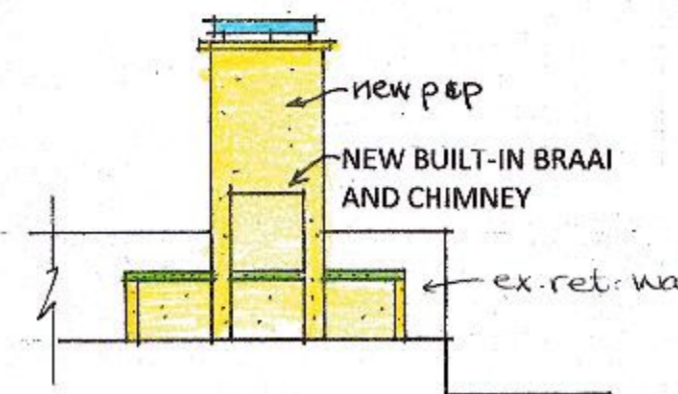


FIRST STOREY PLAN 1 : 100



S.E. ELEVATION OF BUILT-IN BRAAI

**WATER RETICULATION  
MAIN DWELLING :**

CLASS OF OCCUPANCY H4  
 DESIGN POPULATION 8 PERSONS  
 HOT WATER DEMAND 115 litres/person/day x 7 = 230 litres/day  
 HOT WATER STORAGE VOLUME AT 60 DEGREES C ( 20% HEAT LOSS)  
 HOT WATER STORAGE 40 LITRES/CAPITA x 8 PERSONS  
 = 320 litres  
 20% HEAT LOSS ALLOWANCE 80 litres  
 HOT WATER STORAGE REQUIRED AT 60 DEGREES C  
 = 320L + 80L  
 = 400L  
 POWER REQUIRED TO HEAT VOLUME OF WATER REQUIRED :  
 HOT WATER STORAGE REQUIRED AT 60 deg C = 400L  
 $Q = (M \times C \times \Delta T) / t$   
 $Q = (0,40 \times 1,16 \text{ kWh/m}^3 \text{ deg C} \times (60 - 20 \text{ deg})) / 2,5 \text{h}$   
 $Q = 7,4 \text{ kW}$

**NOTE - SUPPLY OF WATER TO COMPLY WITH SANS 10400- PART W**

**GENERAL NOTES :**

ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR BEFORE COMMENCING WORK.  
 FOUNDATIONS TO BE MIN. 1m FROM MUNICIPAL SERVICES.  
 REINFORCED BRICKWORK WITH SOLID JOINTS IN CEMENT MORTAR IN ALL WALLS AT WINDOW CILL AND ROOF PLATE LEVELS.  
 ALL NEW WATER PIPES TO BE 22mm Ø COPPER PIPING.  
 ALL GLAZING TO COMPLY WITH SANS 10400 - PART N.  
 FLOORS IN BATHROOM, LAUNDRY AND KITCHEN TO COMPLY WITH SANS 10400 - PART J 4.2.  
 ALL NEW WORK TO COMPLY WITH SANS 10400 XA AND SANS 204, ENERGY EFFICIENCY AND USAGE OF A BUILDING.  
 ALL PLUMBING TO COMPLY WITH SANS 10400- PART P.  
 LIGHTING AND VENTILATION TO COMPLY WITH SANS 10400- PART O.  
 SUPPLY OF WATER TO COMPLY WITH SANS 10400 PART W.

**DRAINAGE NOTES:**

ANY DAMAGED FITTINGS TO BE REPLACED.  
 ALL GULLY SURROUNDS AND MANHOLE COVERS TO BE 75mm ABOVE GROUND LEVEL.  
 SEWER CONNECTION TO BE EXPOSED BEFORE COMMENCING WORK.  
 IE'S TO ALL BENDS AND JUNCTIONS.  
 SOIL PIPES TO BE 100mm diameter PVC.  
 WASTE PIPES TO BE 50mm diameter PVC.  
 SEWER PIPES UNDER BUILDING TO BE 100mm diameter UPVC RIBBED PIPE.

