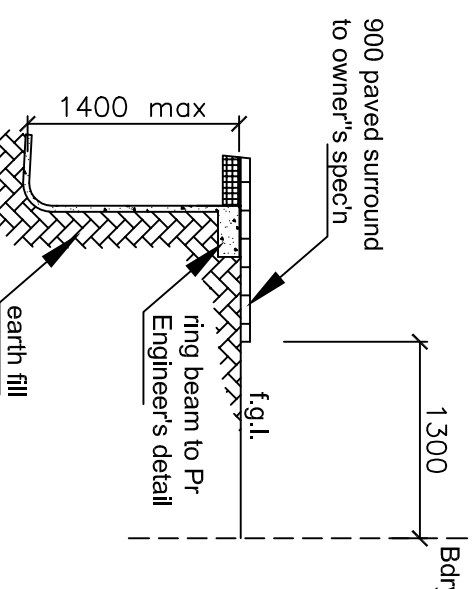
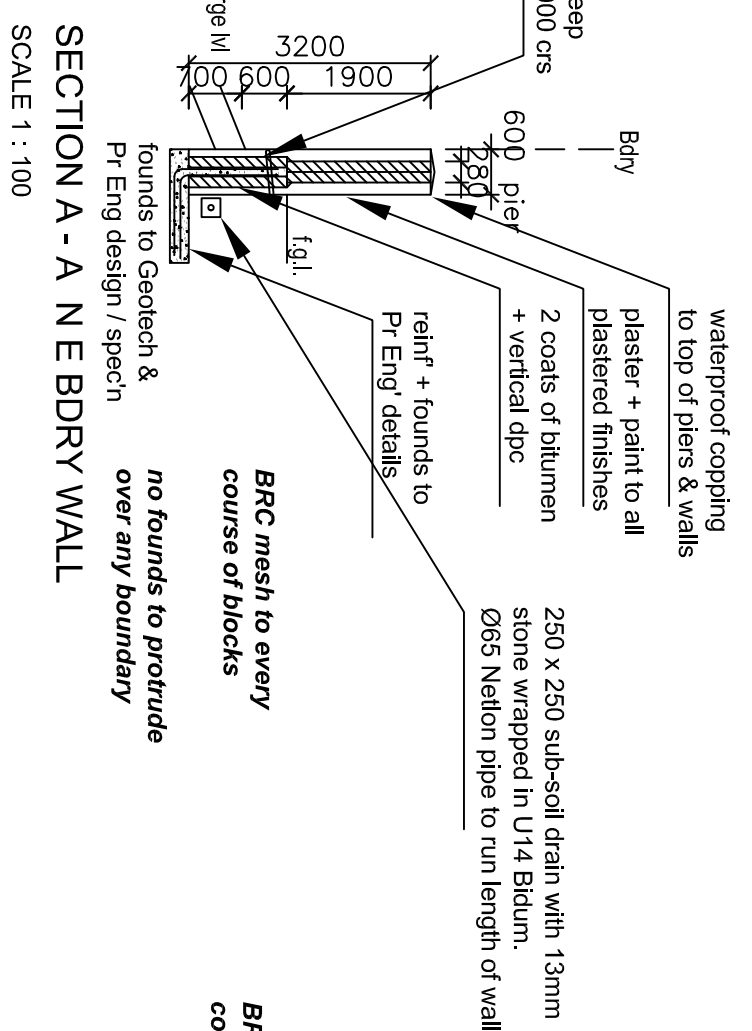


