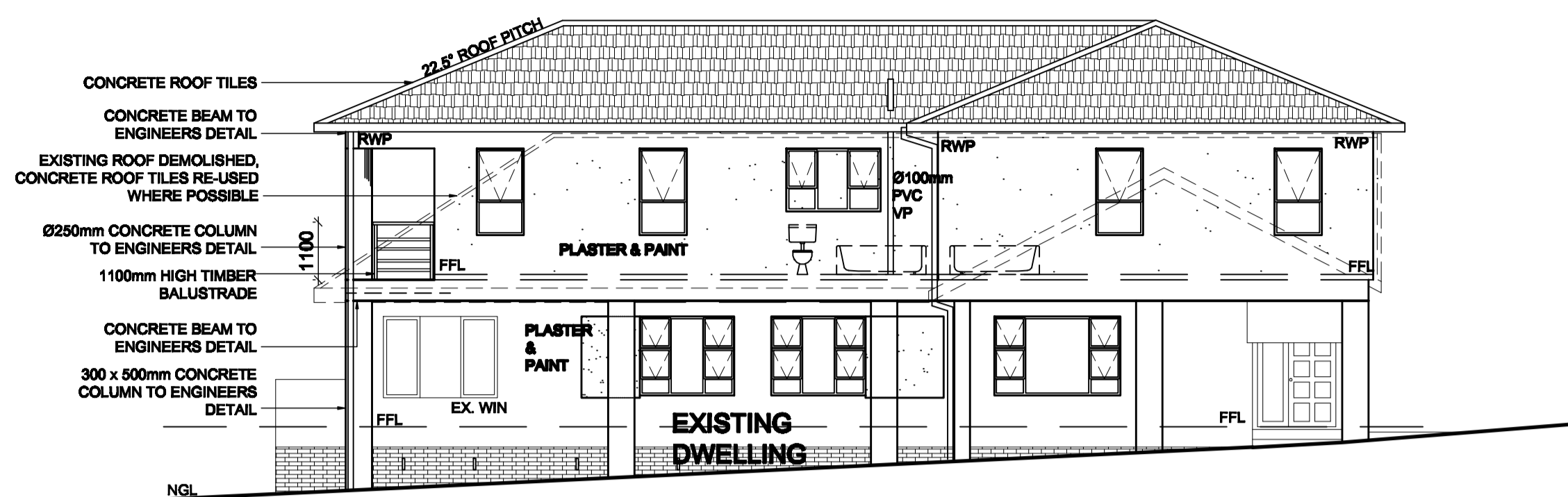


SECTION A-A
SCALE 1:100



NORTH ELEVATION
SCALE 1:100

CONSTRUCTION NOTES

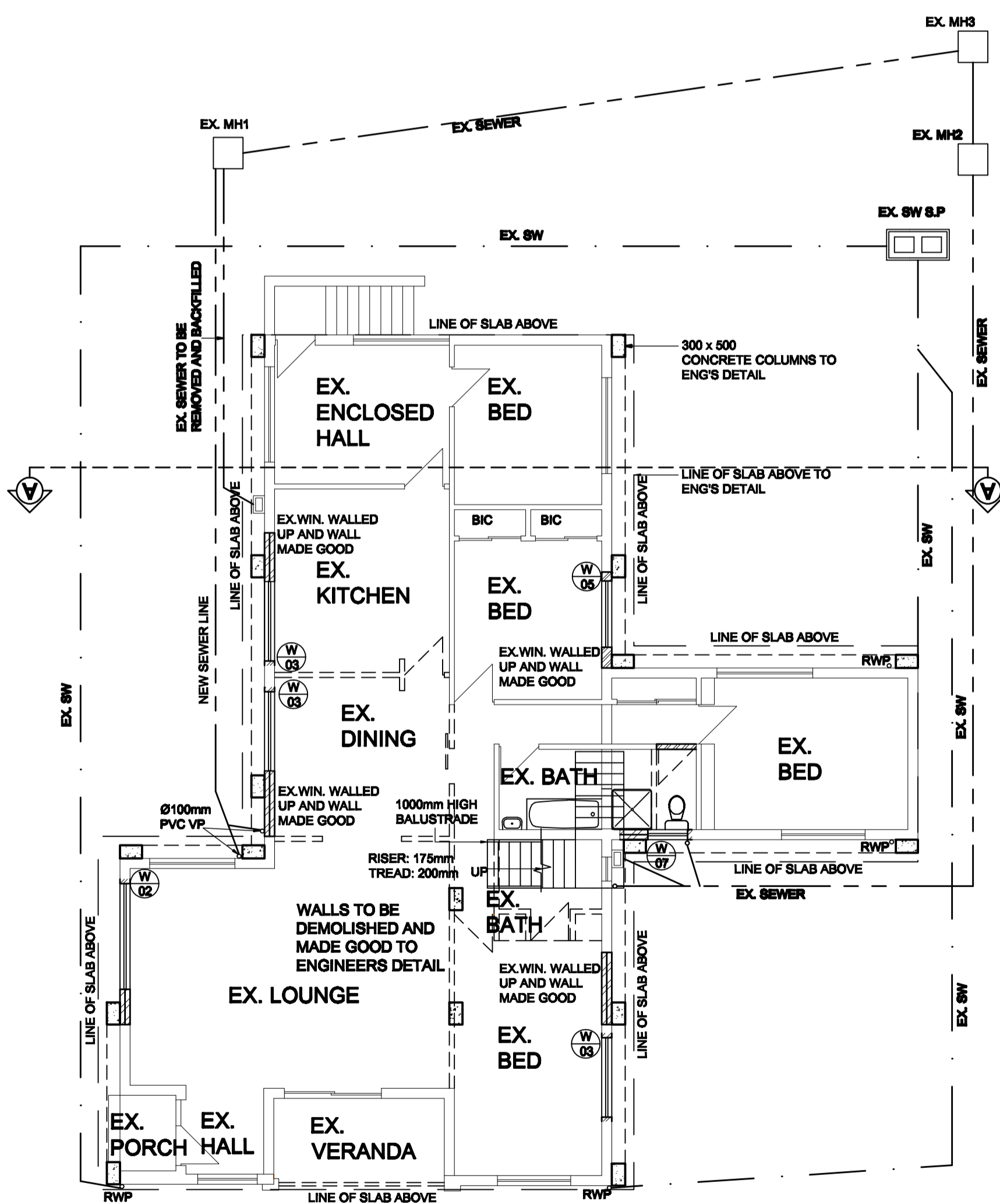
- A: FOOTINGS:-**
- 200mm WALLS - TO ENG. DETAIL
 - 100mm WALLS - TO ENG. DETAIL
- B: FLOORS:-**
- SURFACE BEDS:-**
FLOOR FINISH BY OWNER LAID ON CEMENT SCREED WITH MIN 20mm THICKNESS ON 110mm CONCRETE SURFACE BED MIX OF MIX NOT GREATER THAN 1:3:6 BY VOLUME WITH B.R.C MESH LAID ON APPROVED GUNPLAS USB GREEN WATERPROOF SHEETING LAID ACCORDING TO MANUFACTURERS ON 50mm CLEAN BLINDING LAYER ON WELL COMPACTED FILL.
 - SUBFLOOR GROUND TO BE POISED WITH PENTACHLOROPHENOL SOLUTION IN ACCORDANCE WITH S.A.B.S 0124 CODE OF PRACTICE AND ANT GUARDS ARE TO BE PROVIDED TO COMPLY WITH LOCAL AUTHORITY REGULATIONS
- C: WALLS:-**
- SABS APPROVED CLAY BRICKWORK TO COURSES OF BRICKWORK ARE TO BE REINFORCED WITH BRICKFORCE IN SOLID CEMENT MORTAR JOINTS BELOW WALL PLATE LEVEL, ABOVE WINDOW HEAD LEVEL & BELOW WINDOW SILL LEVEL.
