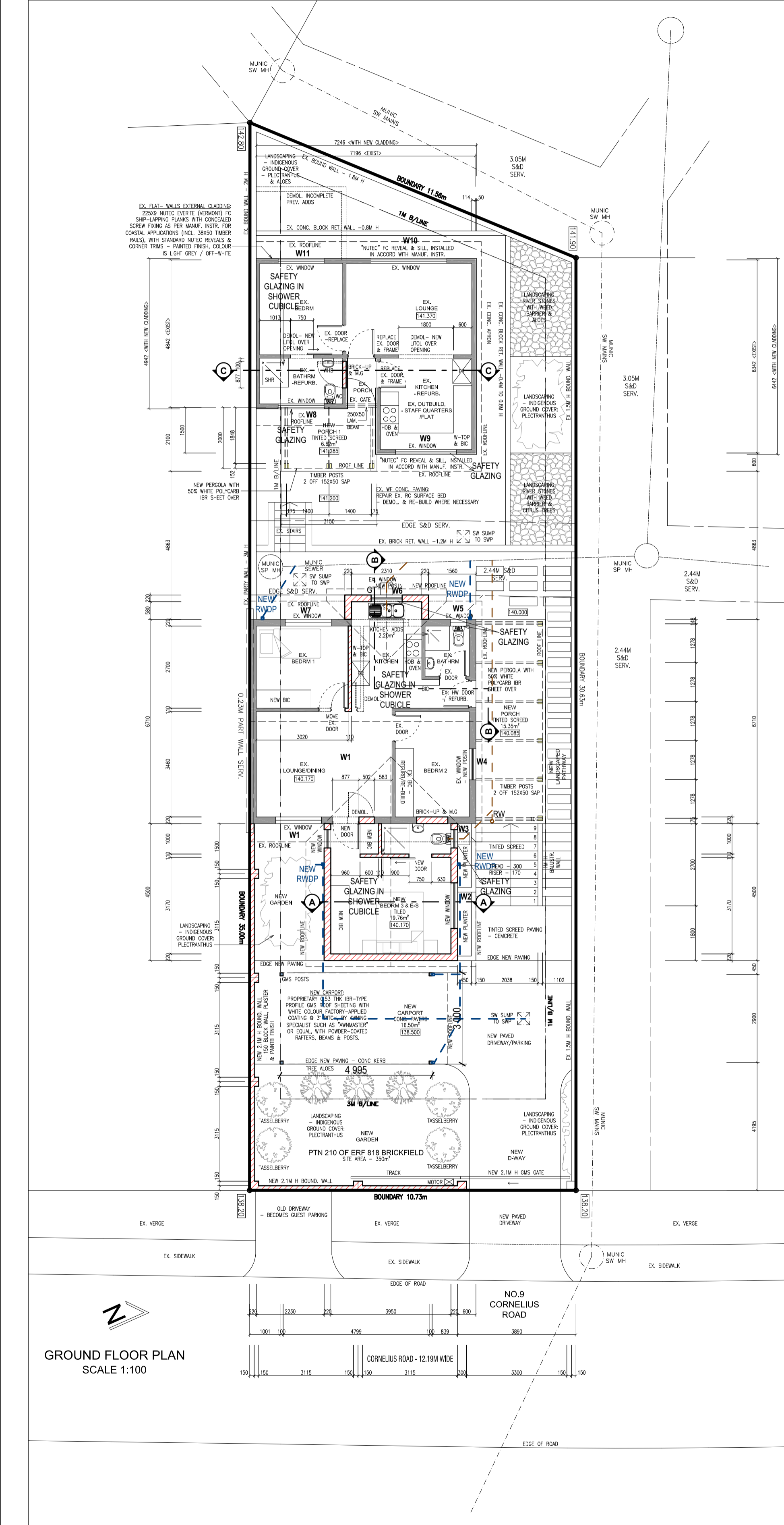


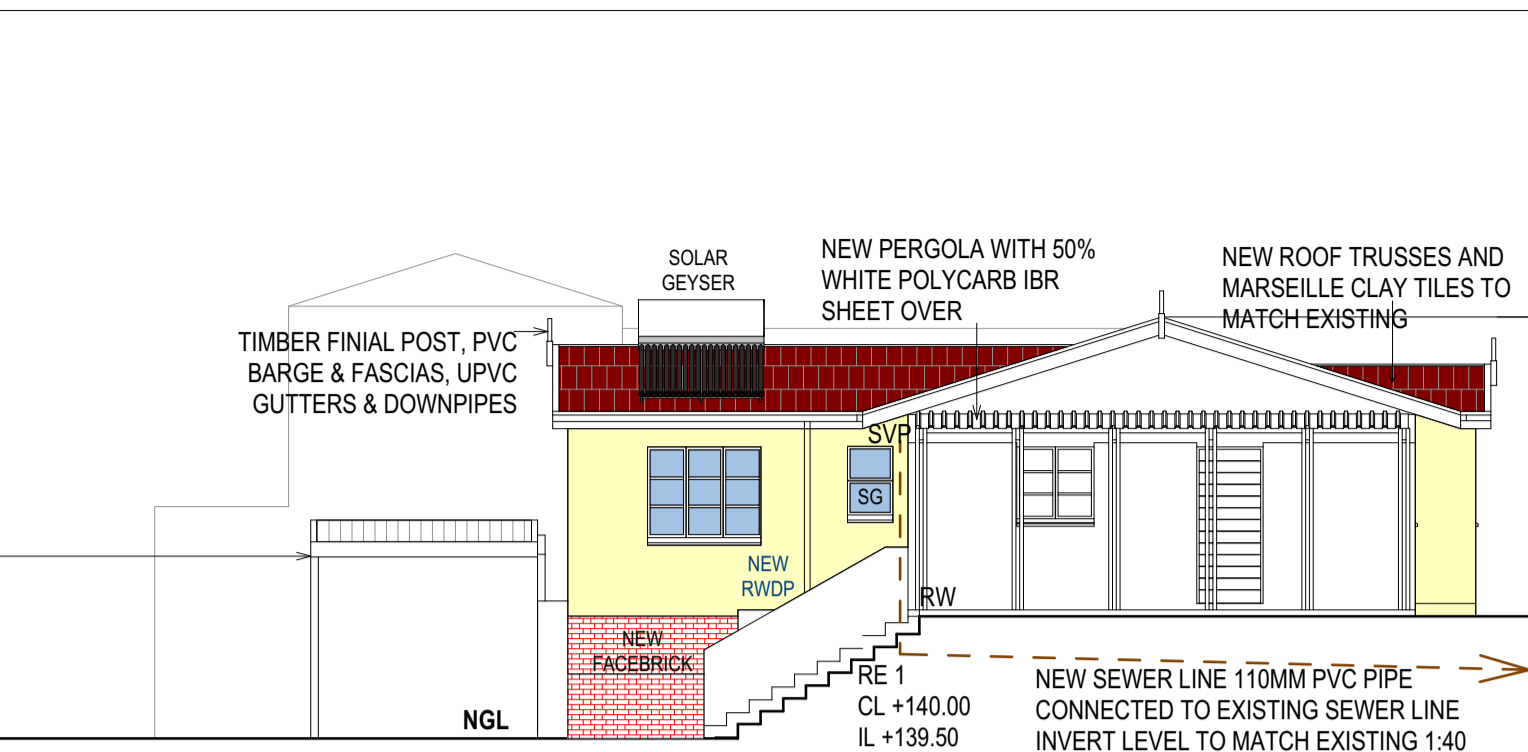
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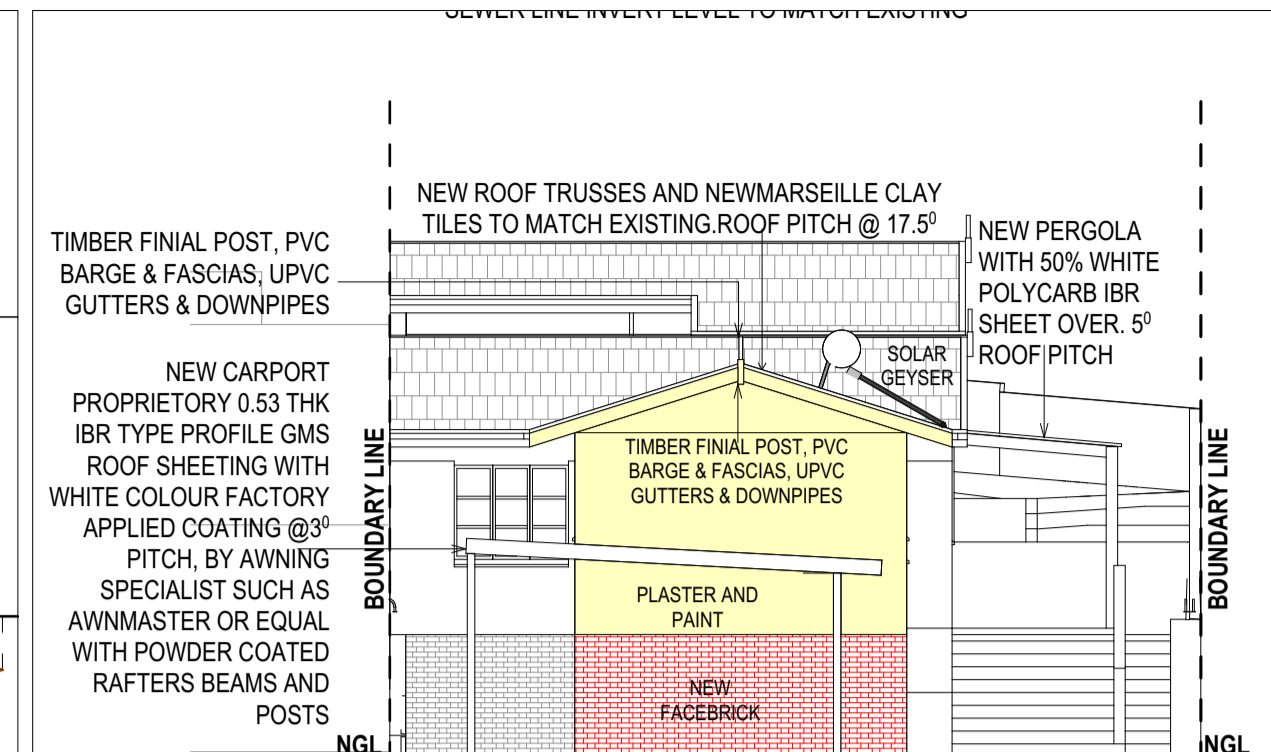
SITE PLAN - FLOOR PLAN
 1:100

MAIN HOUSE

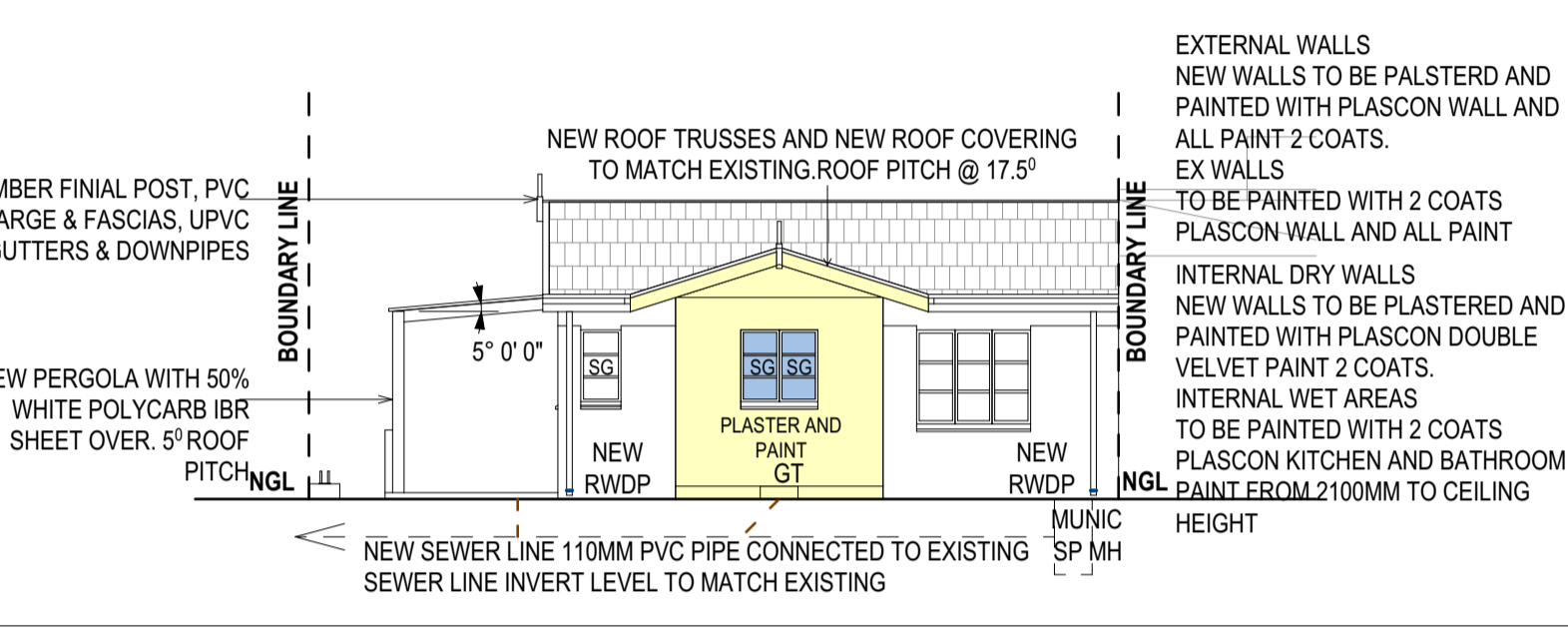
EXTERNAL WALLS
 NEW WALLS TO BE PALSTED AND PAINTED WITH PLASCON WALL AND ALL PAINT 2 COATS
 EX WALLS TO BE PAINTED WITH 2 COATS PLASCON WALL AND ALL PAINT
 INTERNAL DRY WALLS
 NEW WALLS TO BE PALSTED AND PAINTED WITH PLASCON DOUBLE VELVET PAINT 2 COATS
 INTERNAL WET AREAS
 TO BE PAINTED WITH 2 COATS PLASCON KITCHEN AND BATHROOM PAINT FROM 2100MM TO CEILING HEIGHT
 NEW CARPORT
 PROPRIETARY 0.53 THK IFR TYPE PROFILE GMS ROOF SHEETING WITH WHITE COLOUR FACTORY APPLIED COATING @3° PITCH BY AWNING SPECIALIST SUCH AS AWNMASTER OR EQUAL WITH POWDER COATED RAFTERS BEAMS AND POSTS



