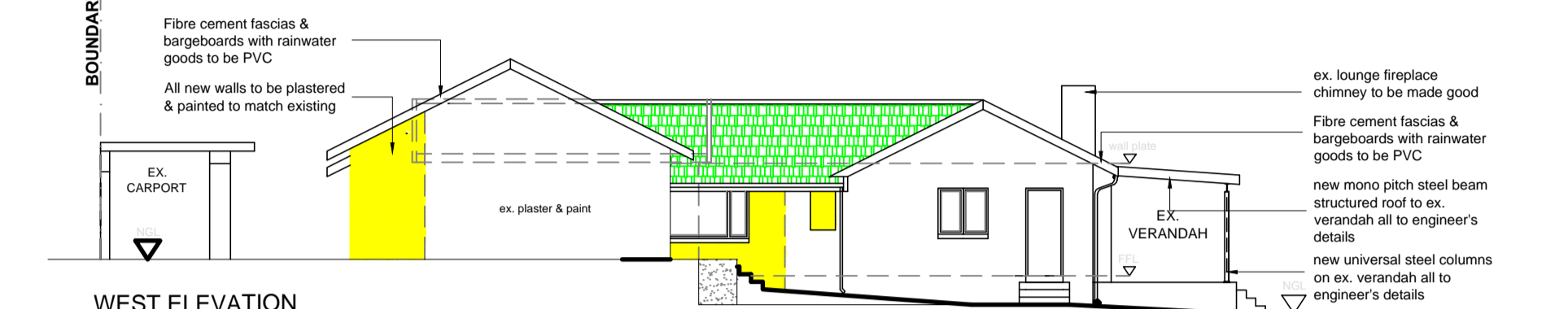
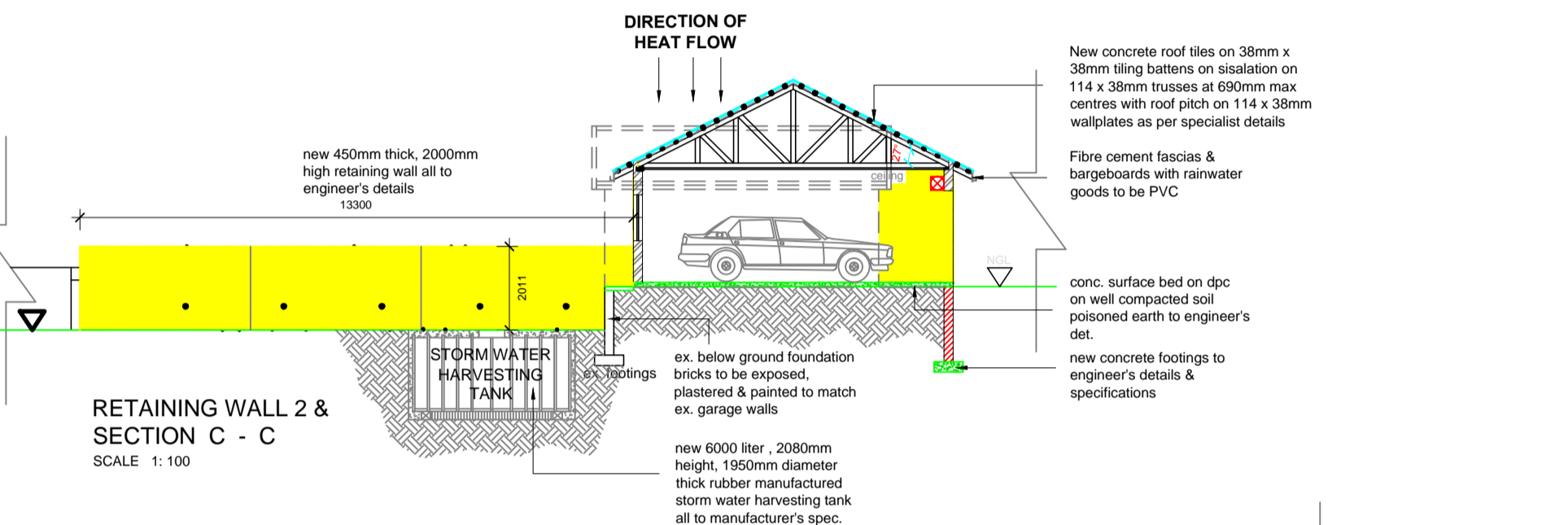




