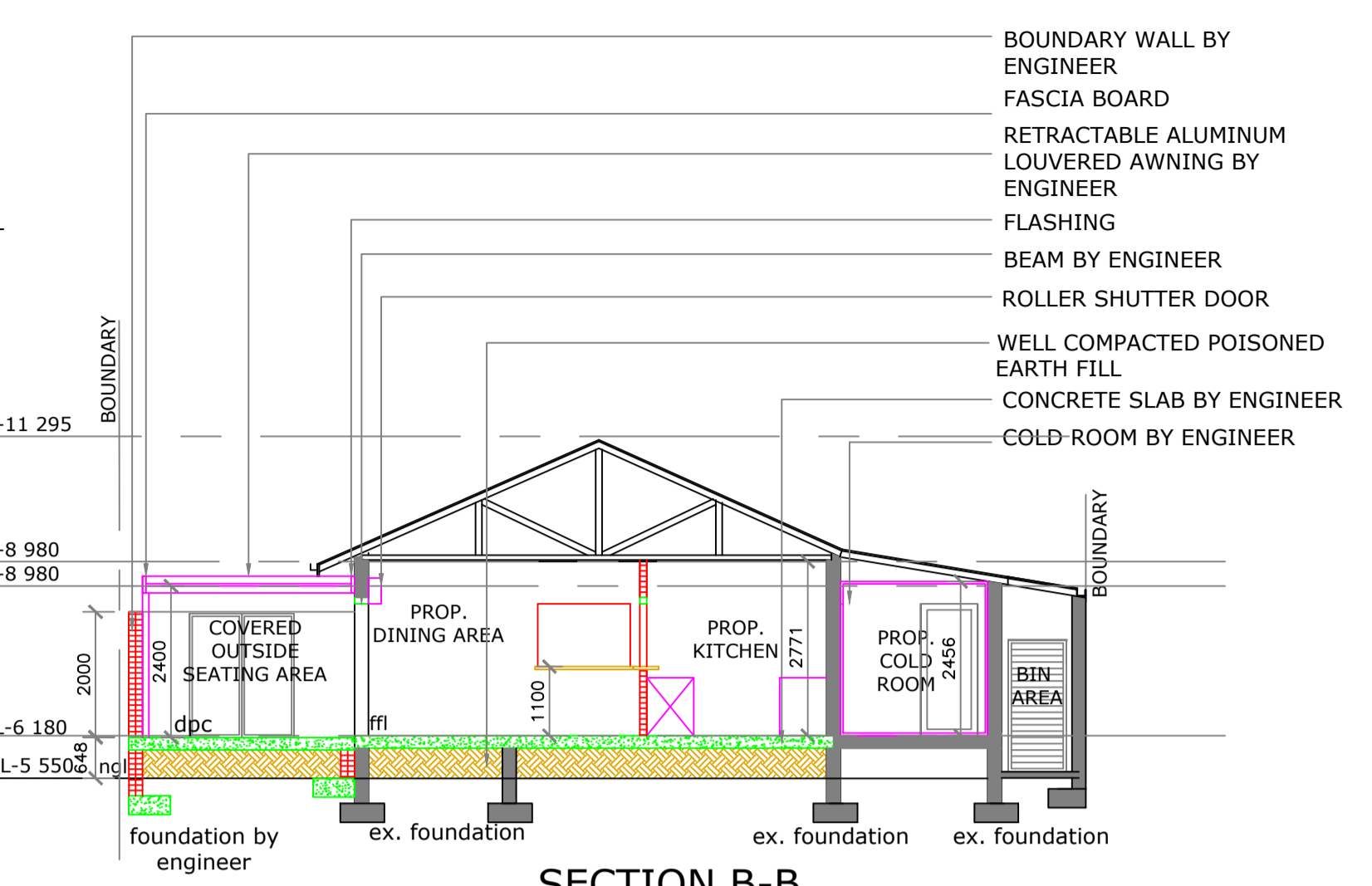
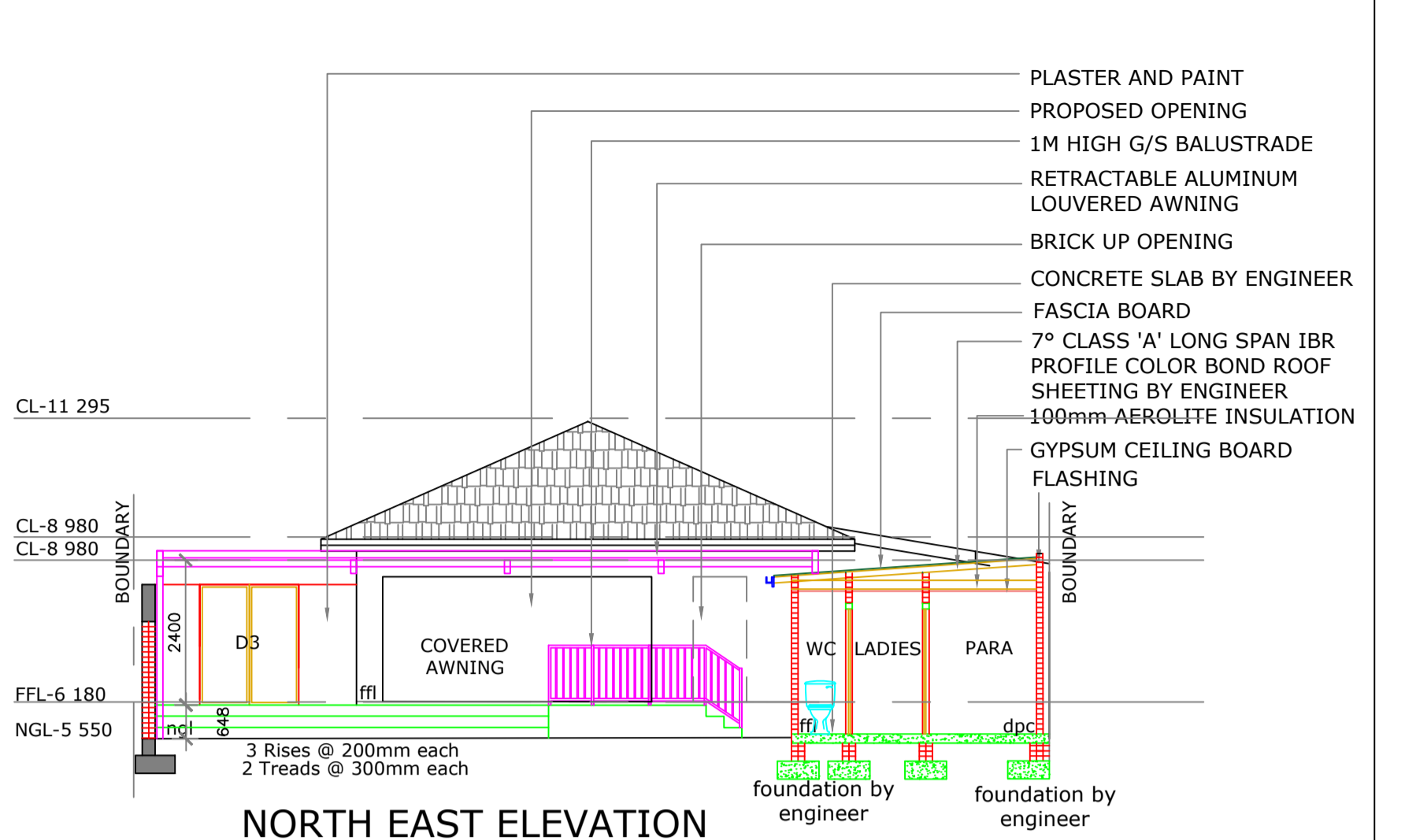