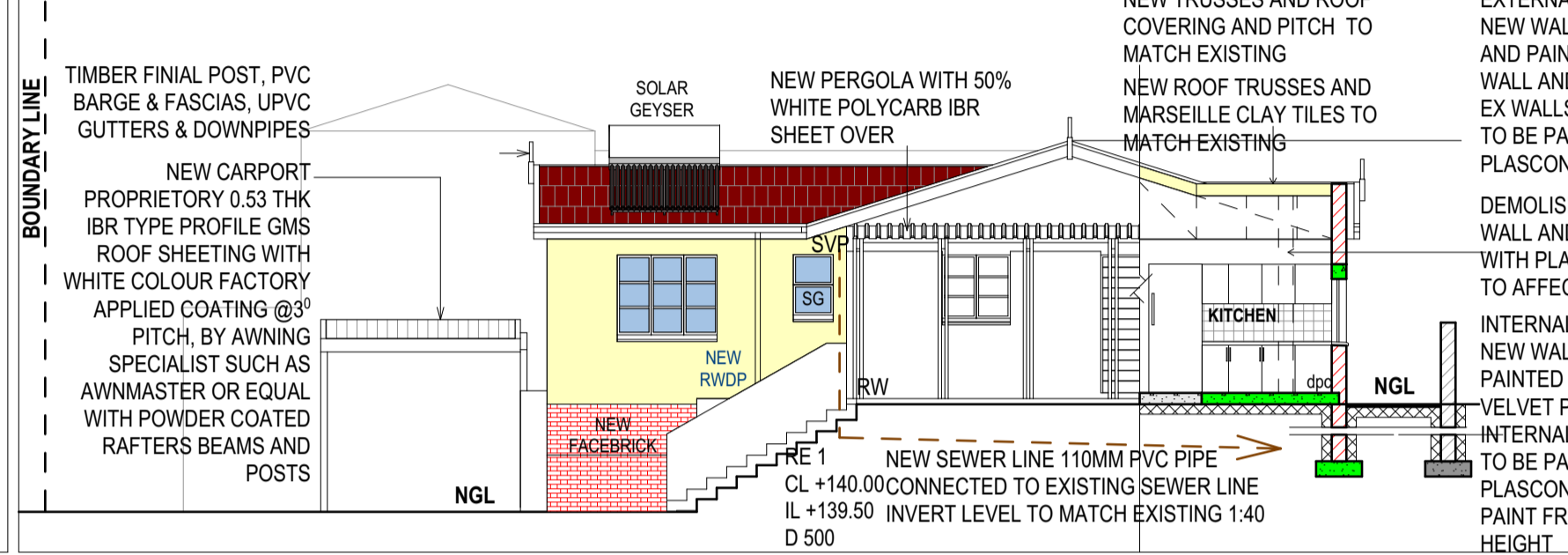
NORTH ELEVATION
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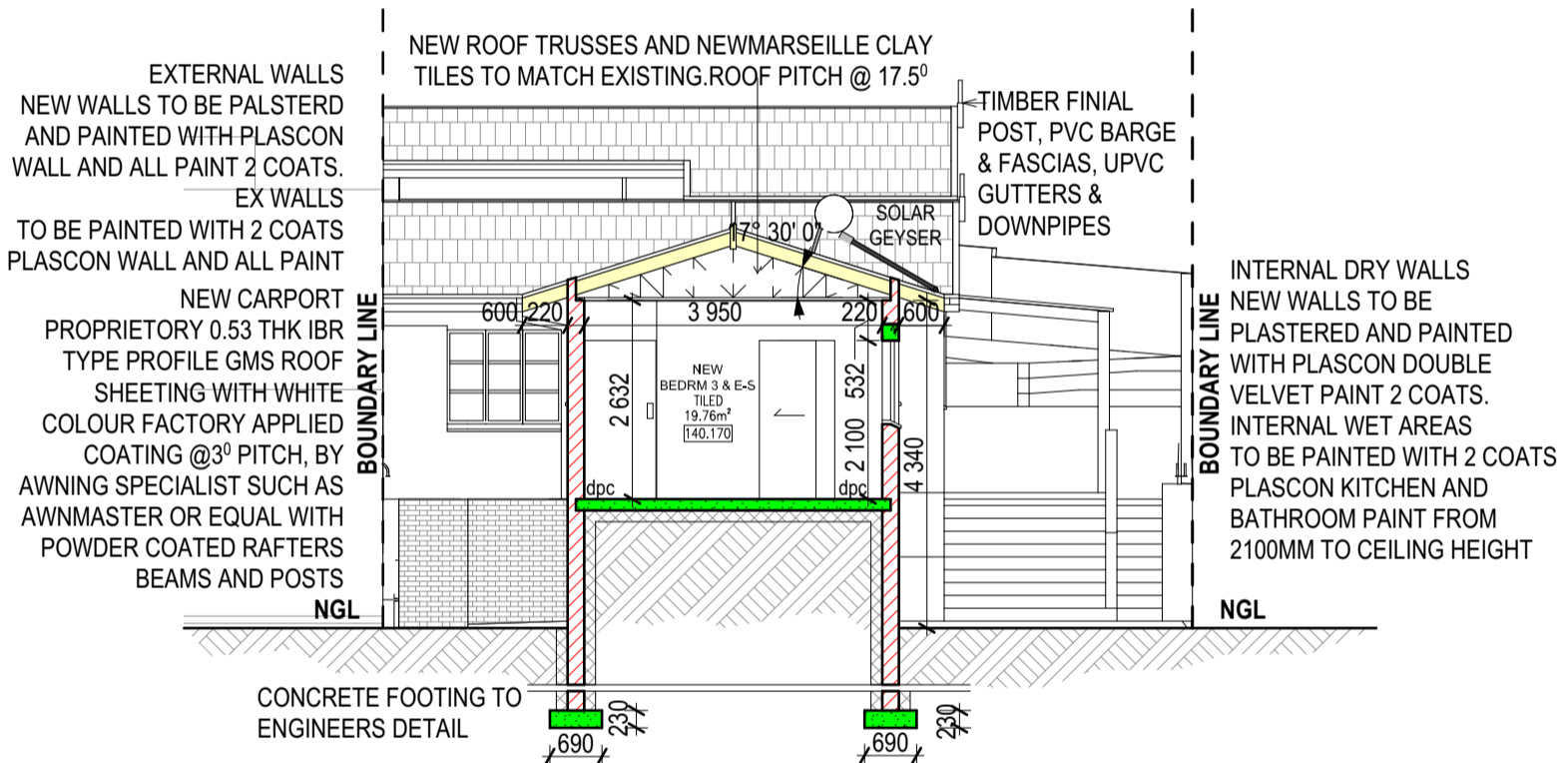
EAST ELEVATION
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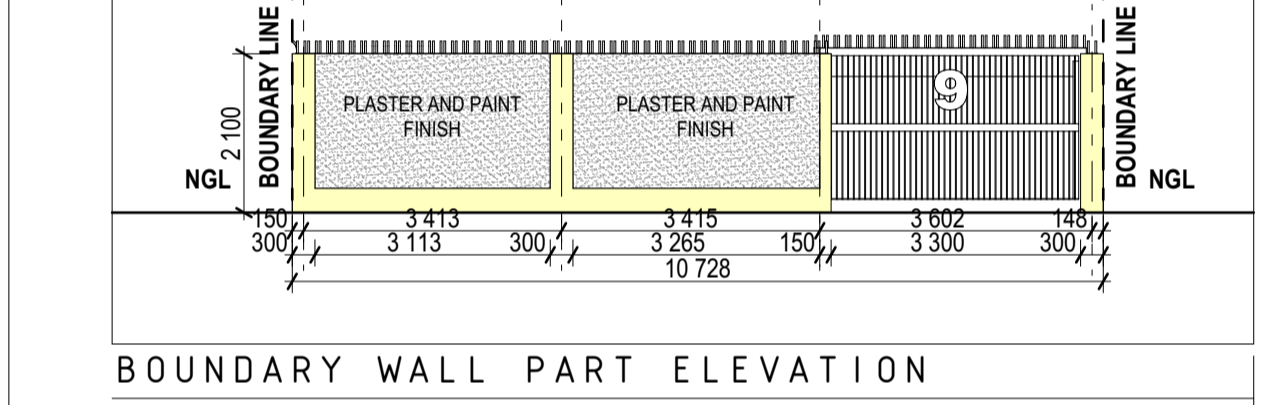
WEST ELEVATION
 1:100