 - EXTERNAL FACE OF INNER SKIN OF ALL EXTERNAL WALLS TO BE BAGGED AND BENDERED WATERPROOF WITH SUITABLE APPLICATIONS OF BITUMEN.
 - PRE-CAST CONCRETE LINTOLS ABOVE DOOR AND WINDOW HEAD LEVEL.
 - GALVANISED WIRE TIES TO BE BUILT IN ALL 230mm WALLS AT 800 CENTRES HORIZONTALLY AND EVERY 6th COURSE VERTICALLY.
 - DAMP PROOF COURSE TO BE EMBOSSED GUNDL BRICKGRIP 375 micron SABS 982-1999 TYPE B WELL TAPED AT ALL JOINTS AND INTERSECTIONS AND BEDDED AND JOINTED IN CEMENT MORTAR.
 - ALL FINISHES TO BE MADE GOOD TO MATCH EXISTING RESIDENCE & TO COMPLY WITH MECCEMA I GUIDELINES.
- D: ROOF:-**
- CONCRETE ROOF TILES ON 38x38mm BATTENS @ 320 C/C ON APPROVED DPM UNDERLAY ON PREFABRICATED ROOF TRUSS @ 720 C/C TO SPECIALIST OR ENGINEERS DETAIL ON 114x38 TIMBER WALL PLATE: TO MATCH EX. TO COMPLY WITH SANS 10400 - L2010 ROOF PITCH 30° & 17.5°