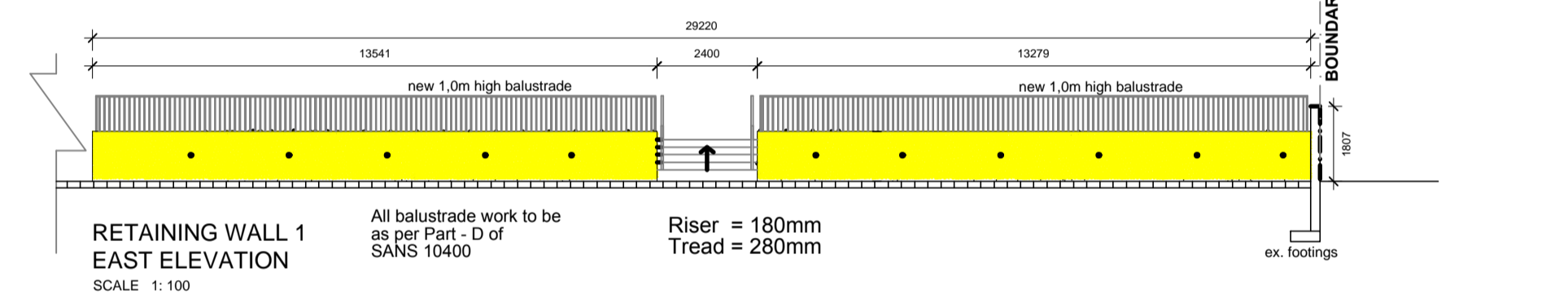
EAST ELEVATION
SCALE 1:100



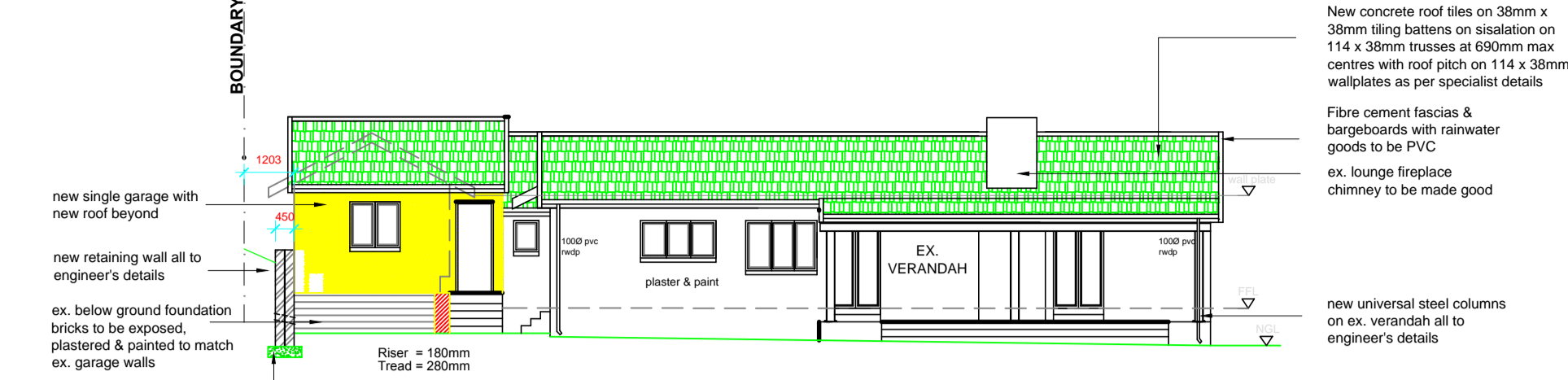
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