SECTION B-B
 1:100



SECTION A-A
 1:100

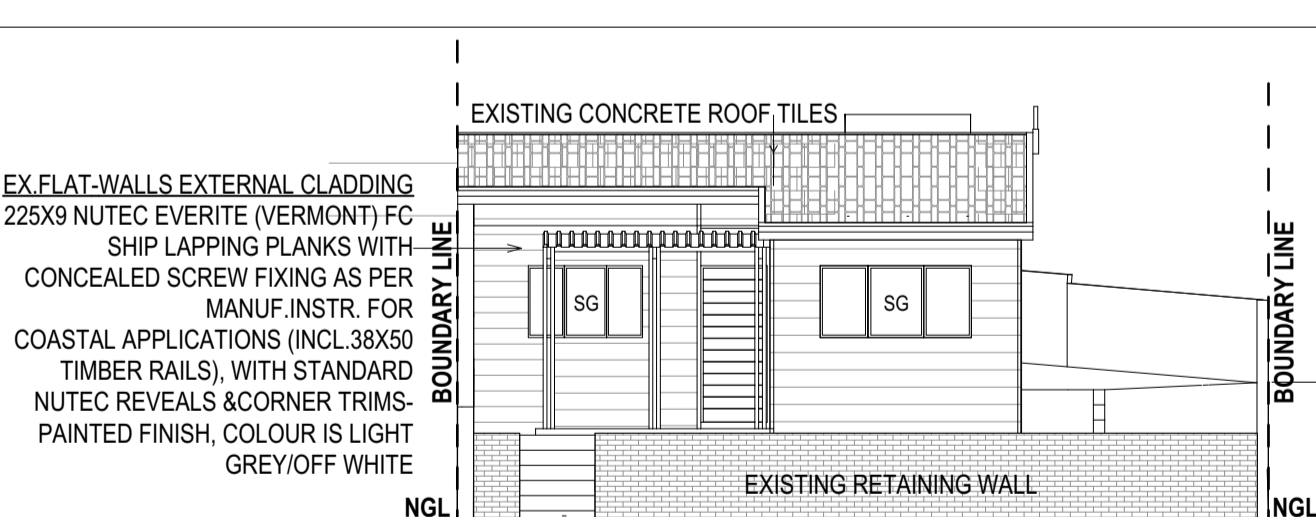


BOUNDARY WALL PART ELEVATION
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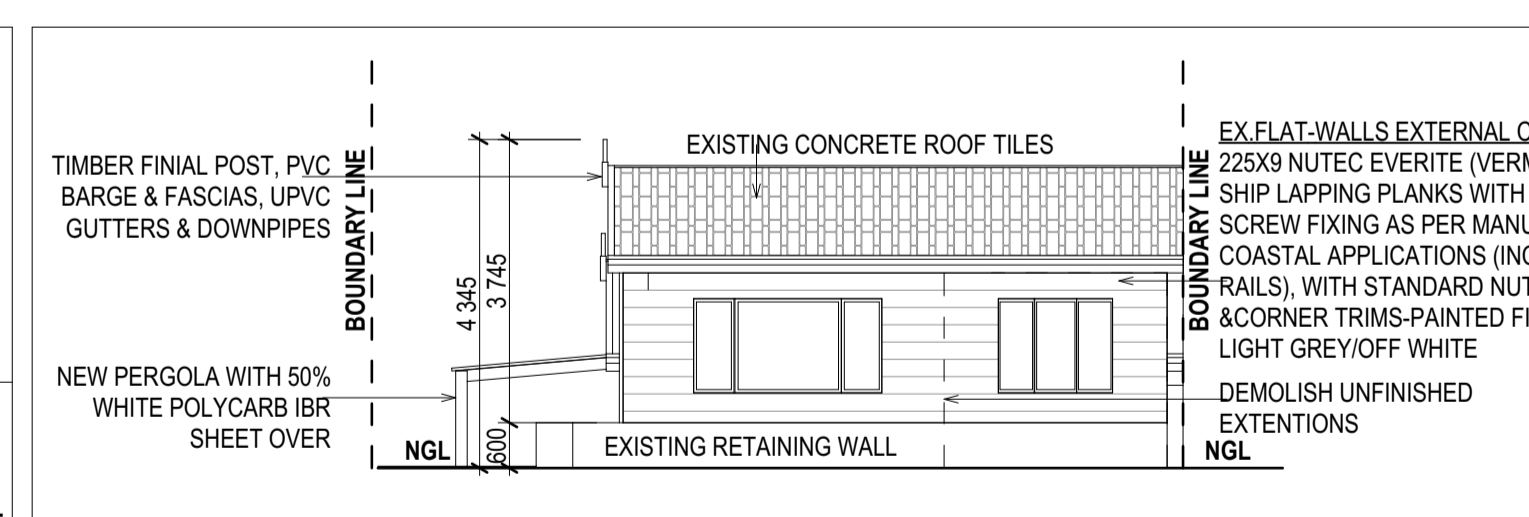
AREA SCHEDULE	
ZONING:	SPECIAL RESIDENTIAL 400
SITE AREA:	350.00M ²
EX MAIN HOUSE:	49.92M ²
EX OUTBUILDING/FLAT:	38.05M ²
ADDS:	
MAINHOUSE NEW BEDROOM 3:	19.76M ²
MAIN HOUSE KITCHEN ADDS:	2.20M ²
MAIN HOUSE NEW PORCH:	15.35M ²
NEW CARPORT:	16.50M ²
OUTBUILDING/FLAT NEW PORCH:	6.62M ²
FAR CALCULATIONS	
ADDED DAR:	+021.96M ²
EX TOTAL FAR:	87.97M ²
NEW TOTAL FAR:	109.93M ²
MAX ALLOW FAR:	N/A
COVERAGE CALCULATIONS	
ADDED COVERAGE:	+060.43M ²
EX TOTAL COVERAGE:	87.97M ²
NEW TOTAL COVERAGE:	148.40M ²
MAX ALLOW. COVERAGE:	175.00M ²

PTN 210 OF ERF 818 BRICKFIELD			
PARKING EX - 2 BAYS (OPEN)	NEW - 3 BAYS (INCL. CARPORT)		
AREA OF SITE :	350.00M ²		
AREA CALCULATIONS			
COVERAGE	50%	NEW TOTALS	COMPLIANT WITHIN PLANNING SCHEME/ZONING REQS AS SET FORTH
F.A.R	N/A	N/A	
HEIGHT	2 STOREY	1 STOREY	