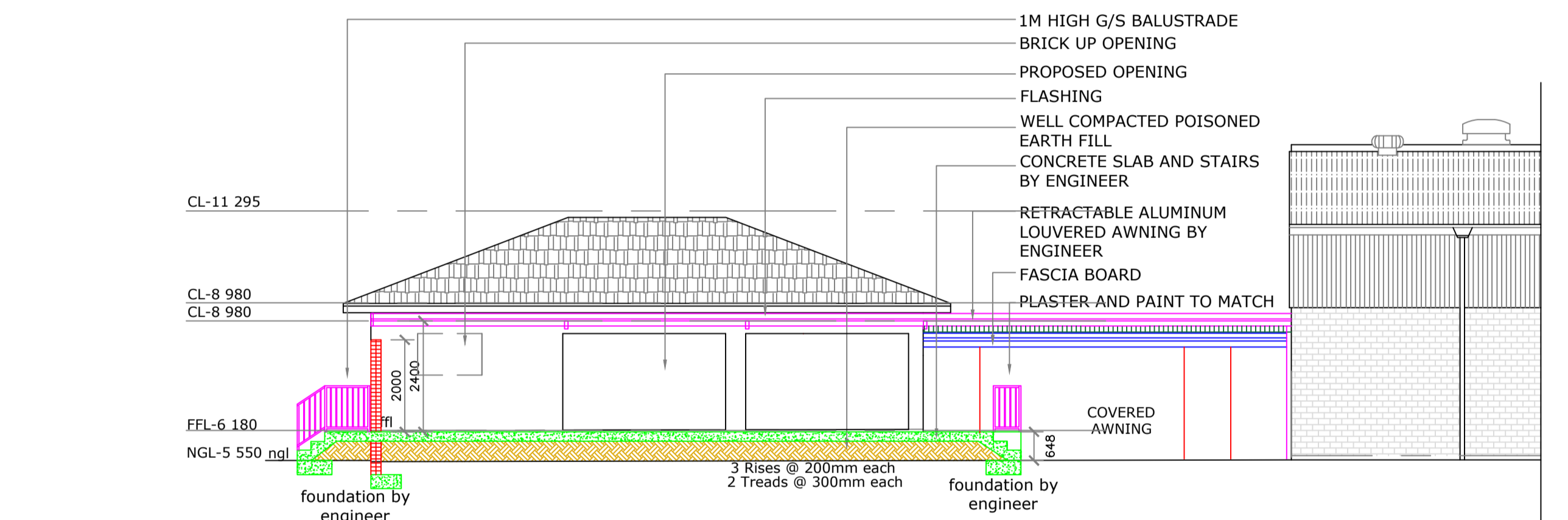
SECTION A-A
scale 1:100



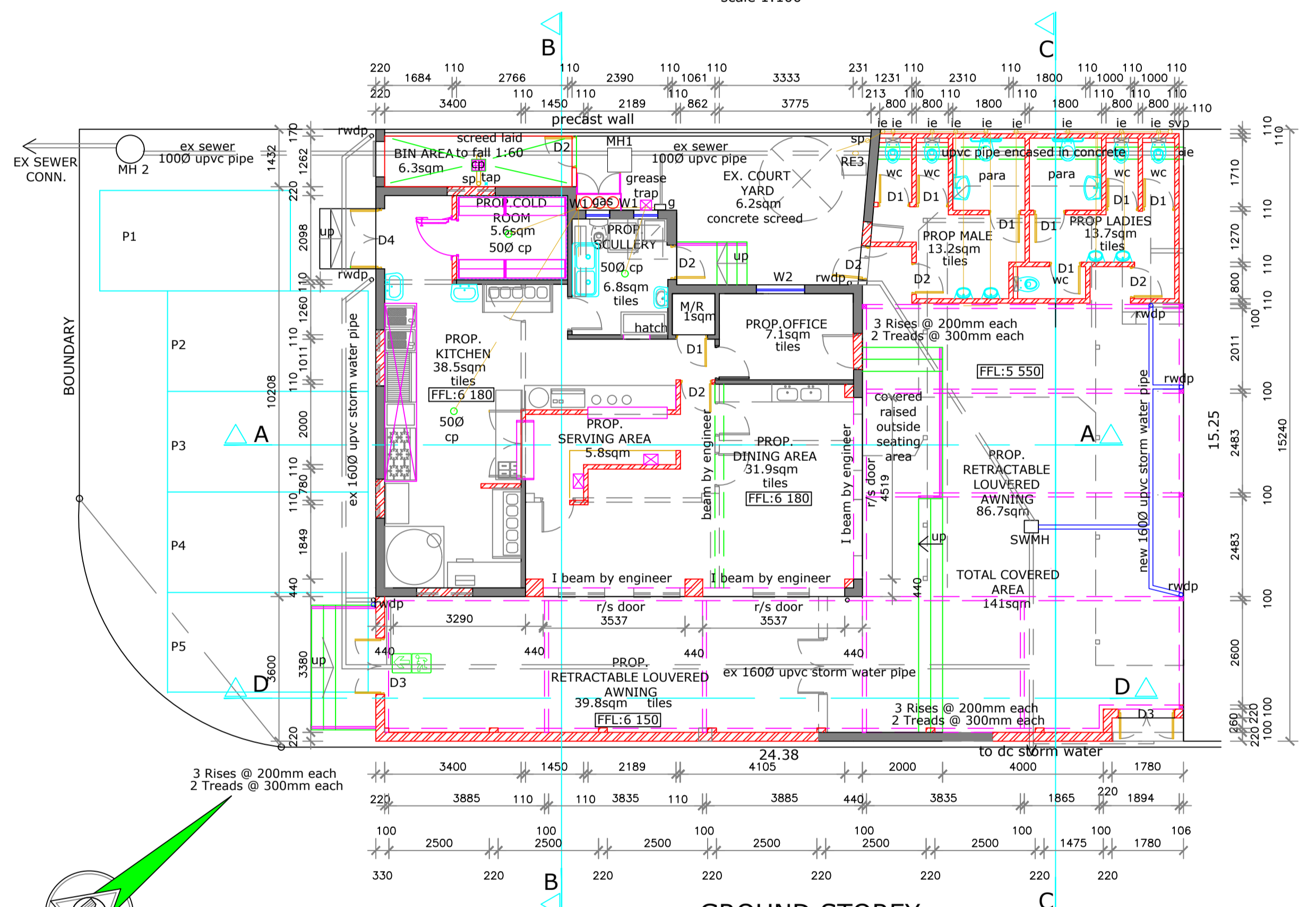
SECTION B-B
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NORTH EAST ELEVATION (SECTION C-C)
scale 1:100



SOUTH EAST ELEVATION (SECTION D-D)
scale 1:100



GROUND STOREY
scale 1:100

NOTES IN RESPECT OF SA STANDARD CODE OF PRACTICE FOR THE APPLICATION OF THE NATIONAL BUILDING REGULATIONS SANS 10400-2010

CONSTRUCTION NOTES

- GENERAL NOTES**
- Contractor to report any discrepancies, omissions or deviations to architect.
 - Do not scale this drawing.
 - Contractor to notify local authority when inspections are due and to obtain all the necessary clearances and certificates.
 - Contractor to locate & identify any services on site and protect these from damage during construction.
 - Contractor to ensure all certificates of compliance are handed to owner on completion of construction.
 - All construction materials and components to comply strictly with all national building regulations (NBR), and SANS 10400 Specifications and codes of practice.
 - Corner beacons to be located and exposed before work on site commences.

MECHANICAL VENTILATION

- to comply with SANS 10400 part O
- Habitable areas (excludes Kitchen) fresh air to be supplied at rate 7.5 l/s/person, air to evenly distributed throughout all habitable areas and velocity is not to exceed 0.5m/s
- Kitchens fresh air supplied at a rate of 17.5l/s/person.
- Water closet air is to be extracted to external rate of 20l/p/second fitment (commercial industrial)
- Artificial lighting to comply with SANS 10400 part o and SANS 10014 part 1.

SUSPENDED CONCRETE SLABS WALLS AND FOUNDATIONS

- Strictly to Engineers detail and design.
- Joints to walls and slabs to comply with engineer.
- Engineer to inspect building work during construction.
- Stability to be certified by engineer on completion of project
- New common brick walls as shown with galvanised brick force as specified by engineer and to be provided at slab, sill and wall plate level, and laid to manufacturers recommendations, with expansion joints to engineers details.
- All sand used in mortar to be screened free of impurities and cleaned, top surface of all new parapets, openings, exposed walls and sills to be waterproofed with approved waterproof membrane.
- Precast r/c lintels to all new openings with brick force above as per engineer.
- 1 Coat smooth sand/cement plaster to all new external walls. All materials used in plaster to comply with the relevant SANS 10400 standard specifications.
- All support columns and beams to Engineers design.

ELECTRICAL

- Electrical refer to electrical layout.
- Electrical to be fitted by council approved registered electrician.
- Artificial lighting to ablation areas to be 160 lux.

