWNER OF PROPERTY (Owner or delegated person to sign on the front of this form)

NAME DAVID JOHN LEE	
POSTAL ADDRESS 61 MONMOUTH ROAD, MORNINGSIDE	
DURBAN	POST CODE 4001
TEL 073 693 2031	FAX/EMAIL

4. DELEGATED AUTHORITY (The name of the person authorized to act on behalf of a company or institution – Power or Attorney/proof of authorization to be attached)

NAME	
TEL	FAX/EMAIL

F. SUBMISSION FEE: R4000.00 (subject to annual increment on the 1 April)

The submission fee is payable to the Kwazulu-Natal Amafa And Research Institute by bank deposit/internet banking (EFT) and proof of payment must be submitted with the application.
USE STREET ADDRESS/FARM NAME or DEVELOPMENT/PROJECT TITLE OR SAHRIS ID NUMBER AS REFERENCE
ACCOUNT DETAILS:
ABSA BANK: Branch: ULUNDI Bank Code: 630330
 Account in the name of **AMAFI AKWAZULU-NATALI**
Account No. 40-5935-6024

G. PUBLIC PARTICIPATION: (Contact details of Interested and Affected Parties Consulted - written opinion to be attached to form and drawings to be signed by I & A P. See Guidelines)

Name _____
 Telephone _____ Fax _____

H. CHECKLIST OF SUPPORTING DOCUMENTATION (*see guidelines)

APPLICATION FORM (COMPLETED & SIGNED BY OWNER & CONSULTANT)	✓
MOTIVATION/INCEPTION REPORT	✓
PHOTOGRAPHS*	✓
ORIGINAL/PREVIOUS DRAWINGS/REPORTS	✓
PLANS (X2 SETS FOR HARD COPY SUBMISSIONS) - NUMBERED AND COLOURED*	✓
1:50 000 MAP & SATELLITE AERIAL VIEW	✓
KML FILE MAP	
PROOF OF PROFESSIONAL ACCREDITATION (e.g. copy of accreditation card)	
APPOINTMENT LETTERS	CONSENT LETTER
PAYMENT/PROOF OF PAYMENT	✓