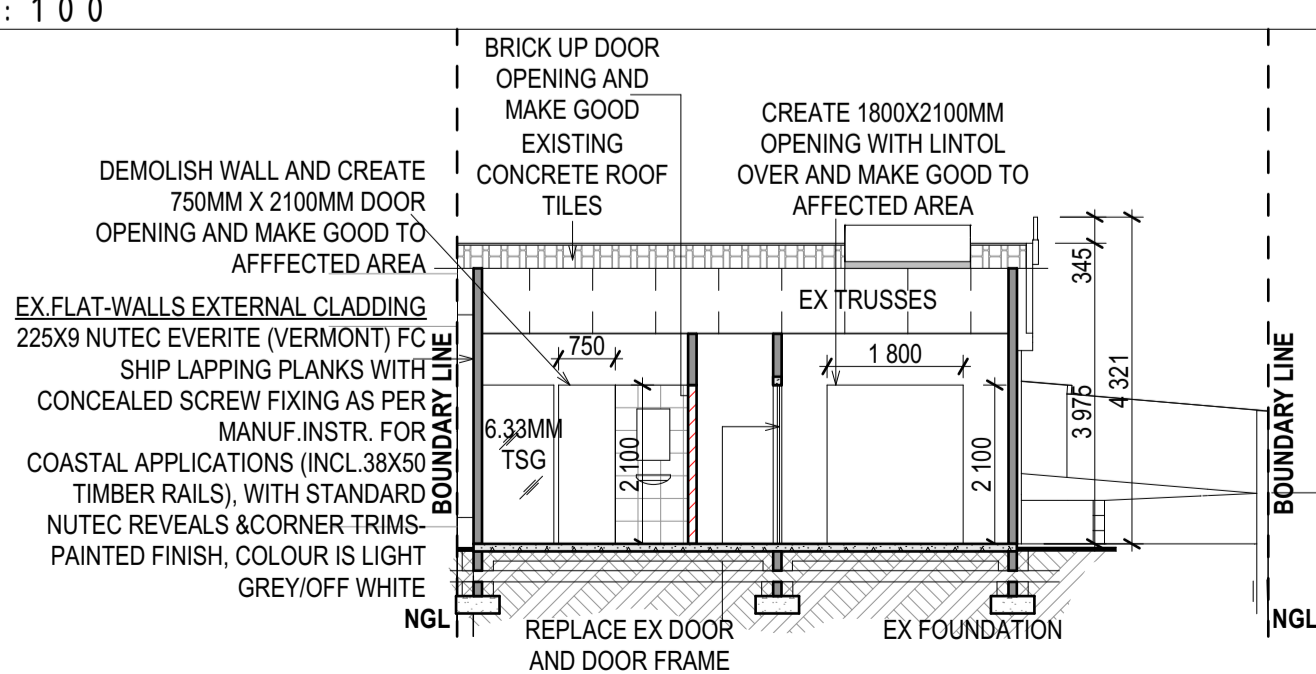
OUTBUILDING



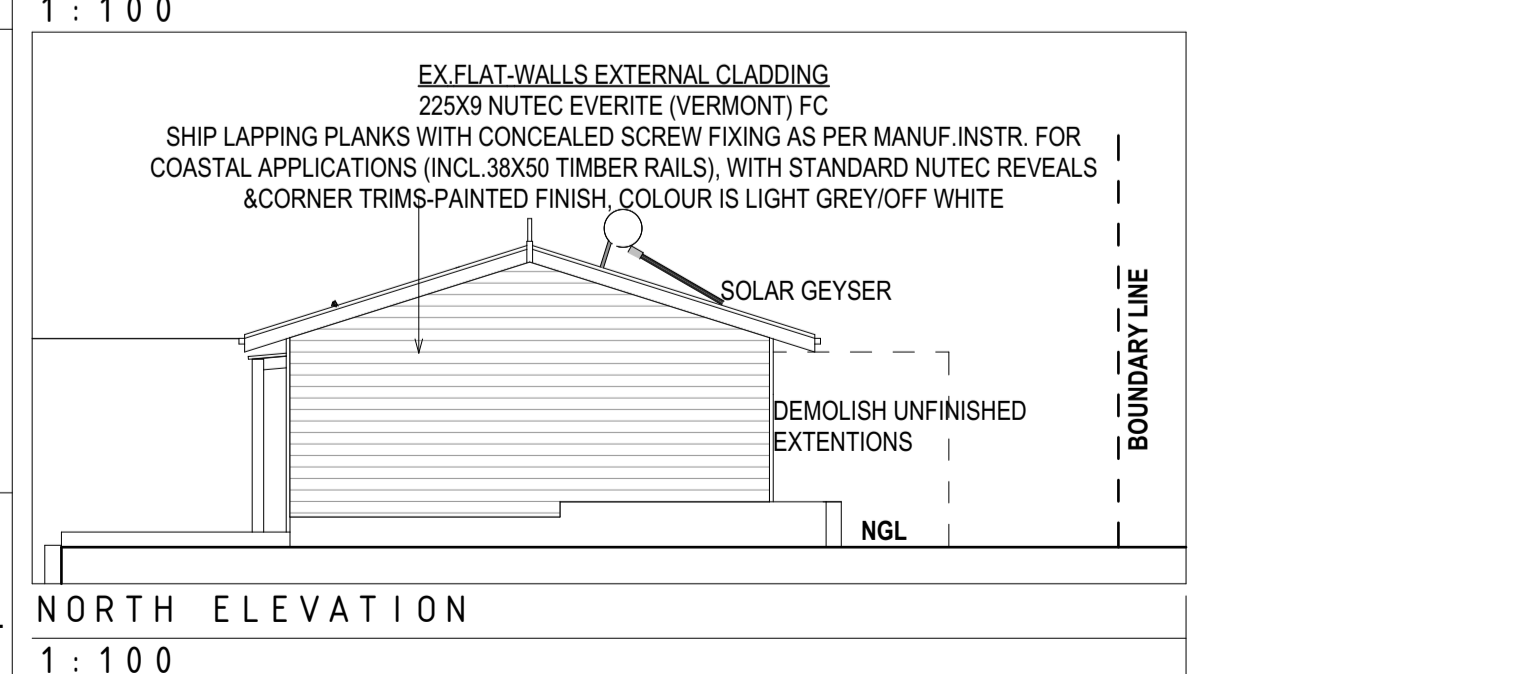
EAST ELEVATION
 1:100



WEST ELEVATION
 1:100



SECTION C-C
 1:100



NORTH ELEVATION
 1:100

FOR SUBMISSION PURPOSES

CLIENT SIGNATURE	
Revisions	Rev no. Date Description Rev by.

ARCHITECT