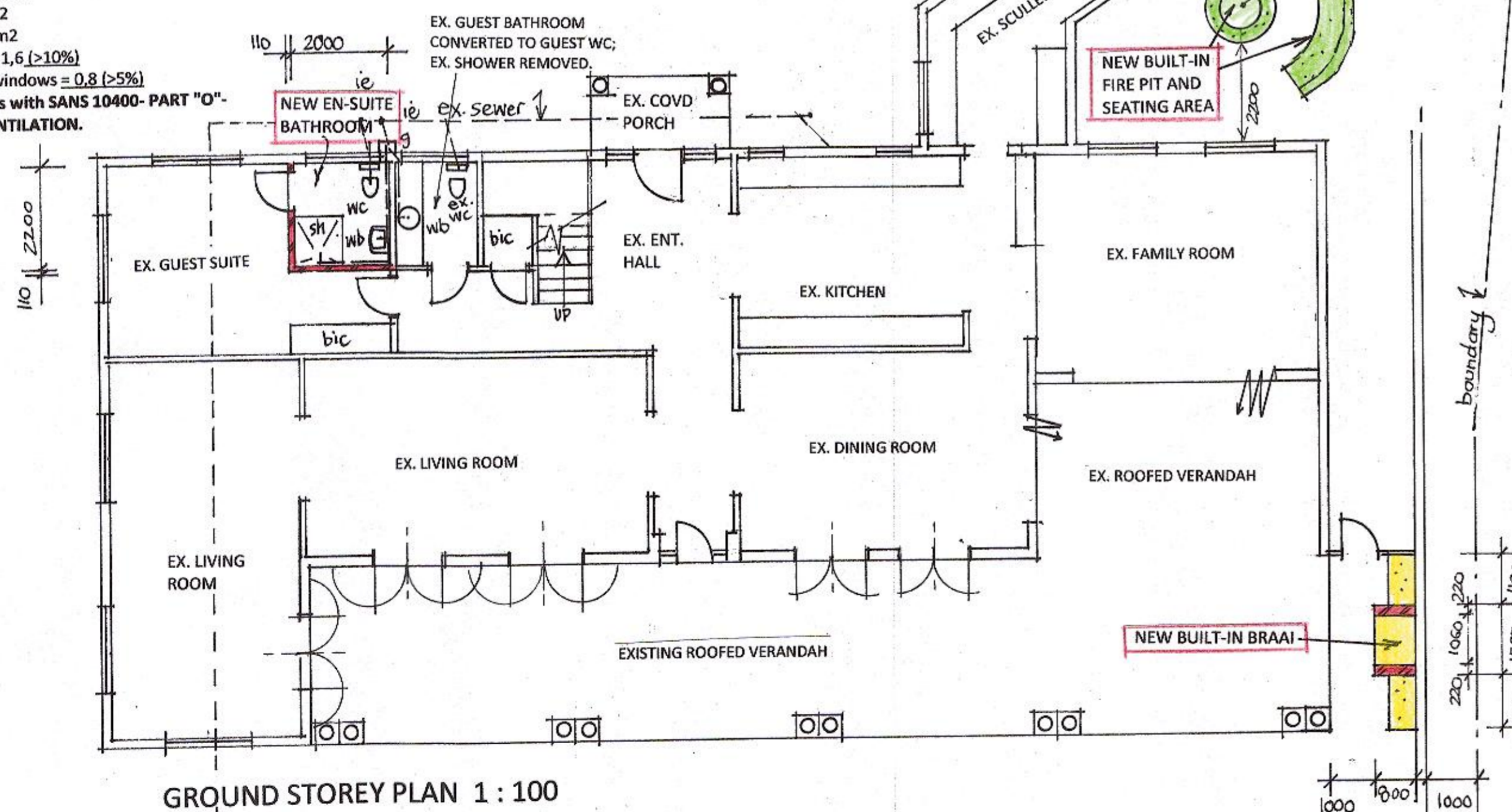
SCHEDULE OF AREAS : m <sup>2</sup>	
SITE AREA	1486 m <sup>2</sup>
ALLOWABLE COVERAGE	742,5 (50%)
ALLOWABLE F.A.R.	N/A
EXISTING COVERAGE	511,65
PROPOSED COVERAGE	0
NEW TOTAL COVERAGE	511,65
AVAILABLE COVERAGE	230,85
EXISTING F.A.R.	434,34
PROPOSED F.A.R.	0
NEW TOTAL F.A.R.	434,34
AVAILABLE F.A.R.	N/A