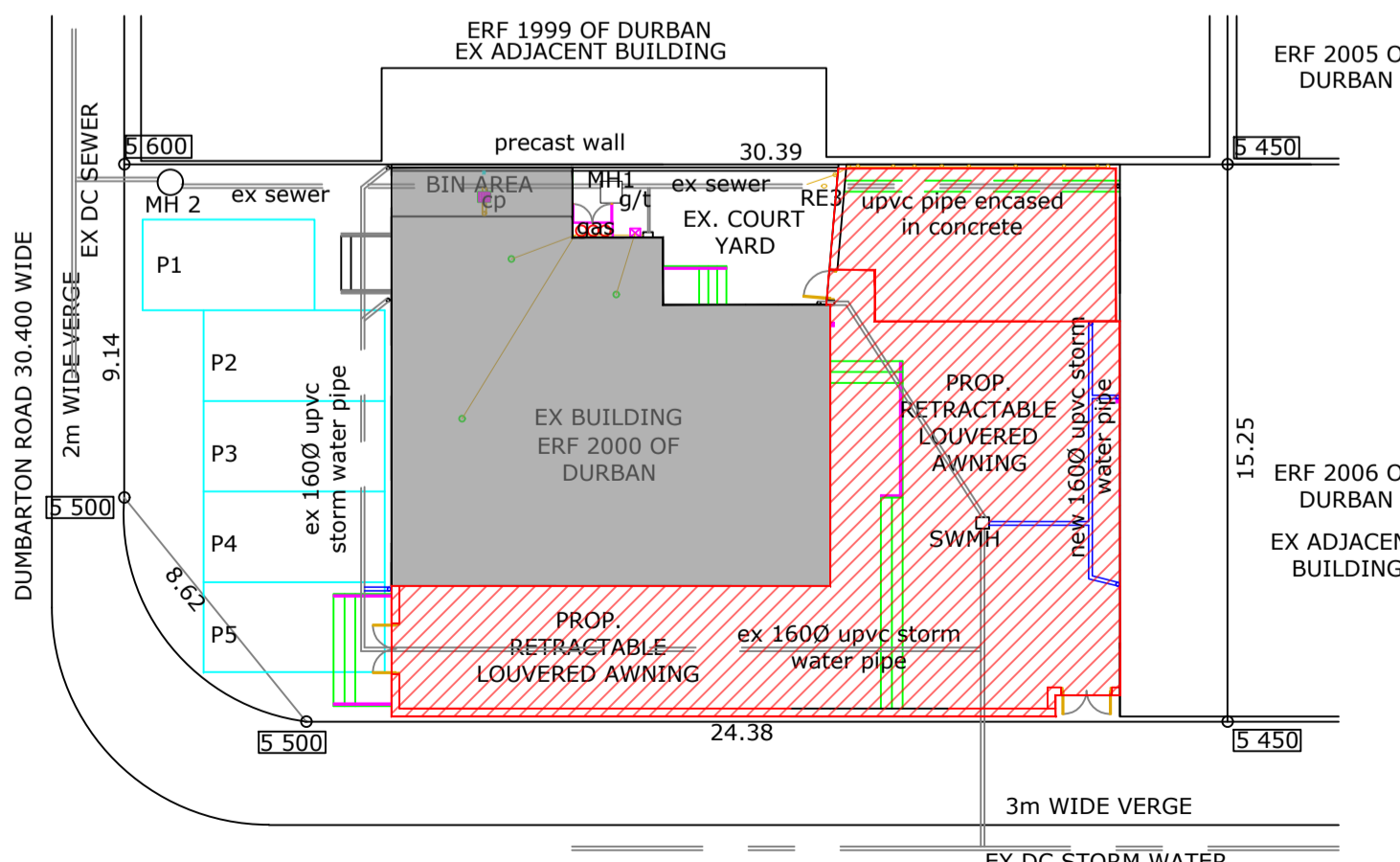
FIRE NOTES

- All required fire safety signalled to be provided as required by Local Authorities and in accordance with National Building Regulations SANS 10400 Part T4.29 and T.4.32.
- All building work, plumbing, water reticulation and materials, fire equipment, fire safety signage and escape routes to comply with the Local Authority requirements in accordance with the SANS 10400-1990 Nation building Regulations.
- Fire stability of all structural elements and components are to comply with SANS 10400 Part T.4.7 and T.4.9.
- Protection of openings to Class 'B' fire doors to comply with the SANS 10400 Part T.10.
- Assembly and roof coverings to comply with SANS 10400 Part T.4.12.
- Smoke control to comply with SANS 10400 Part T.4.42.
- Air conditioning and artificial ventilation systems to comply with SANS 10400 Part T.4.42.
- No Smoking signs to be provided where applicable to comply with SANS 10400 Part T.4.44.
- Access to buildings for fire fighting and rescue purposes to comply with SANS 10400 Part T.4.55.

PART N: GLAZING

- All glazing to comply with SANS 10400-N 2010 as per glazing schedule.
- Glazing certificate required from SAGGA on completion.

SITES ZONED: GENERAL BUSINESS		
PROPOSED USAGE A1		
ERF 2000 OF DURBAN SITE AREA: 453sqm		
TOTAL F.A.R PERMISSIBLE: 1.5 = 679.5sqm		
TOTAL COVERAGE : N/A		
FLOOR AREA:	F.A.R.	
EX GROUND STOREY -	156.7m ²	156.7m ²
EX AWNING -	50.7m ²	
TOTAL EX AREA-	156.7m²	156.7m²
PROPOSED NEW AWNING-	81.1m ²	
PROPOSED NEW GROUND STOREY-	31.2m ²	31.2m ²
TOTAL NEW AREA -	112.3m²	31.2m²
TOTAL F.A.R. = 187.9sq.m = 41.5%		
F.A.R IN HAND = 491.8sq.m		
TOTAL PUBLIC AREA 163.6sq.m		
A1 = 1person per m ² = 163max occupancy		



SITE PLAN
scale 1:200

OWNER / AGENT SIGNATURE:
[Signature]

CLIENT:
STAN NORTON PROPERTIES C.C

ADDRESS:
AT 7 COBHAM GROVE ON ERF 2000 DURBAN

PROJECT:
PROPOSED ADDITIONS AND ALTERATIONS, NEW AWNINGS & BOUNDARY WALL AMENDMENTS

Architectural Aspirations
Budget Plans cc Trading as
06 9505928/23

Address: 27 Lady Bruce Place Morningside Durban 4001
Tel: 031-208 9382
Fax: 086 428 3415
email: marianblack1960@GMAIL.COM www.architecturalaspirations.co.za