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 58 padfield rd, padfield park, pinetown, 3610

Signature: [Signature] Date: 2022/10/06

Project
 PROPOSED ADDITIONS & ALTERATIONS
 TO EXISTING RESIDENCE AT 9
 CORNELIUS ROAD, SPARKS, BRICKFIELD,
 DURBAN FOR MS ODETTE ANDERSON

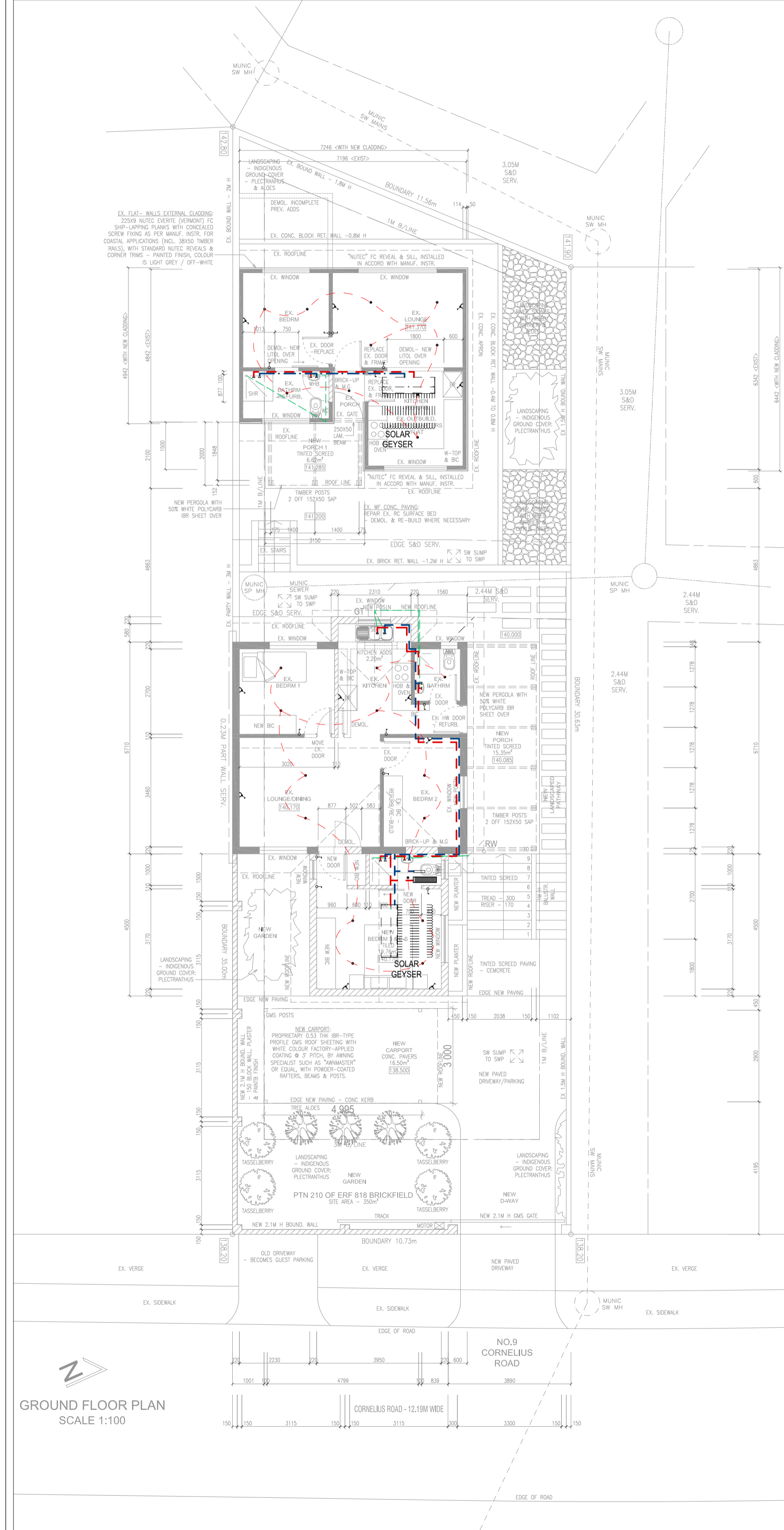
Cadastral description of property
 PTN 210 OF ERF 818 BRICKFIELD