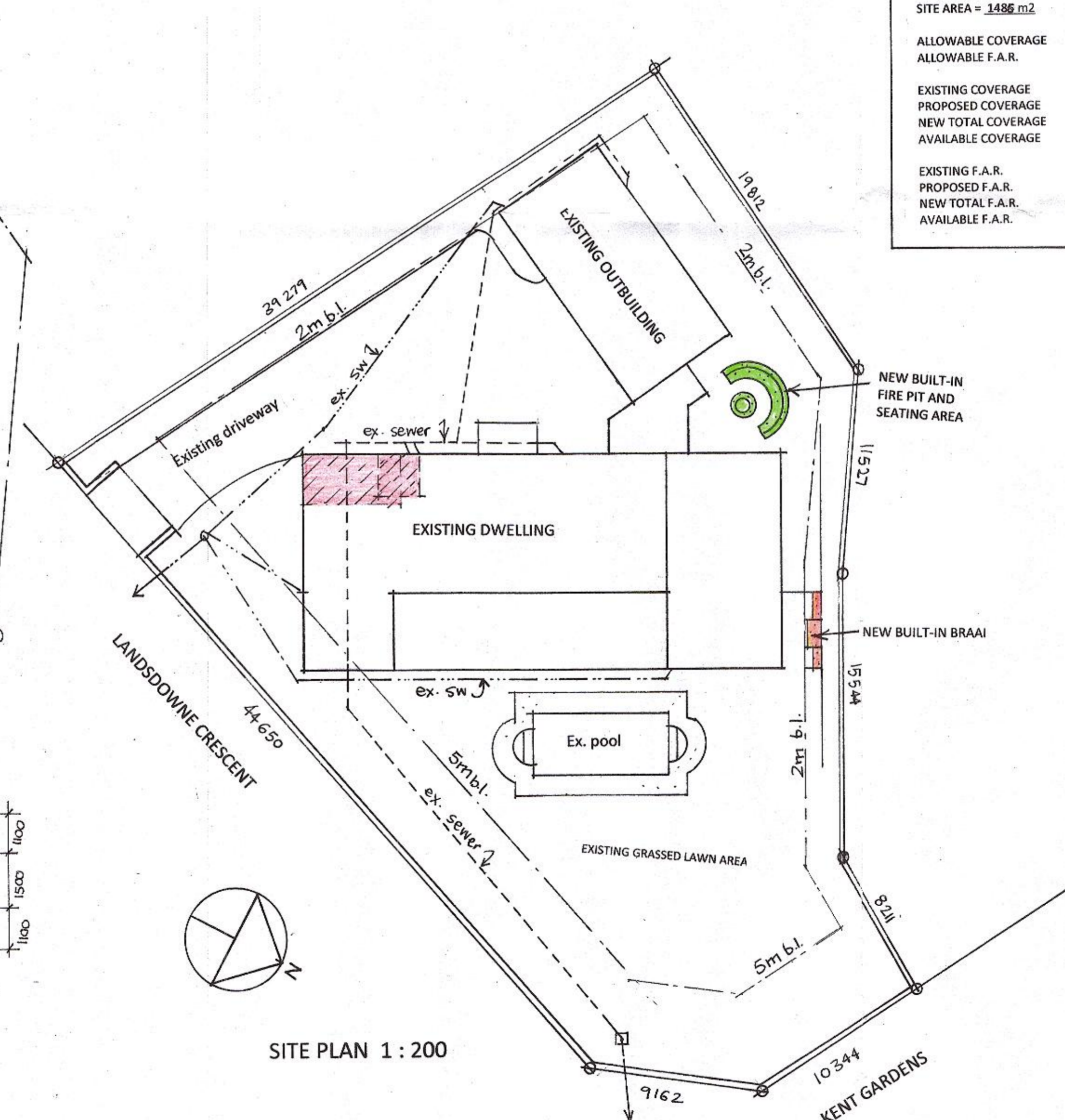
NORTH EAST ELEVATION

**LIGHTING AND VENTILATION**

**NEW BATHROOM:**  
 Nett floor area = 4,4m<sup>2</sup>  
 5% of NFA = 0,22m<sup>2</sup>  
 10% of NFA = 0,44m<sup>2</sup>  
 Area of windows = 1,6 (>10%)  
 Area of openable windows = 0,8 (>5%)  
 Therefore complies with SANS 10400- PART "O".  
**LIGHTING AND VENTILATION.**



GROUND STOREY PLAN 1 : 100



SITE PLAN 1 : 200

Neighbor: C.D. Attwood  
 11 Kent Gardens.  
 Signature: [Signature]  
 ID no. 6411095744085  
 ph: 0833034558.

DRAWING No. 06 9 2023

PROPOSED ALTERATIONS TO EXISTING DWELLING  
 FOR Russel Alder & Liesl Alder  
 7 KENT GARDENS  
 LOT 2923 DURBAN NORTH

DRAWN BY M. VAN BREEEM  
 DATE September 2023  
 SCALES 1:100 1:200  
 SIGNED [Signature]  
 OWNER'S SIGNATURE [Signature]  
 OWNER'S PHONE NO. 082 789 3519

**ARCHITECTURAL PLANS**  
 25 BEACHWAY, DURBAN NORTH, 4051  
 PH. 073 1735815  
 EMAIL - michelle-arch1@outlook.com  
 REGISTRATION NO. ST1451  
 M. SACAP M. SAIAT