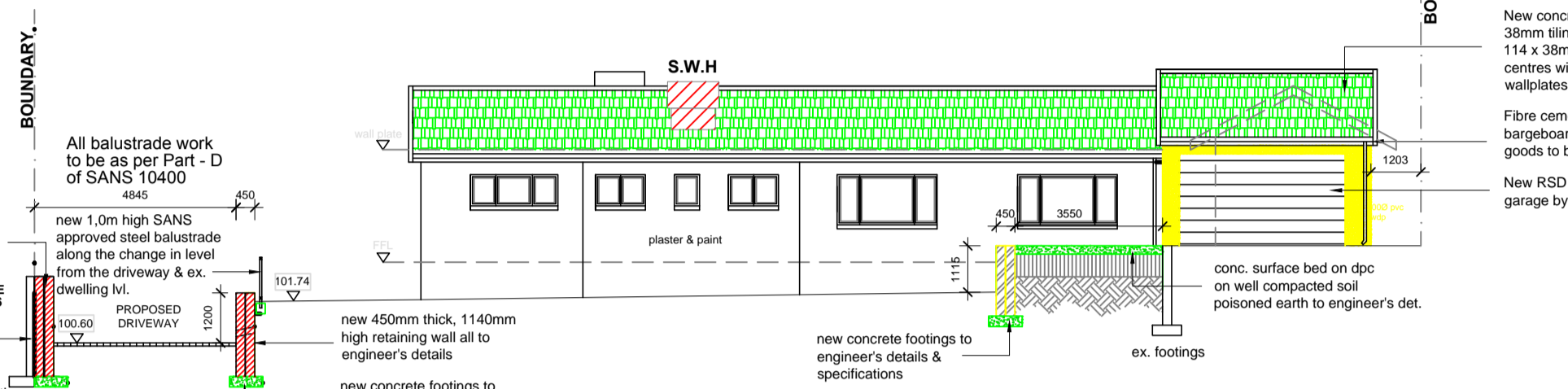
RETAINING WALL 2 & SECTION C - C
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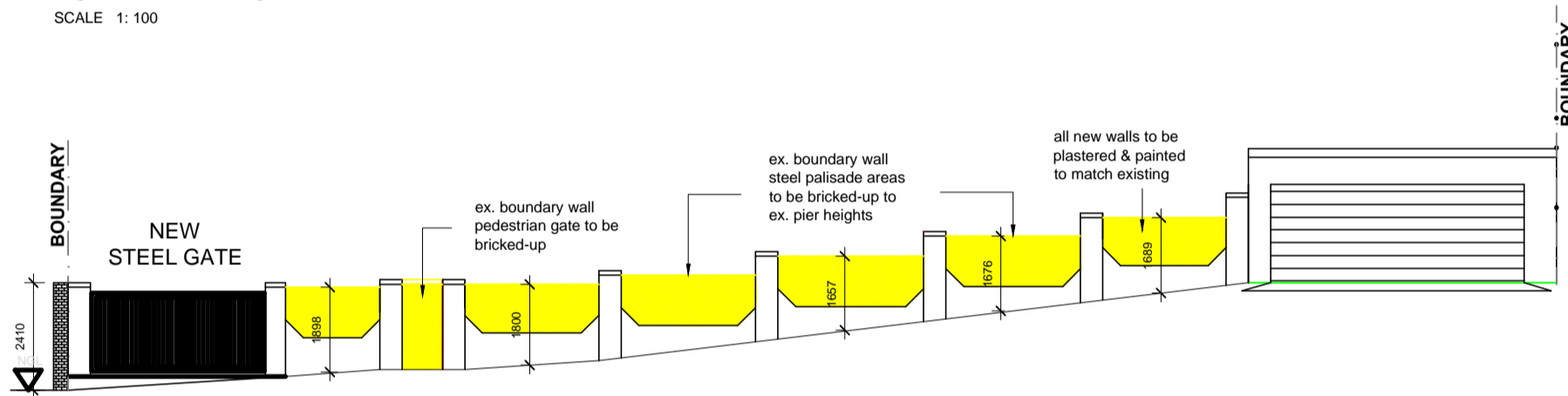