Drawing description
 SITE PLAN - FLOOR PLAN, NORTH ELEVATION,
 EAST ELEVATION, WEST ELEVATION, BOUNDARY
 WALL PART ELEVATION, SECTION A-A, SECTION B-B,
 SECTION C-C

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Scale/s	1:100	Page size	A1
Consultant		Date	2022/10/06
Drawing no.	tG22.16 / M / 100		0

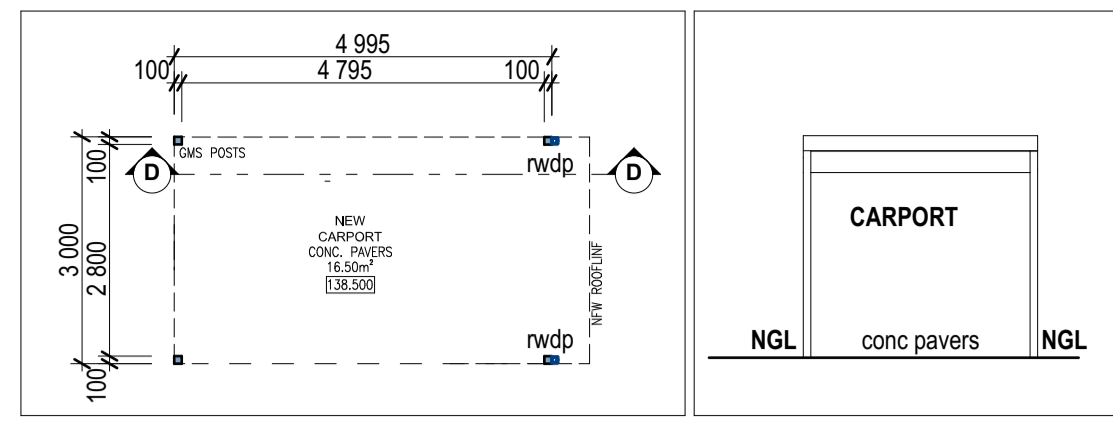
NEIGHBOURS CONSENT				
NAME	ADDRESS	ID NO.	TEL - CELL NO.	SIGNATURE

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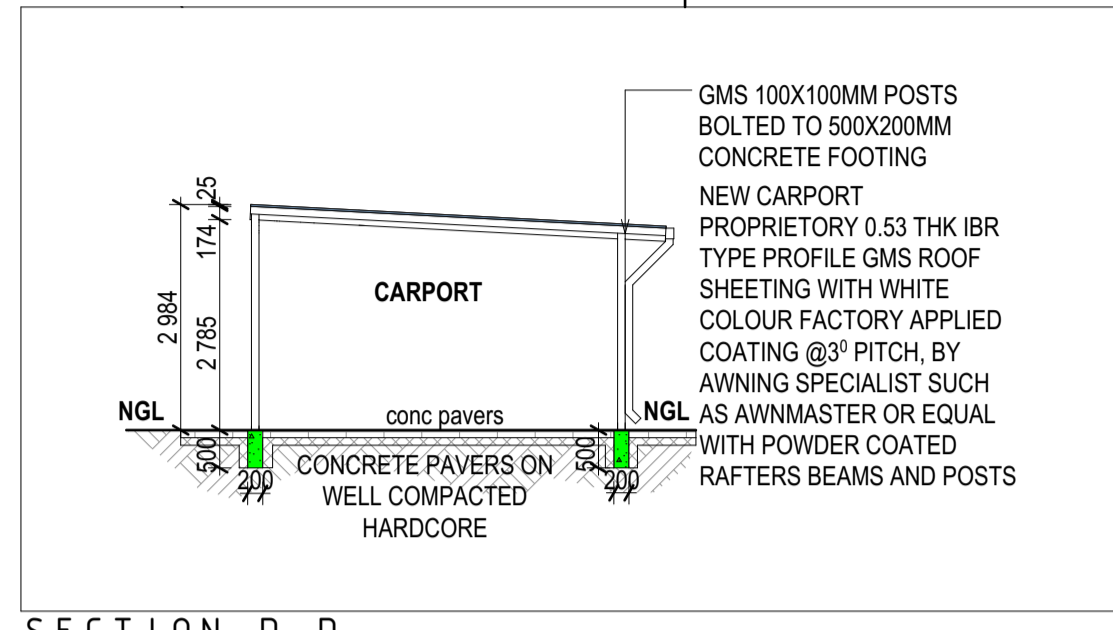