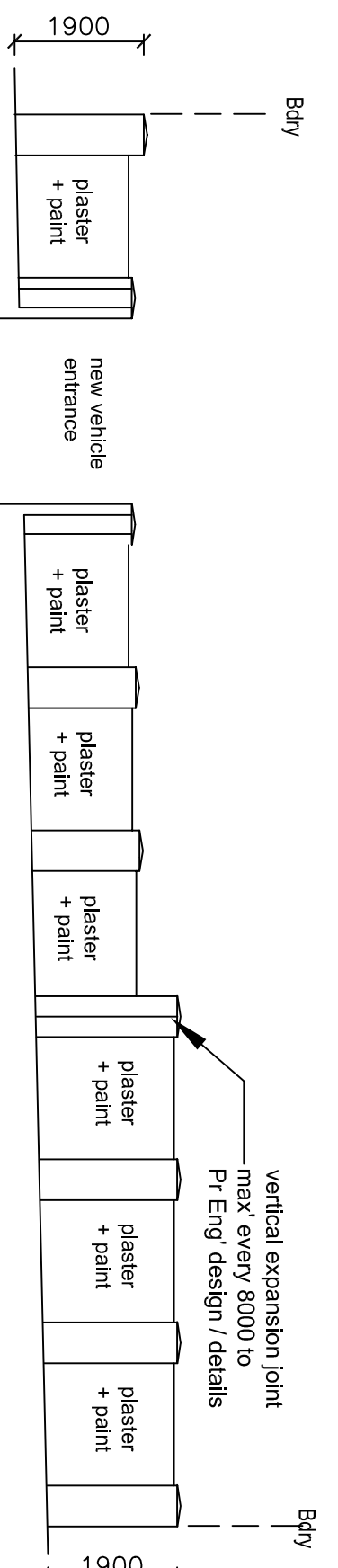
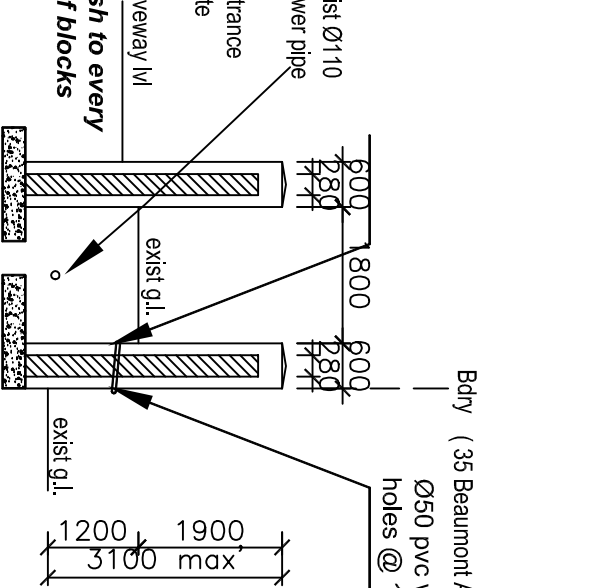
VIEW OF RING BEAM DETAIL