DESIGNED/CHECKED:
MARIAN BLACK
Registration: SACAP T0076
KZNA 103 SAIBD 80404

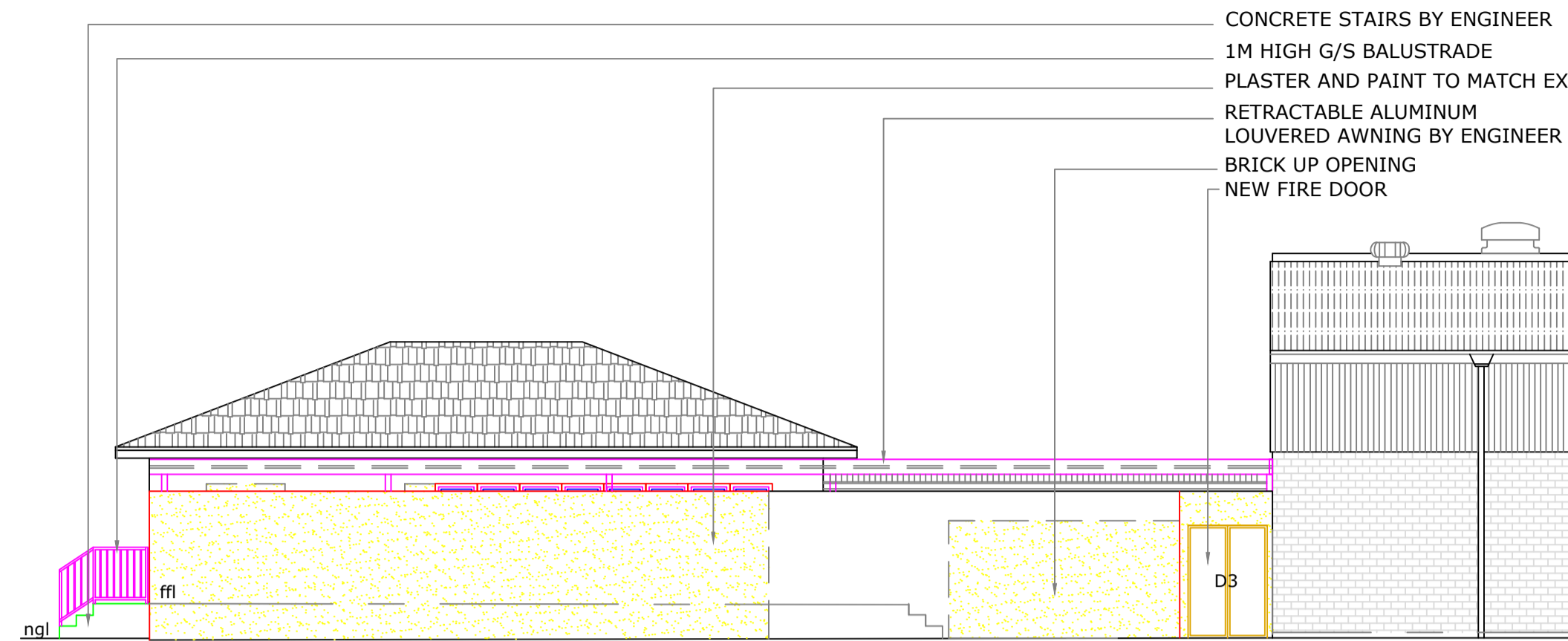
Drawn: WESLEY R. LAVIS
Registration: SACAP PAD 3383 5850
SAIBD L0519/2021/KZN

Date: 26 August 2021
Sheet: 1 of 2
Drawing Number: 2608/21W

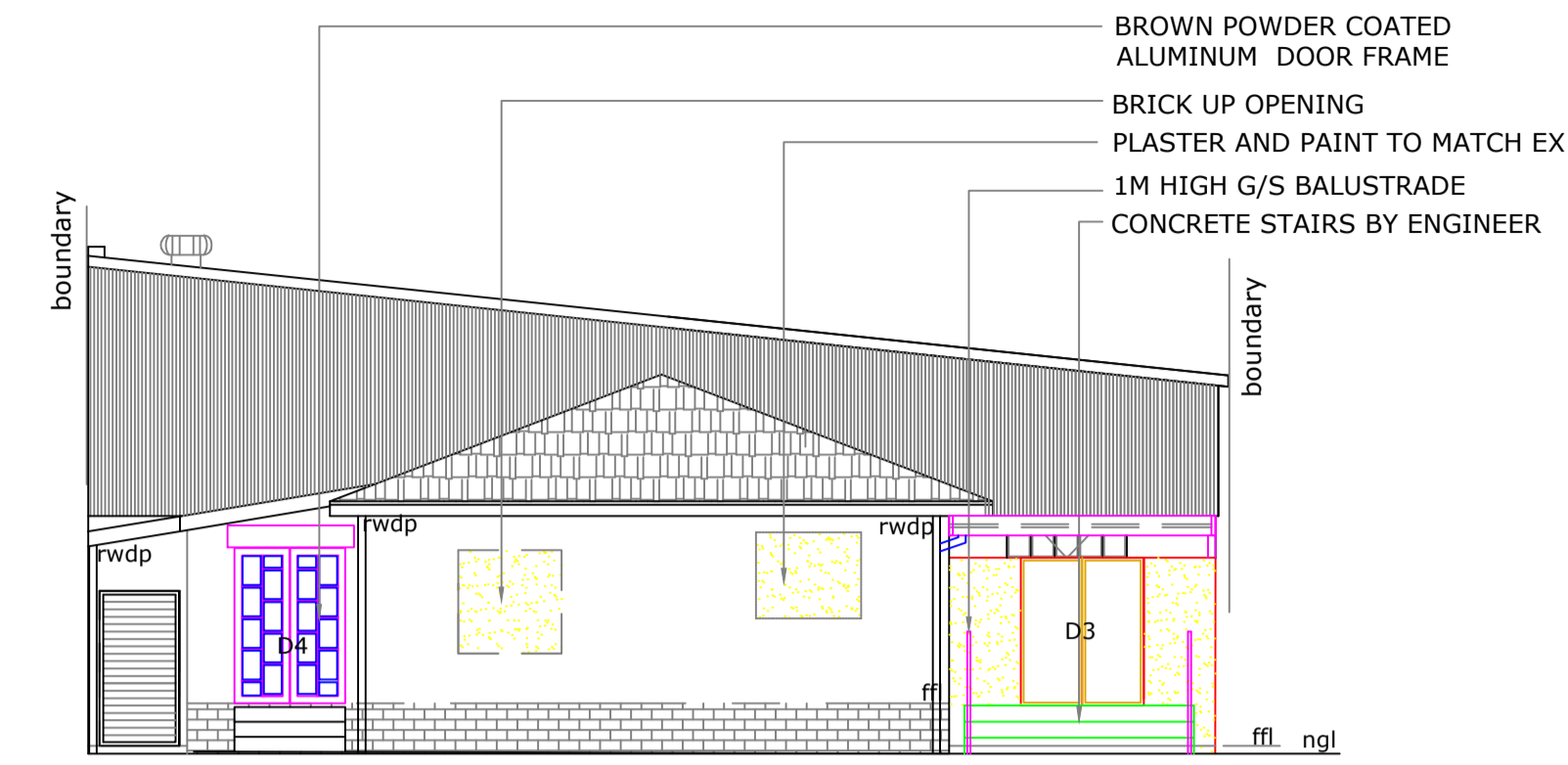
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Revision: E