 - ALL RAIN WATER TO BE COLLECTED BY SW SUMP SITUATED AROUND HOUSE.
- E: CEILING:-**
- 12.5mm GYPSUM SKIMMED RHINOBOARD ON 38x38mm SA PINE BRANDING AT MAX 320mm o.c. WITH COVERED CORNICES TO MATCH EXISTING. (FLUSH PLASTERED - TWO COATS CEILING)
- F: WINDOWS:-**
- ALL NEW H/WOOD & ALUMINIUM WINDOWS AND DOORS.
 - ALL IRONMONGERY SELECTION TO BE CONFIRMED WITH THE OWNER.
 - WINDOW SILLS TO MATCH EXISTING WITH DPC UNDER.
 - PLASTERBAND AROUND ALL WINDOWS & DOORS
 - SKIRTINGS & ARCHITRAVES:-
- G: SKIRTINGS & ARCHITRAVES:-**
- ALL SKIRTINGS AND ARCHITRAVES TO MATCH EXISTING.
- H: DRAINAGE:-**
- ALL SANITARY FITTINGS TO BE TRAPPED IN ACCORDANCE WITH LOCAL AUTHORITY REGULATIONS
 - THE CONTRACTOR TO ENSURE THAT ADEQUATE STORMWATER DRAINAGE IS PROVIDED AS NOT TO CAUSE ANY DAMAGE TO THE PROPERTY.
 - ANY NEW HARDENED AREAS OR ROOFED AREAS TO BE PROVIDED WITH A MUNICIPAL APPROVED SOAKAWAY AT 1m² / 40m² OF SUCH AREA.