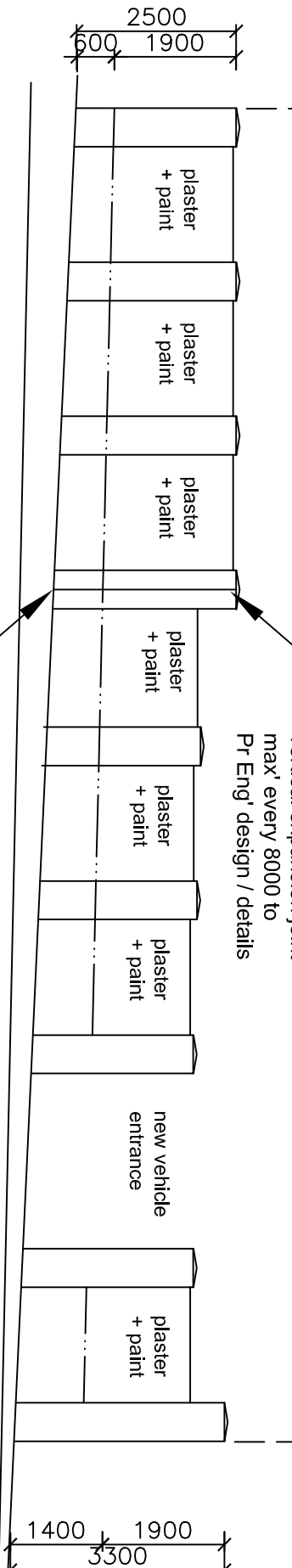
SECTION A - A N E BDRY WALL



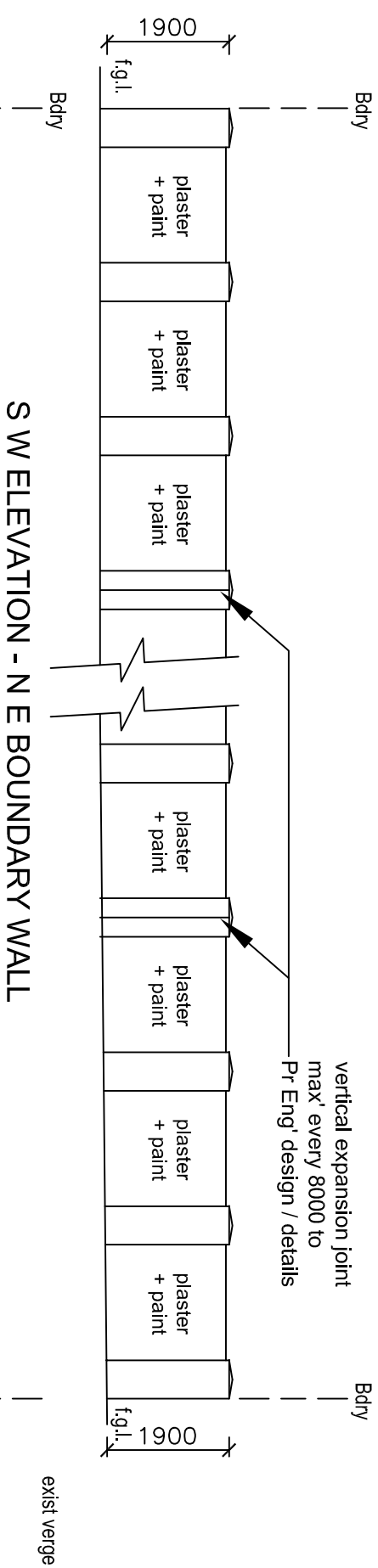
SECTION C - C S W BDRY WALL



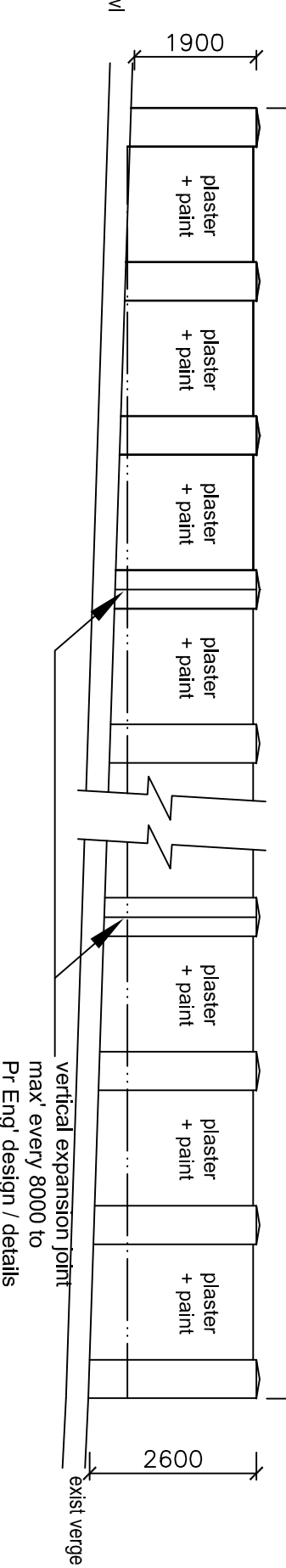
N W ELEVATION - N W BDRY WALL



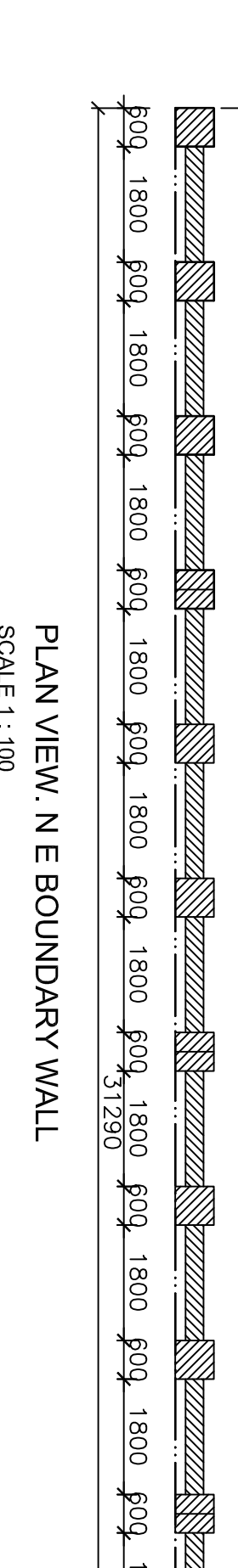
S E ELEVATION - N W BDRY WALL



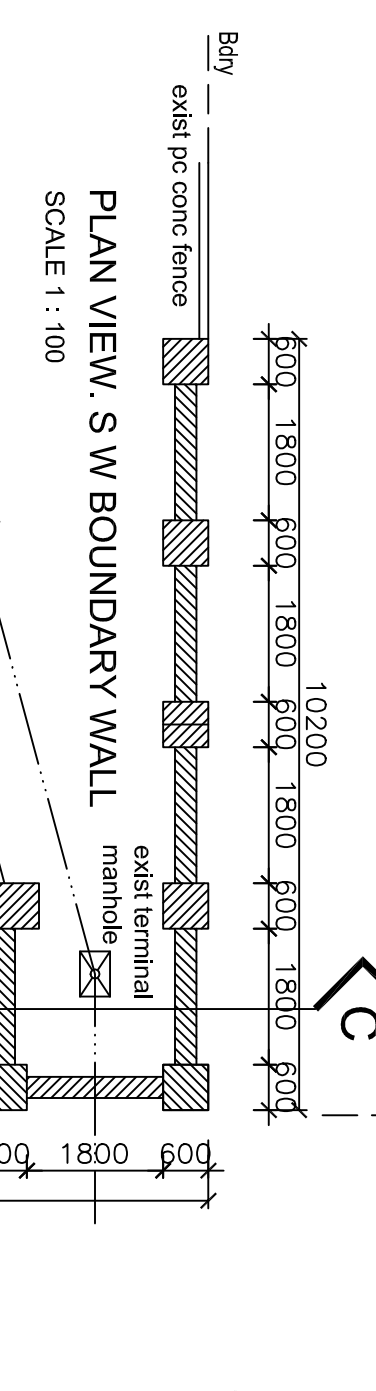
S W ELEVATION - N E BDRY WALL



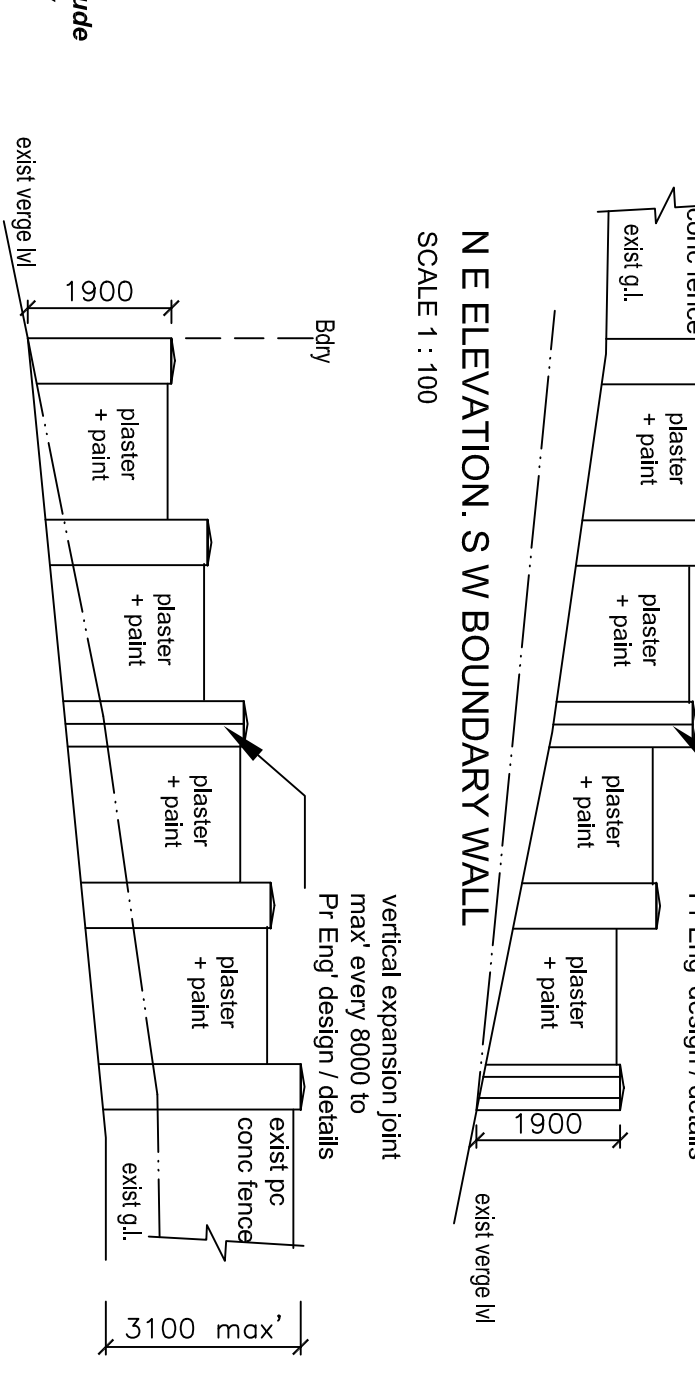
N E ELEVATION - N E BDRY WALL



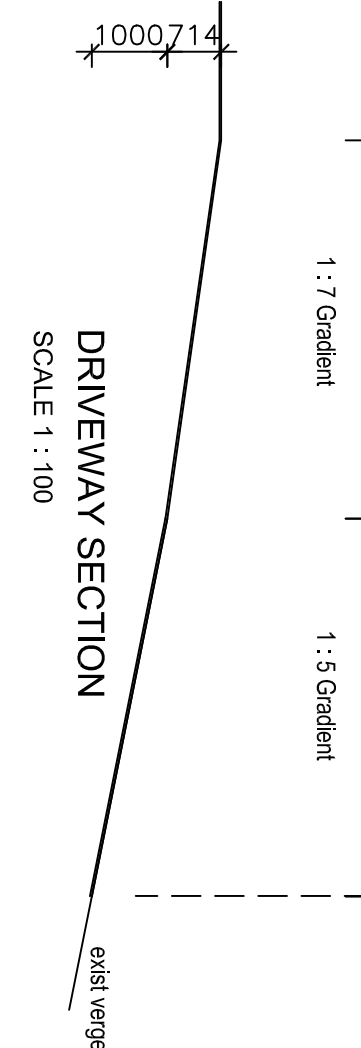
PLAN VIEW. N E BDRY WALL



S W ELEVATION. S W BDRY WALL

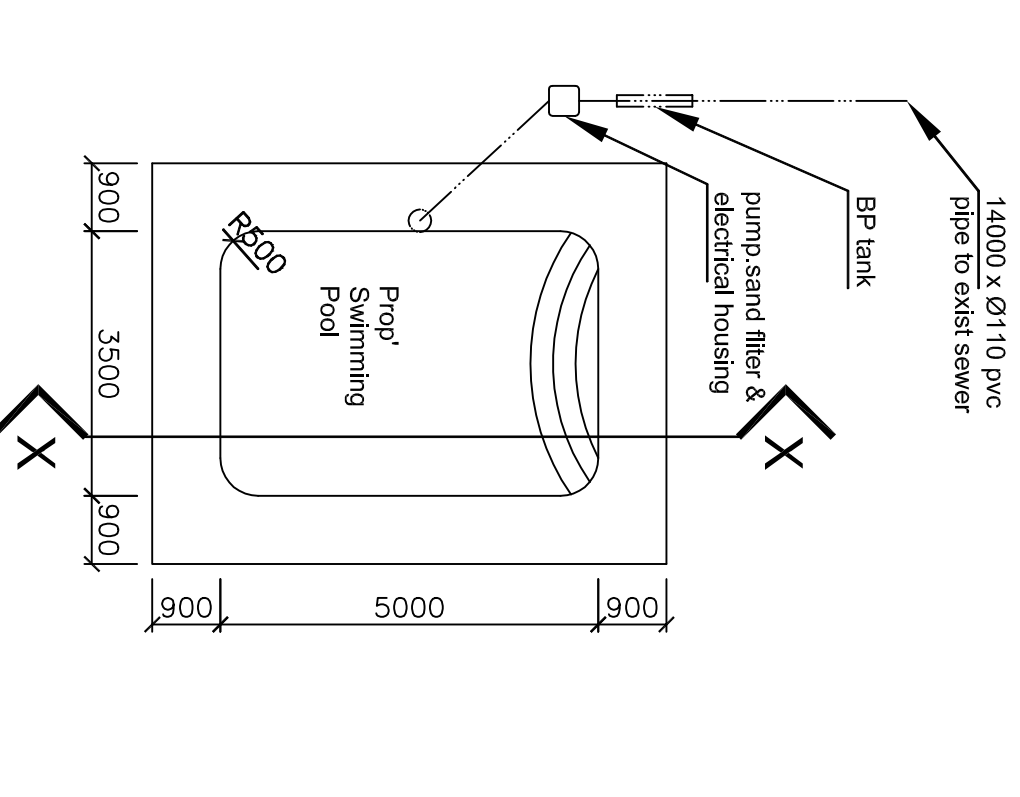


N E ELEVATION. S W BDRY WALL



PLAN VIEW. S W BDRY WALL

PLAN VIEW - FIBREGLASS POOL



NOTES

- GENERAL NOTES:**