WINDOW SCHEDULE	
	WINDOW 1 Type - top hung Total - 2 Size - 0.36sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum window frame
	WINDOW 2 Type - double side hung Total - 1 Size - 1.08sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum window frame

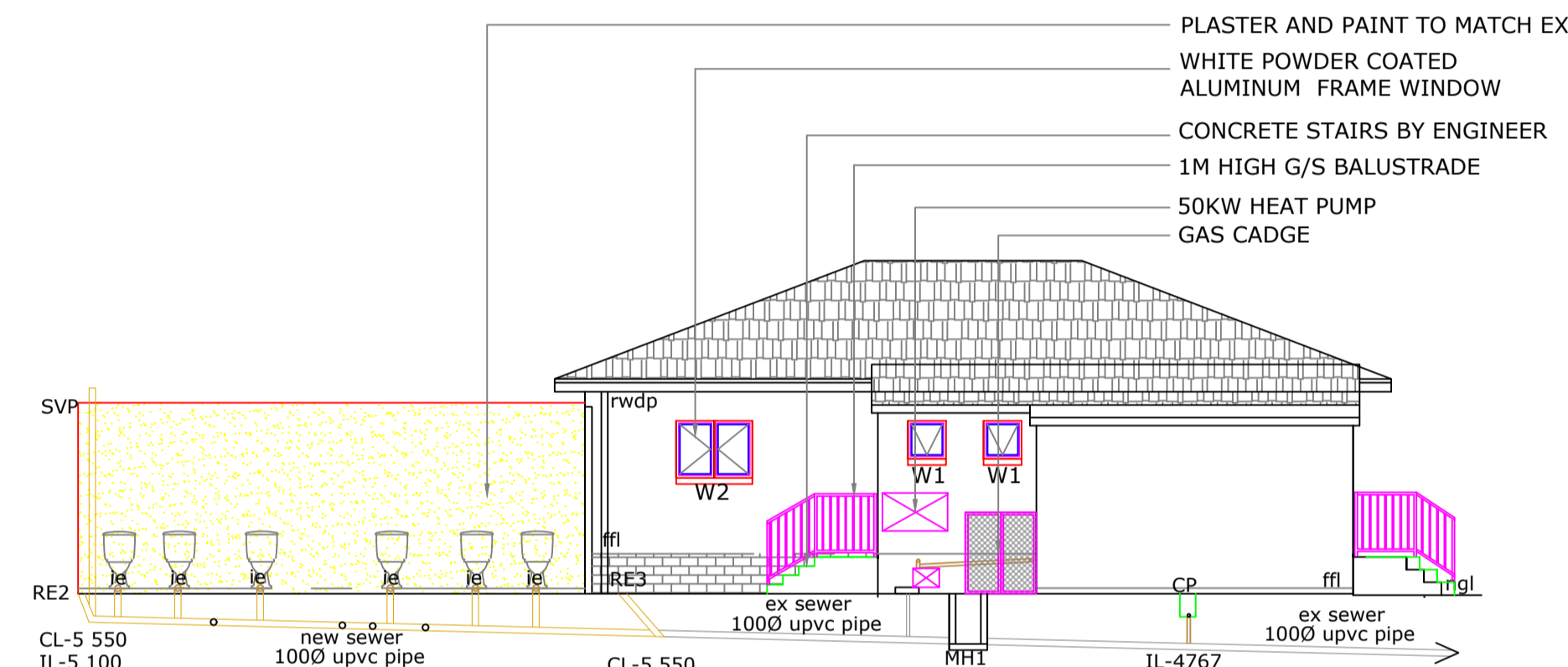
DOOR SCHEDULE	
	DOOR 1 Type - hollow core internal timber door Total - 8 Size - 1.806sqm Description - Internal painted door
	DOOR 2 Type - hard wood external door Total - 5 Size - 1.806sqm Description - painted and sealed hard wood Marathi door
	DOOR 3 Type - hard wood external door Total - 2 Size - 1.806sqm Description - painted and sealed hard wood Marathi door
	DOOR 4 Type - double door Total - 1 Size - 3.15sqm Glazing - 4mm toughened safety glass Description - white powder coated aluminum door frame