SPECIAL NOTES TO CONTRACTOR:-

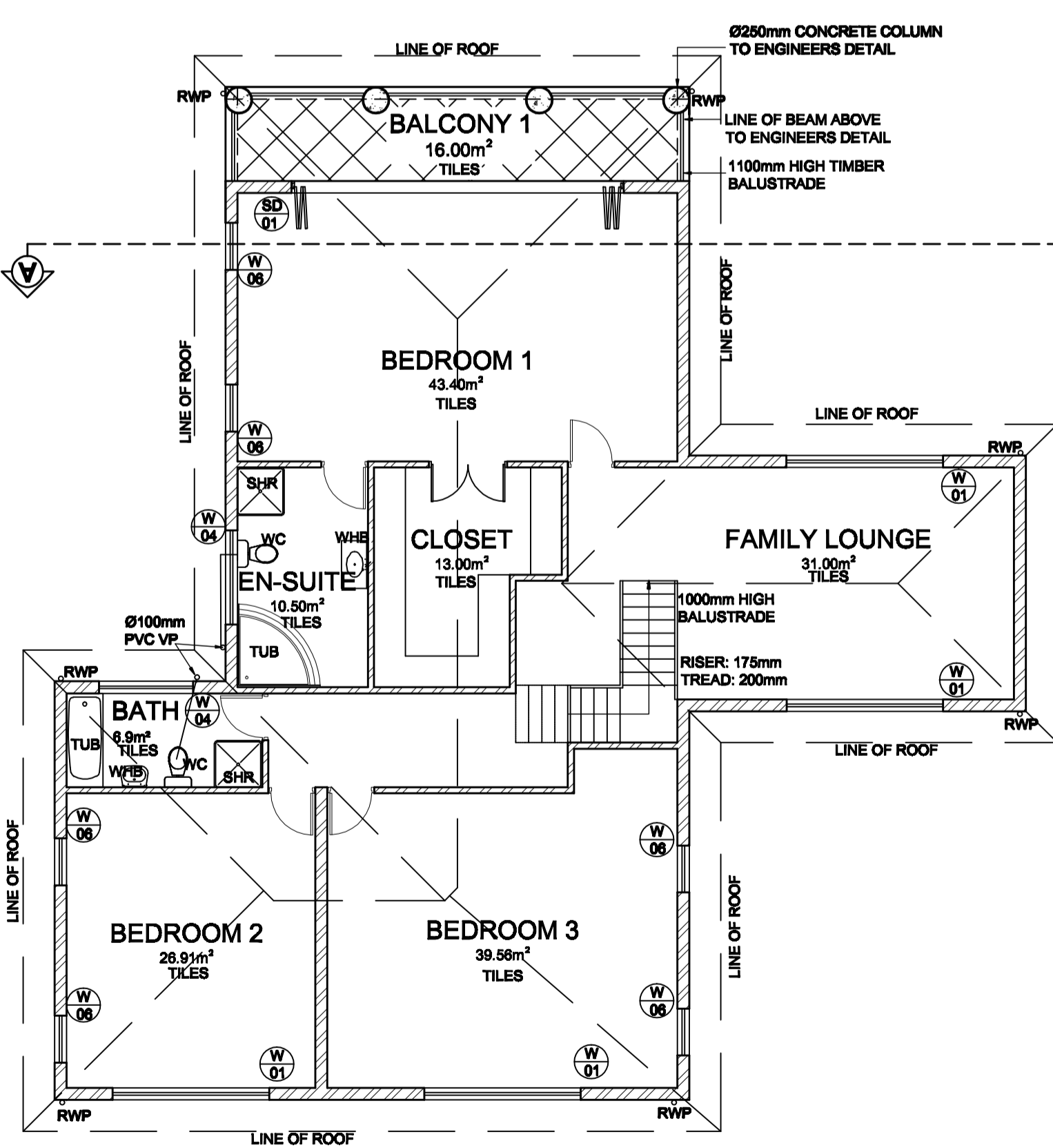
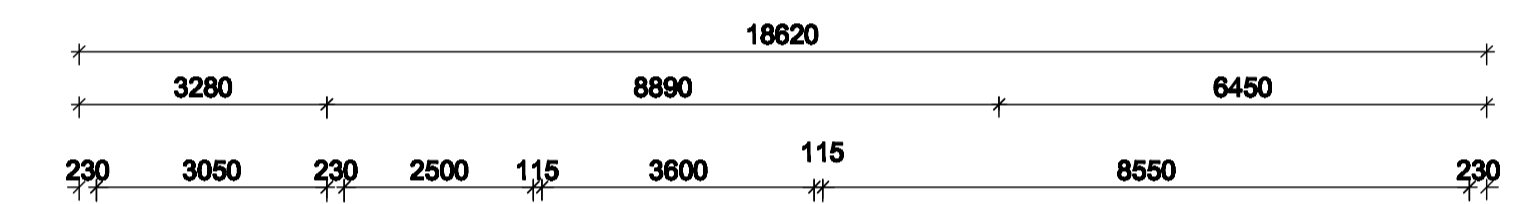
- ALL STRUCTURAL TIMBER SIZES SHOWN ON THIS DRAWING ARE TO BE CONFIRMED AS ADEQUATE BY A PROFESSIONAL ENGINEER BEFORE FIXING.
- CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING ANY WORK AND TO REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- ALL FOUNDATIONS TO BE TAKEN DOWN TO HARD VIRGIN GROUND.
- WHERE LOCAL AUTHORITY OR GOVERNMENT BUILDING REGULATIONS REQUIRE MORE STRINGENT REQUIREMENTS THAN SHOWN ON THESE DRAWINGS, THEY ARE TO BE COMPLIED WITH AFTER OBTAINING THE OWNERS CONSENT.
- ALL N.B.R CODES OF BUILDING PRACTICE AND SANS STANDARD ARE TO BE COMPLIED WITH WHERE APPLICABLE.
- ALL REINFORCED CONCRETE, FOUNDATIONS, COLUMN BASES BEAMS, SLABS AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERS DETAILS AND UNDER HIS / HER SUPERVISION USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
7. ALL FINISHES TO BE MADE GOOD TO MATCH EXISTING RESIDENCE & TO COMPLY WITH MECCEMA I GUIDELINES.