 CONTRACTORS TO USE FIGURED DIMENSION & NOT SCALED ALL LEVELS & DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS TO COMPPLY WITH CURRENT BY-LAWS & SANS 10400 - PART 1
 NO CONSTRUCTION WORK SHALL COMMENCE PRIOR TO APPROVAL OF THESE PLANS.
 CONTRACTOR/OWNER TO ENSURE THAT NO FOUNDATIONS, BUILDINGS OR PART THEREOF PROTRUDE OVER ANY BOUNDARY AND/OR SERVICELINE IN ANY WAY OVER LOCAL AUTHORITY SERVICELINES OR SERVICELINE SERVICES WHICH ARE SHOWN ON THESE PLANS.
 CONTRACTOR/OWNER TO INSPECT APPROVED PLANS & TAKE NOTE OF LOCAL AUTHORITY REQUIREMENTS INCLUDING INSPECTION FORMS.
 CONTRACTORS TO MAKE GOOD ALL EXISTING WORKS AFFECTED BY ALTERATIONS & ADDITIONS WHERE APPLICABLE.
- DRAINAGE NOTES:**
 ALL DRAINAGE TO COMPLY WITH SANS 10400 - P 4 & 9 WHERE SANS 10400-8 AND 10400-9 ARE NOT SPECIFIED & SUPERUNDRAINS TO BE 75 ABOVE F.F.L.
 SEWER CONNECTION POINTS TO BE EXPOSED & LEVELS CONFIRMED PRIOR TO COMMENCING.
 ALL UNDERGROUND SOIL PIPES TO BE 110 Ø & MIN 300 BELOW F.F.L. OPEN VENT PIPES TO BE FITTED AT HEAD OF ALL DRAINS.
 WASTE VENT PIPES 50 Ø UNLESS OTHERWISE NOTED.
 ACCESS TO DRAINAGE INSTALLATION TO COMPLY WITH SANS 10400-10.
 FLOODING EYES TO BE FITTED AT EVERY 29M & AT HEAD OF DRAINS.
 ALL SEWER & STORMWATER PIPES TO PASS THROUGH WALLS AS PROVIDED. IN ACCORDANCE WITH SANS 10400 - P 4.22.2 HEAVY DUTY PIPE TO BE ENCASED IN CONCRETE WHERE ANY STRUCTURE PASSES OVER PIPES & SAME TO BE PROTECTED FROM ANY IMPROSED LOADS. SEE NOTES ON DRAWING ALSO.