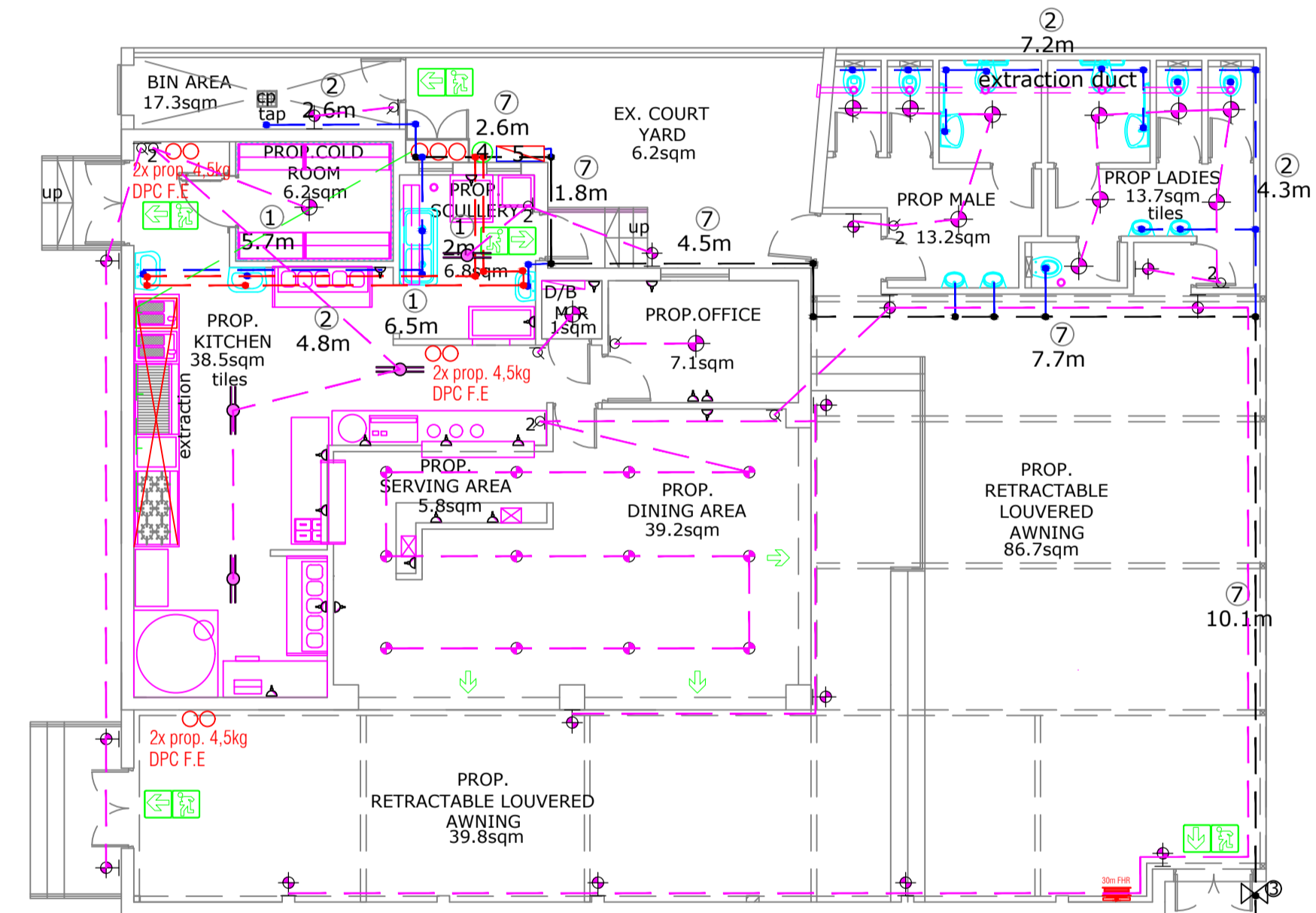
SOUTH EAST ELEVATION
scale 1:100



SOUTH ELEVATION
scale 1:100



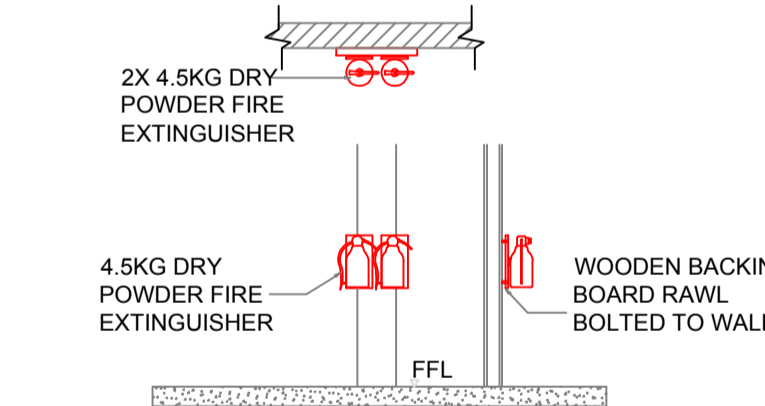
NORTH WEST ELEVATION
scale 1:100



GROUND STOREY Fire and Electrical Layout
SCALE 1:100

NOTES:

- HANDING & QUANTITY TO BE DETERMINED FROM LAYOUT DRAWINGS.
- ALL OPENINGS TO BE MEASURED PRIOR MANUFACTURING. DISCREPANCIES TO BE REPORTED TO ARCHITECT.
- DEVIATION FROM DRAWINGS AND/OR SPECIFICATION TO BE DISCUSSED WITH AND APPROVED BY THE ARCHITECT/CLIENT PRIOR TO MANUFACTURE.
- DRAWING NOT TO BE MEASURED, ONLY READ



TYPICAL DPC FIRE EXTINGUISHER INSTALLATION
SCALE 1:50

FENESTRATION AFFECTED BASEMENT STOREY
TOTAL AREA (15%)
Nett AREA AFFECTED GROUND STOREY - 45 sqm x 15% = 6.75sqm
NEW WINDOWS
TOTAL GLAZING AFFECTED GROUND STOREY = 4.95sqm

TOTAL FENESTRATION CALCULATIONS AFFECTED AREA
Net Floor Area : 45m²
Fenestration : 4.95 sqm
Ratio Percentage : 11%
COMPLIES WITH SANS 10400 XA AND 204

FIRE LEGEND	
	30m FIRE HOSE REEL
	ESCAPE ROUTE
	4.5KG DPC FIRE EXTINGUISHER

ELECTRICAL LEGEND		
5		LIGHT SWITCH SINGLE
5		DOUBLE SWITCH 2LEVER
12		DOWN LIGHTS 3w
16		WALL LIGHTS 6w
4		DOUBLE FLORESCENT LIGHT 12w
11		CEILING LIGHTS 12w
8		EXTRACTION FAN AT 20L PER SECOND
19		DOUBLE 15 AMP PLUG POINT @ 1100mm F.F.L

