



44

JOHNSTON & PARTNERS
2nd FLOOR, 81 RICHEFOND CIRCLE
RIGDGESIDE OFFICE PARK
UMHLANGA ROCKS
4319

Prepared by me


CONVEYANCER
VANESSA LYNN WILLIAMS

VERBIND		MORTGAGED	
VIR FOR R 1 200 000,00			
B	000005248 / 2016		
	2016 -05- 1-2		
		REGISTRAR	

2016 -05- 1-2

FEE'S	
Stamp Duty	
Reg	R 1200,00
Govt	
G/M Bond	

T	012511 / 2016
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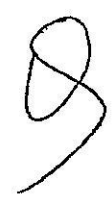
DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT
CLIVE ANTHONY WILLS

appeared before me, REGISTRAR OF DEEDS at PIETERMARITZBURG, the said
appearer being duly authorised thereto by a Power of Attorney which said Power of
Attorney was signed at DURBAN on 5 APRIL 2016 granted to him by

- MICHAEL ANDREW SWANSON DEVLIN**
Identity Number 481130 5086 08 0
Married out of community of property
- PATRICIA DOROTHY DEVLIN**
Identity Number 510129 0066 08 4
Married out of community of property

VIR VERDERE ENDOSSEMENTE SIEN
FOR FURTHER ENDORSEMENTS SEE PAGE.....



And the appearer declared that his said principal had, on 20 February 2016, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by virtue of these presents, cede and transfer to and on behalf of:

1. **RYAN GEORGE HANCOCK**
Identity Number 780427 5246 08 8
Married out of community of property
2. **SASHA HANCOCK**
Identity Number 850623 0048 08 2
Married out of community of property

their Heirs, Executors, Administrators or Assigns, in full and free property

**PORTION 15 OF ERF 946 DURBAN NORTH, REGISTRATION DIVISION FU,
PROVINCE OF KWAZULU-NATAL**

IN EXTENT 1012 (ONE THOUSAND AND TWELVE) SQUARE METRES

**FIRST TRANSFERRED BY DEED OF TRANSFER NUMBER T3069/1944
WITH DIAGRAM S.G. NUMBER 227/1944 ANNEXED THERETO AND HELD
BY DEED OF TRANSFER NUMBER T52664/05**

THIS PROPERTY IS TRANSFERRED :

- A. Subject to such of the conditions of the original Government Grant Number 1548, as are still applicable.
- B. With the benefit, created in said Deed of Transfer Number 3069/1944, of the use of the road 12,19 metres wide over the Remainder of Sub F of Lot 12 Number 1958, as shown on the enlarged plan annexed to the diagram of the said Remainder.
- C. Subject to the following special conditions created in said Deed of Transfer Number T3069/1944, namely -
 - (a) The property hereby transferred shall not be subdivided and there shall not be erected thereon more than one dwelling house with the necessary outbuildings and accessories.
 - (b) Any dwelling house erected on the property hereby transferred shall be used solely for the purpose of a private dwelling and shall not be let out or be used in separate portions or at all as flats, a boarding house, separate residence or dwellings, private hotel or anything whatsoever of a like nature.
 - (c) Neither the property hereby transferred nor any dwelling or erection thereon shall be used either in whole or in part for the purpose of carrying on any business, trade, industry, vocation or calling.



GhostConvey 15.6.7.2

CERTIFIED COPY

- (d) All buildings or erections on the property hereby transferred shall be of good quality, design and construction, and shall be erected in brick, stone or concrete and not otherwise.
- (e) The transferee shall not use or suffer to be used the property hereby transferred or any portion thereof or any buildings or erections thereon for the purpose of advertising or displaying any advertisement.