 CONTRACTOR TO MAKE GOOD ALL EXISTING WORKS AFFECTED BY ALTERATIONS & ADDITIONS WHERE APPLICABLE.
 SANS 10400-11 TO BE COMPLIED WITH FOR ALL FOUNDATIONS & BOUNDARIES (WHERE POSSIBLE).
- CONSTRUCTION NOTES:**
 ALL FOUNDATIONS TO COMPLY WITH SANS 10400 - PART H 2010 STRIP FOUNDATION TO BE 800 x 300 MINIMUM T.O.C. TO BE MIN 250 BELOW F.F.L.
 ALL FLOORS TO COMPLY WITH SANS 10400 PART J 2010.
 ALL EXISTING STRUCTURES TO BE REINFORCED TO BE MIN 250 REINFC CONC & AS PER PROFESSIONAL ENGINEERS DETAIL.
 HARD CORE FILL UNDER 100 GROUND FLOOR SLAB WITH REF 193 MESH & POISENED WITH 5% PCP IN SOLUTION.
 250 micron DPM TO BE FITTED BETWEEN HARD CORE & SLAB.
 SABS 1985 TYPE C ANT GUARD DPC & VERTICAL DPC AS REQUIRED.
 ALL WALLS TO COMPLY WITH SANS 10400 PART K 2011.
 CONCRETE BLOCKS TO SABS 1734, WITH PLASTER & PAINT FINISH DPC FITTED ON FIRST COURSE OF BRICKS / BLOCKS AT WINDOW & LUNTEL LEVELS. SABS 952 1985 TYPE B.
 ALL RETAINING WALLS BANKS PLATFORMS & STRUCTURAL WORK TO BE PROFESSIONAL ENGINEERS DETAIL. ALSO SEE NOTES ON DRAWING.
- SWIMMING POOL NOTES:**
 FIBREGLASS POOL TO BE FITTED WITH RING BEAM TO PR ENGINEERS DETAILS.
 CONSTRUCTION OF POOL TO COMPLY WITH SANS 10400-4 SANS 10400-8 & SANS 10400-10 2010.
 POOL FINISHING & GLAZES TO COMPLY WITH SANS 1997 IF REQUIRED WASTE WATER FROM POOL TO BE CONNECT TO EXIST SEWER IN 110Ø PVC PIPE INCLUDING MIN 11 METRE LONG BREAK PRESSURE TANK EXCAVATED SOIL TO BE SPREAD OVER FRONT GRASSSED AREA.