RETAINING WALL 1 EAST ELEVATION
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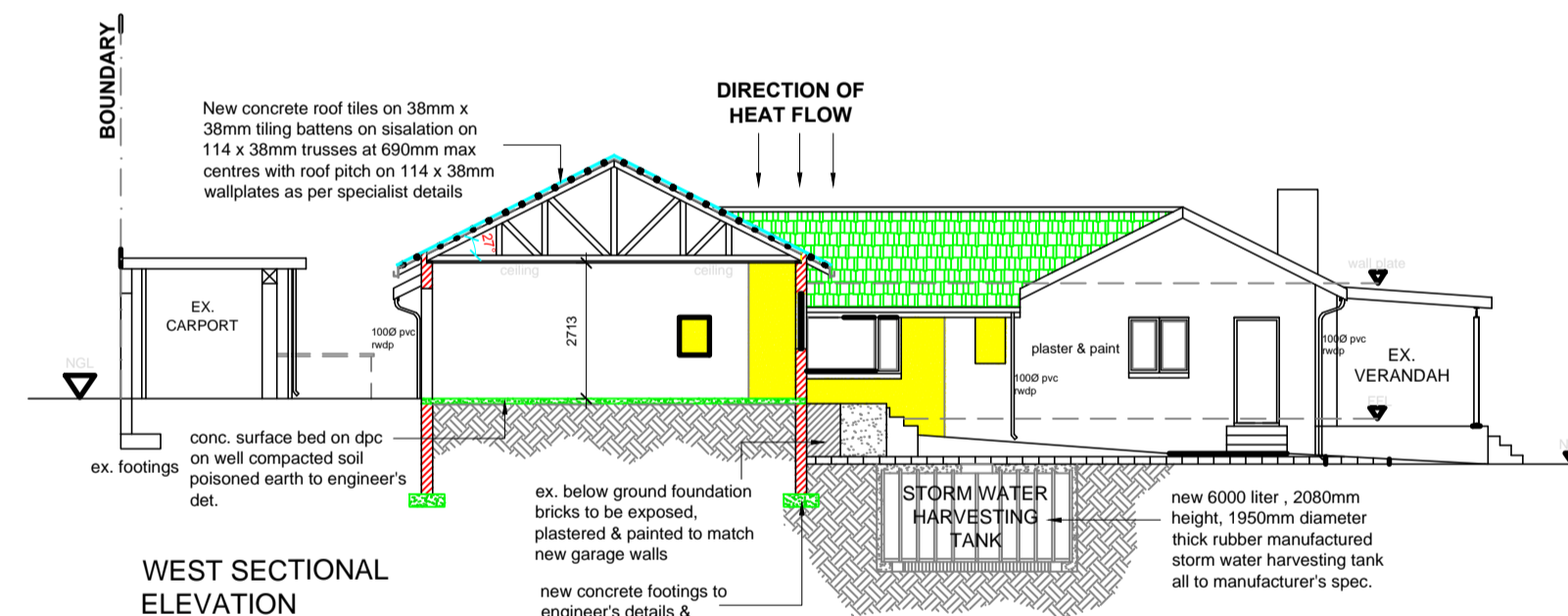
SOUTH ELEVATION
SCALE 1:100