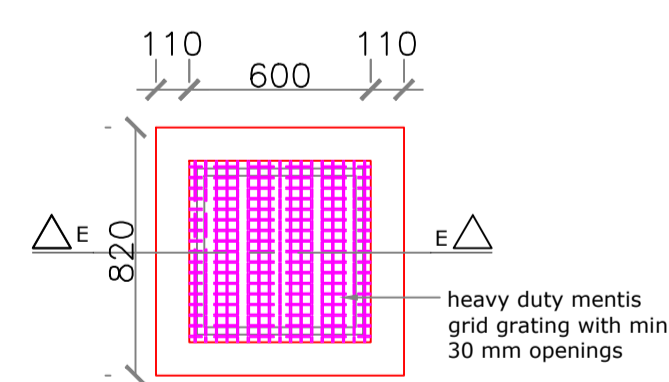
LEGEND	
1	-15mm hot water pipe
2	-20mm cold water pipe
3	- ex isolating valve
4	- 200L hp storage water heater
5	-heat pump 50KW
6	-50mm overflow pipe direct from drip tray to discharge externaly
7	-ex 20mm cold water pipe

WALLS
SANS 10400-XA REQUIRED R-VALUE 0.35
SANS 204 REQUIRED CR-VALUE 60 HOURS
- 230MM BRICK WALLS WITH A 50MM AIR CAVITY
R-VALUE = 1,9 COMPLIES AS PER SANS 10400-XA
CR-VALUE = 60 COMPLIES AS PER SANS 204

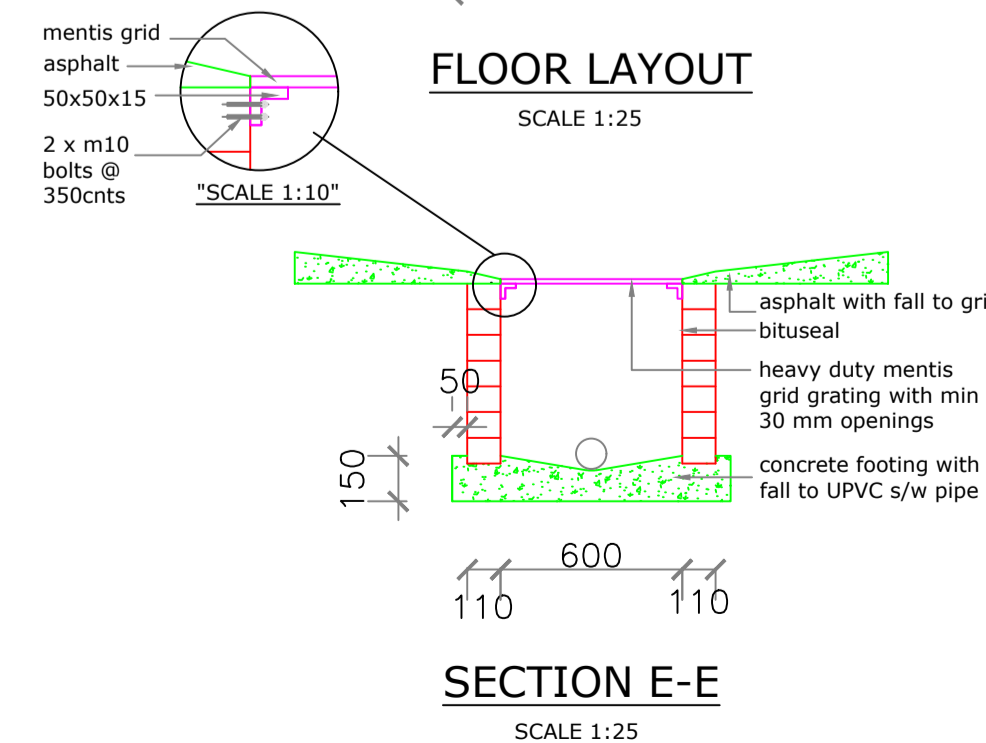
ROOF [NOT VENTILATED]
R-Value required = 2,7
Material concrete slab 0.48
Ceiling [IBR profile roof sheeting] 0.05
Insulation [100mm aerolite] 2.17
insulation with 30cm overlaps
Total R-Value = 2,7 [complies]

WATER
ASSUMED ANNUAL HOT WATER CONSUMPTION : 65.70KL
50% OF ANNUAL HOT WATER CONSUMPTION : 32.85KL
60L PER DAY PROVIDED BY 50KW HEAT PUMP.
>80MM DIAMETER HOT WATER PIPE WITH A MINIMUM R-VALUE OF 1.5 TO BE USED

TYPICAL STORM WATER GULLY LAYOUT



FLOOR LAYOUT
SCALE 1:25



SECTION E-E
SCALE 1:25

2. ENERGY CONSUMPTION

Total Energy Demand [F/A x S]

TYPE FITTING :

NETT. FLOOR AREA = 400kWh / 256m² X 365 = 5703.12kWh/PA

UNIT No:	no. of lights	watts	hrs
DOWN LIGHTS	12	3	18
WALL LIGHTS	16	6	18
FLORESCENT	4	12	18
CEILING LIGHTS	11	12	18

12 x 3 x 18 x 365 = 236.520 KWH/PA
16 x 6 x 18 x 365 = 630.720KWH/PA
4 x 12 x 18 x 365 = 315.36KWH/PA
11 x 12 x 18 x 365 = 867.24KWH/PA

TOTAL 2049.84KWH/PA < 5703.12KWH/PA (COMPLIES)

OWNER / AGENT SIGNATURE:

CLIENT:
STAN NORTON PROPERTIES C.C

ADDRESS:
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PROJECT:
PROPOSED ADDITIONS AND ALTERATIONS, NEW AWNINGS & BOUNDARY WALL AMENDMENTS

Architectural Aspirations
Budget Plans cc Trading as
KZNIA 103 SAIBD B0404
Address : 27 Lady Bruce Place Morningside Durban 4001
Tel : 031 -208 9382
Fax : 086 428 3415
Email : marianblack1960@GMAIL.COM
www.architecturalaspirations.co.za

DESIGNED/CHECKED :
MARIAN BLACK
Registration: SACAP 10076
KZNIA 103 SAIBD B0404

Drawn: WESLEY R. LAVIS
Registration: SACAP PAD 3383 5850
SAIBD L0519/2021/KZN

Date: 26 AUGUST 2021
Scale: as shown

Sheet: 2 of 2
Revision: E