ENDORSEMENTS:-

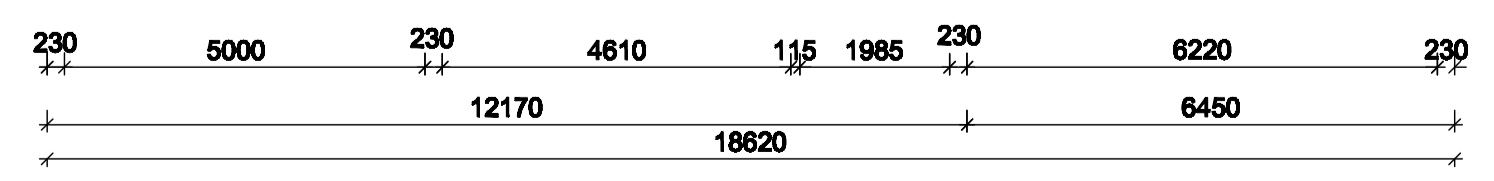
- FLOORS:-**
TO COMPLY WITH SANS 10400 - J:2010
- WALLS:-**
TO COMPLY WITH SANS 10400 - K:2010
- ROOF:-**
TO COMPLY WITH SANS 10400 - L:2010
- STAIRS & BALUSTRADE:-**
TO COMPLY WITH SANS 10400 - M:2010
- GLAZING:-**
TO COMPLY WITH SANS 10400 - N:2010
- DRAINAGE:-**
TO COMPLY WITH SANS 10400 - P:2010
- STORMWATER:-**
TO COMPLY WITH SANS 10400 - R:2010
- NATURAL LIGHTING:-**
TO COMPLY WITH SANS 10400 - Q:2010
- ENERGY EFFICIENCY:-**
TO COMPLY WITH SANS 10400 - XA:2012 & SANS 204 - 2010



GROUND STOREY PLAN
SCALE 1:100



1st STOREY PLAN
SCALE 1:100



NEIGHBOURS CONSENT

NAME	ADDRESS	SIGN

AREA SCHEDULE	
SITE AREA:	1042 m ²
ALLOWABLE COVERAGE	40%
ALLOWABLE F.A.R	N/A
EXISTING COVERAGE	280.1 m ²
EXISTING F.A.R	231.6 m ²
PROP COVERAGE	0 m ²
PROP F.A.R	220.8 m ²
TOTAL NEW COVERAGE	280.1 m ²
TOTAL NEW F.A.R	452.2 m ²
GROUND FLOOR AREA	280.1 m ²
FIRST FLOOR AREA	241.0 m ²
TOTAL NEW USABLE ROOFED AREA	280.1 m ²

Project description
PROPOSED ADDITION TO EXISTING DWELLING FOR DT FAMILY TRUST AT 96 CHELSEA DRIVE LOT 2762 DURBAN NORTH

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GREEN BUILDING COUNCIL

OWNERS SIGNATURE/DETAILS

DRAWING DESCRIPTION
SUBMISSION DRAWING

Drawn	Checked
MAZIBUKO Z.	S. RAMBURAN
Date	Drawing No.
03-2013	Lot 2627_1