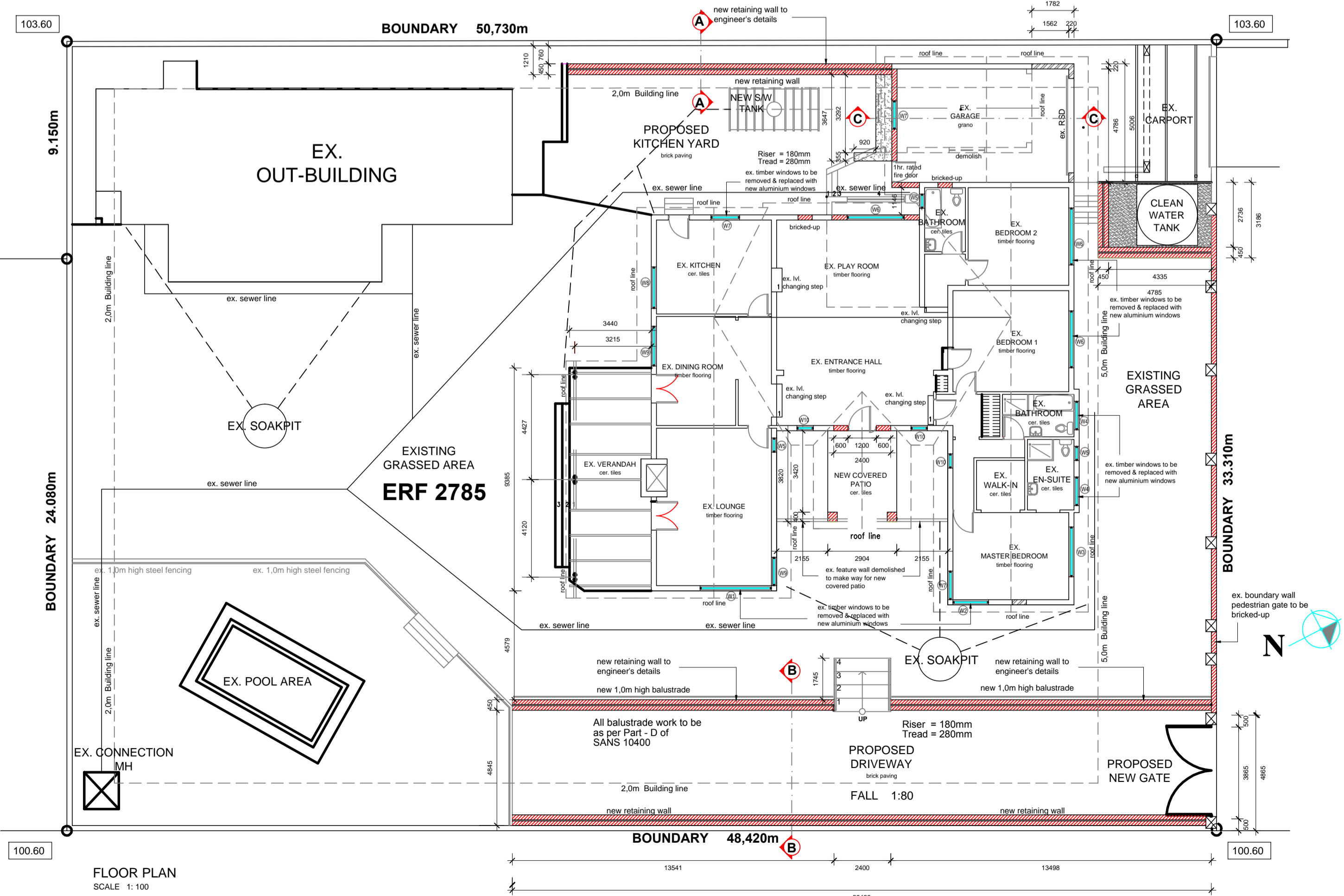
NORTH ELEVATION
SCALE 1:100



NEW DRIVEWAY GATE ACCESS
NORTH ELEVATION
SCALE 1:100



WEST SECTIONAL ELEVATION
SCALE 1:100



FLOOR PLAN
SCALE 1:100

- NEW OUT BUILDING**
1. ORIENTATION
In view of the existing building conditions it is not possible to implement this.
2. EXTERNAL WALL
All external walls to be 220mm blockwork, plastered on the internal side only.
All internal walls to be 110mm blockwork, plastered on both sides.
3. FENESTRATION
Total Dwelling F.A.R = 262.95m²
Permitted window area = 45.65m² (20%)
Total window area = 24.93m² (9.48%) complies therefore no further calculation is required.
4. ROOF ASSEMBLY
Climatic zone - 5, Min R-value = 2.7
Heat flow direction - Downwards
Roof construction - conc. clay tiles
at pitch > 20° pitch with horizontal ceiling below rafter
R - value for Outdoor air film - 0.03m²/KW
R - value for 4mm Waterproofing - 0.03m²/KW
R - value for Slat Concrete - 0.07m²/KW
R - value for Ceiling air space - 0.22m²/KW
R - value for Plasterboard Ceiling - 0.10m²/KW
Total R - Value for roof construction - 0.57m²/KW
Min R - value required for insulation - 2.13m²/KW
Min 100mm fibre glass flexible blanket insulation to achieve
R - value of 2.15 to 2.29m²/KW
5. ENERGY CALCULATIONS
ENERGY DEMAND
Dwelling: 262.95m² x 9.9Wh/m² = 1314.75 Wh
ENERGY CONSUMPTION
(hours per year) x (no. of light x 11 watts)
Dwelling: 2192 x 0.143kW (13 lights)
= 313.46Wh per ANNUM
Therefore CONSUMPTION:
Dwelling (313.46Wh)
DEMAND:
Dwelling (1314.75Wh) complies
6. HOT WATER SUPPLY
Daily usage = (160L x 1) x 4.182 x 18°
= 11.536.64 = 11.536 MJ
Therefore 5.269 MJ required via means other than electrical resistance.
100L Solar water treated water supply to be provided with 'Q' value of 11.077 MJ.
All hot water pipes to be clad in insulation with R-VALUE greater than 1.00 for pipes ≤ 80mm.
Solar installation to comply with SANS 1307, SANS 10106,
SANS 10254, SANS 10252-1
- OCCUPANCY CLIFICATION - H4