The foregoing conditions shall operate as servitudes over the property hereby transferred in perpetuity, in favour of the following properties originally transferred to Durban North Estates Limited, the remainders of which are still held by them or any portion thereof all situated near the North Bank of the River Umgeni, Victoria County, Natal, namely:-

1. Portion Y of Lot Number 2 and the Remainder of the said Lot 2.
2. Subdivision 1 of Lot D, Subdivision A of Subdivision E, Remainder of Subdivision E, Subdivision F, Subdivision G and Subdivision 1 all of the Government Lot 12.
3. Subdivision B, Subdivision 1 of Lot C, Remainder of Subdivision C, Subdivision D, all of Government Lot 13 and the Remainder of the said Government Lot 13.
4. The Government Lot Number 14.
5. Subdivision A and the Remainder of the Government Lot 15.
6. The Government Lot Number 16.
7. Subdivision J, of Lot 12.

And upon a breach of any of the foregoing conditions each and every owner from time to time of the aforementioned property or any part thereof shall be entitled and is hereby irrevocably authorized and empowered by the said Transferee and her successors in title to apply for and obtain an interdict restraining any person or persons from committing or continuing to commit a breach of any of the foregoing special conditions and servitudes.

The word "Owner" in the preceding clause shall be deemed to include each and every registered owner of land whose deeds of title contain conditions similar to the foregoing conditions.

A vertical line is drawn on the page. To its right is a handwritten signature, which appears to be a stylized 'D' or similar character.

WHEREFORE the said Appearer, renouncing all right and title which the said

- 1. MICHAEL ANDREW SWANSON DEVLIN, Married as aforesaid
- 2. PATRICIA DOROTHY DEVLIN, Married as aforesaid

heretofore had to the premises, did in consequence also acknowledge them to be entirely dispossessed of, and disentitled to the same, and that by virtue of these presents, the said

- 1. RYAN GEORGE HANCOCK, Married as aforesaid
- 2. SASHA HANCOCK, Married as aforesaid

their Heirs, Executors, Administrators or Assigns, now are and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R3 225 000,00 (THREE MILLION TWO HUNDRED AND TWENTY FIVE THOUSAND RAND).


IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the REGISTRAR OF DEEDS at PIETERMARITZBURG on 2016-05-12



 q.q.

in my presence



 REGISTRAR OF DEEDS



ANNEXED TO T 12511/2016

VERBIND		MORTGAGED	
VIR		R 250 000,00	
FOR			
B	6653 21	<i>P.</i> REGISTRATEUR / REGISTRAR	
2021-04-30			



**ERF 946, DURBAN NORTH, P:15
(PIETERMARITZBURG)**
Deeds Office Property Erf

Suite G01, Waterview 2, Waterview Close, Century
City
Tel: +27 860 340 000
Website: <https://www.searchworks.co.za>

SEARCH INFORMATION

Summary
Search Type: DEEDS OFFICE PROPERTY ERF
Search Description: ERF 946, DURBAN NORTH, P:15 (PIETERMARITZBURG)
Reference: CAROLINE
Date: 07/06/2021

ERF INFORMATION

Summary
Deeds Office: PIETERMARITZBURG
Property Type: ERF
Township: DURBAN NORTH
Erf Number: 946
Portion Number: 15
Previous Description:
Registration Division: FU
Municipality: ETHEKWINI
Province: KWAZULU NATAL
Diagram Deed: T3069/1944
Size: 1012.0000 SQM
LPI Code: NOFU00860000094600015
Street Address:

CERTIFIED A TRUE COPY
OF THE ORIGINAL

ERRYN WYNNE ZEILER
COMMISSIONER OF OATHS
ZEILER JANKEY INCORPORATED
50 ST ANDREWS DRIVE, DURBAN NORTH
PRACTISING ATTORNEY
08/06/2021
1 of 3

OWNER SUMMARY

Owner Name	ID / Reg. Number	Purchase Price	Purchase Date
HANCOCK RYAN GEORGE	7804275246088	R3225000.00	20/02/2016
HANCOCK SASHA	8506230048082	R3225000.00	20/02/2016

OWNER INFORMATION

Owner 1 of 2
Owner Name: HANCOCK RYAN GEORGE
ID / Reg. Number: 7804275246088
Owner Type: PERSON
Title Deed: T12511/2016
Purchase Date: 20/02/2016
Registration Date: 12/05/2016
Purchase Price: R3225000.00
Multiple Owners: YES
Multiple Properties: NO
Share: 0.500000