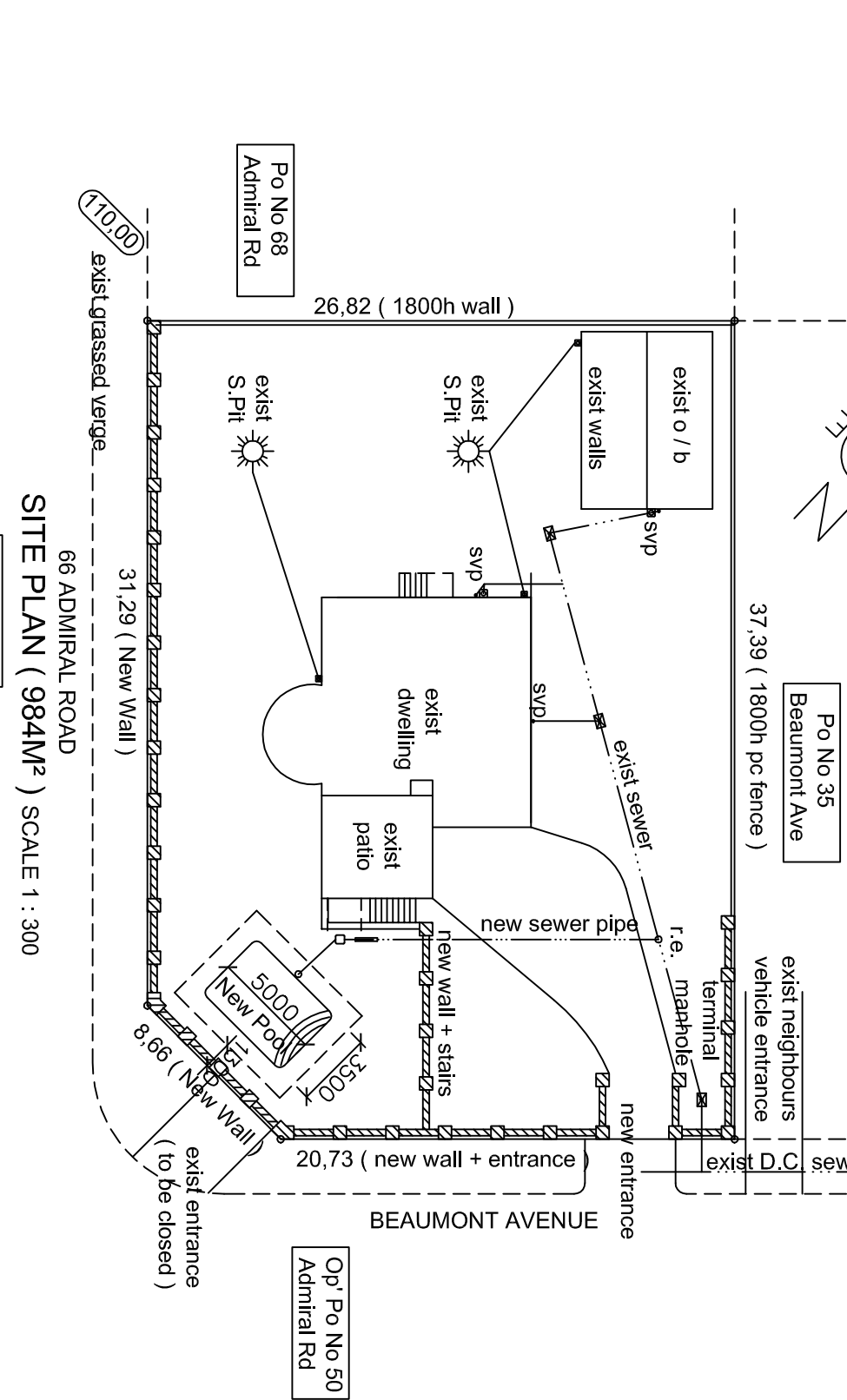
SPECIAL NOTE

ALL RETAINING WALLS TO HAVE 250 x 250 SUB-SOIL DRAIN WITH 13mm STONE WRAPPED IN U14 BITUM. 065 NYLTON PIPE TO OUTFALL AT EACH RET WALLS 065 PVC PIPE WEEP HOLES @ 1000 CRS (ALL AS PER PR ENG. DETAILS)

AGE OF EXISTING BUILDINGS: 65 YEARS
 ZONING: Special Residential 900
 SCHEDULE OF AREAS / M²

SITE AREA	= 994.00
EXISTING BASEMENT GARAGE	= 44.70
EXISTING BR FLOOR DWELLING	= 101.30
EXISTING BR FLOOR DWELLING	= 11.30
EXISTING ROOM OTTWS	= 24.80
EXISTING PARK	= 237.50
EXISTING TOTAL AREA	= 282.20
EXISTING BALCONIES	= 11.30
EXISTING PATIO	= 23.40
EXISTING COVERAGE	= 16.22%
NO ADDITIONS / ALTERATIONS TO EXISTING BUILDINGS	= 159.60

WASTE WATER FROM SAND FILTER TO BE DISCHARGED INTO EXISTING SEWER VIA BREAK PRESSURE TANK AS PER SABS 0400 EXCAVATION NOTES:
 EXCAVATIONS TO COMPLY WITH SANS 10400-8 2010 WHERE REQUIRED SOIL EXCAVATION & FILLING TO BE PROFESSIONAL ENGINEERS DETAIL.
SPECIAL NOTE
 ENTIRE PROPERTY TO BE WALLED & ENTRANCE FITTED WITH ENTRANCE GATE PRIOR TO FILLING OF POOL.



SITE PLAN (984M²) SCALE 1 : 300

APPROVALS

TEL NO	NAME	SIGNATURE	ADDRESS
			88 Admiral Rd
			59 Admiral Rd
			50 Admiral Rd
			55 Beaumont Ave

NO OBJECTION TO RELAXATION OF FRONT BUILDING LINE

BOUNDARY BEACONS TO BE CONFINED PRIOR TO COMMENCEMENT OF WORKS

BOUNDARY BEACONS TO BE CONFINED PRIOR TO COMMENCEMENT OF WORKS

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 Tel. 031 466 2464 Cell. 0833 18 73 78

Scale: 2 October 2013

Dwg No: Mil-1318

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