AREA SCHEDULE

SITE AREA	1647.88 m ²
PERMITTED F.A.R	N/A
PERMITTED COVERAGE	46.5%
EX. CARPORT	288.74 m ²
EX. COVERAGE	27.8%
PROP. F.A.R	8.86 m ²
PROP. COVERAGE	1.62%
TOTAL F.A.R	317.82 m ²
TOTAL COVERAGE	29.42%

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ALL MEASUREMENTS AND HEIGHTS HAVE TO BE CONTROLLED AND WERE APPLICABLE ADAPTED TO EXISTING BUILDINGS PRIOR TO COMMENCEMENT OF ANY WORK.
ANY DISCREPANCIES OR CONFLICTS MUST BE DISCUSSED WITH THE ARCHITECT IMMEDIATELY.
NO DRAWINGS ARE TO BE SCALED.
ALL DIMENSIONS ARE TO BE SET OUT USING A PROFILE MARKED AT 85 mm or 128 mm or 150 mm OR IN CODES.
THE CONTRACTOR MUST HAVE A FULL SET OF DRAWINGS ON SITE DURING CONSTRUCTION.
ALL DIMENSIONS AS INDICATED ON PLAN ARE TO BE SET OUT ON A LEVEL HORIZONTAL PLANE.
THE CONTRACTOR IS RESPONSIBLE FOR CORRECT SETTING OUT OF BUILDING LINES ON THE SITE, WITH PARTICULAR REFERENCE TO SITE BOUNDARIES AND BUILDING LINES.
THE CONTRACTOR IS TO BUILD IN S.A.S. APPROVED P.V.C. WHETHER OR NOT THESE ARE SHOWN ON DRAWINGS, TO ALL EXTERNAL WALLS AT EACH FLOOR BEARING UPWARDS LEVELS AND TO ALL INTERNAL DOOR SILLINGS OR OTHER OPENINGS BY EXTERNAL WALLS CHAFF WALLS TO BE SETTED OFF, etc.

- GENERAL:**
1. All work to comply with NBR or SANS.
2. All levels and dimensions to be checked on site prior to commencement of building.
3. Discrepancies to be brought to the architect's attention.
4. All written dimensions taken in preference to scaling.
5. All boundary beacons to be flagged by a registered land surveyor and the contractor to obtain a certificate stating that the work has been correctly set before proceeding.
6. All foundations taken to hard virgin ground.
- WALLS:**
1. Walls of 220mm & 110mm brickwork & blockwork.
2. External walls all to be finished as per spec.
3. Internal walls to be plastered & painted
4. Walls all ventilated with air bricks.
5. All walls to comply with Part - K (SANS 10400)
- ROOF CONSTRUCTION:**
1. See Section A - A & B - B
2. Flashing provided where necessary.
3. Fascias and bargeboards all in fibre cement.
4. Ceilings all 6.0mm plasterboard and painted with gypsum cornices.
5. All rain water goods to match existing.
- DOORS & FRAMES:**
1. Aluminium frames on all external doors.
2. All external doors as per schedule
3. All external doors are flush panel semi solid core faced in.
4. All timber doors provided with 1 pair (internal) and 1.5 pairs (external) 100 mm brass butt hinges and lockset.
- WINDOWS & GLAZING:**
1. Windows as shown on schedule
2. All glazing in accordance with Part "N" of SANS 10400.
3. Glazing to bathrooms & WC's all obscure toughened safety glass
- PLUMBING:**
1. Waste pipes : 50Ø PVC pipes
2. Internal water pipes : 15Ø copper feed to fittings
3. Sewer pipes : 100Ø PVC pipes
4. New sewer line to connect to existing as shown
5. All WHB to have 50Ø 1 way vent valve
6. All WC's to have 2 way vent valve
- STORM WATER:**
All s.w to discharge to ex. storm water line

Author:

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REG. NO. PA74245246

PROJECT:
PROPOSED ADDITIONS & ALTERATIONS TO EX. DWELLING FOR J. MAHARAJ & S. NAIDOO OF ERF 2785, 6 THIRLMERE PLACE DURBAN NORTH

SUBMISSION DRAWINGS:
FLOOR PLAN, ELEVATIONS & SCHEDULE

Date: AUGUST 2022

Scale: AS SHOWN

Design: AS SHOWN

Drawn: N.A. MNGOMA

DWG No/Sheet No:

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