GROUND FLOOR PLAN
SCALE 1:100

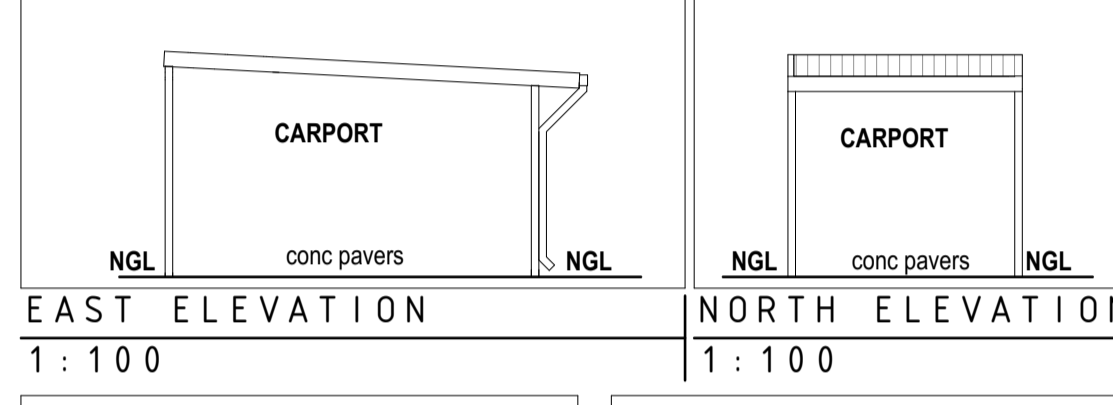
WATER AND ELECTRICAL LAYOUT
1:100



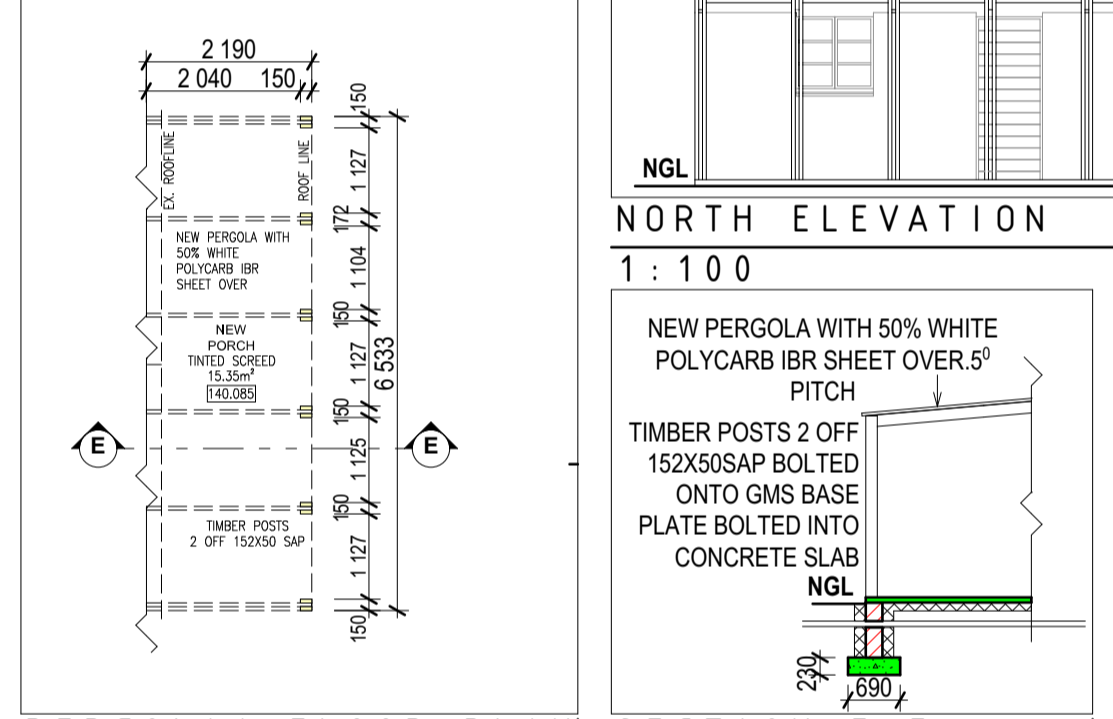
CARPOT FLOOR PLAN 1:100
NORTH ELEVATION 1:100



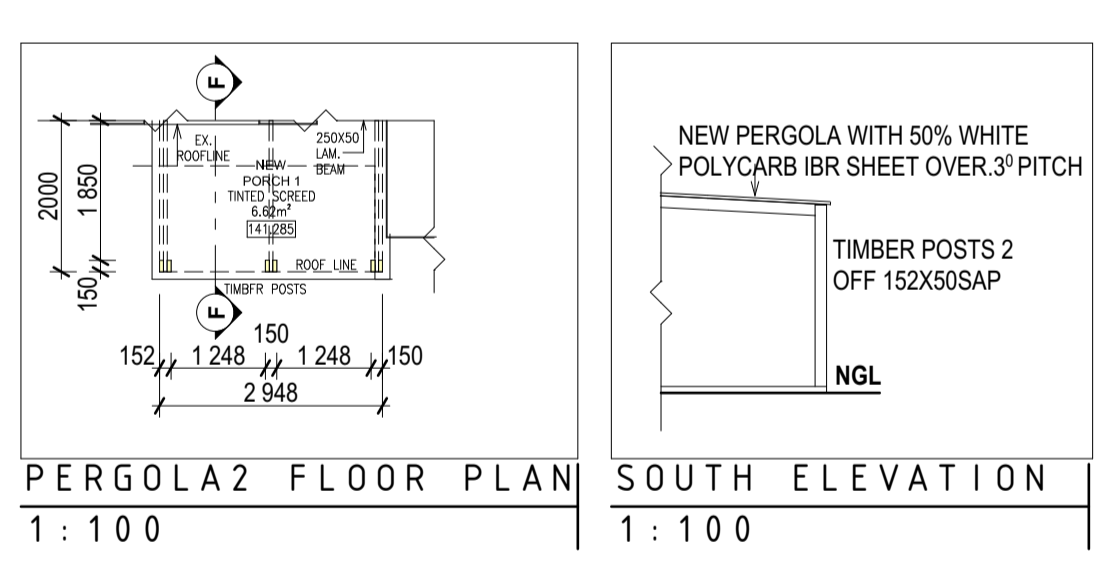
SECTION D-D 1:100



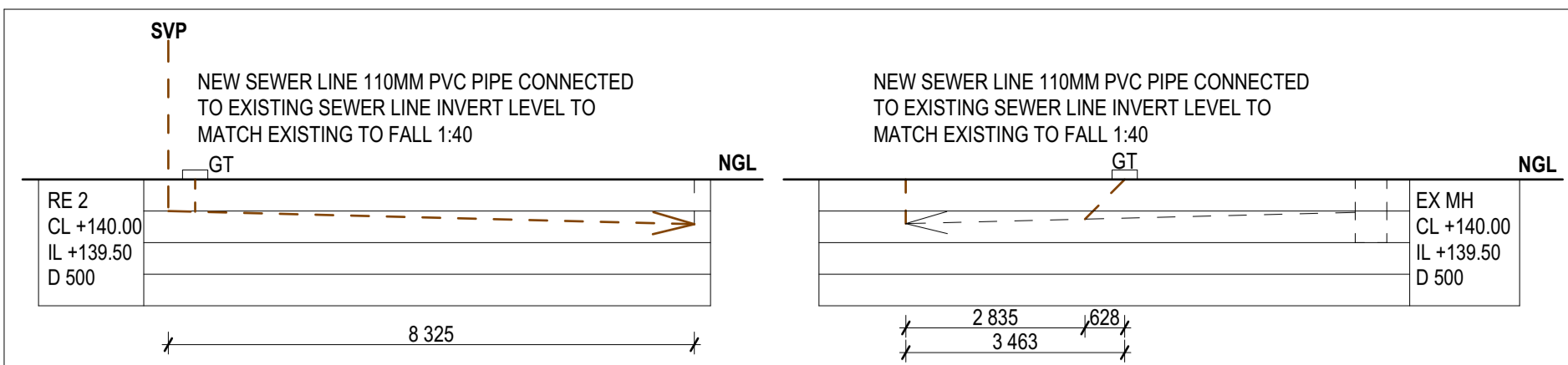
EAST ELEVATION 1:100
NORTH ELEVATION 1:100



PERGOLA1 FLOOR PLAN 1:100
SECTION E-E 1:100



PERGOLA2 FLOOR PLAN 1:100
SOUTH ELEVATION 1:100
NORTH ELEVATION 1:100
EAST ELEVATION 1:100

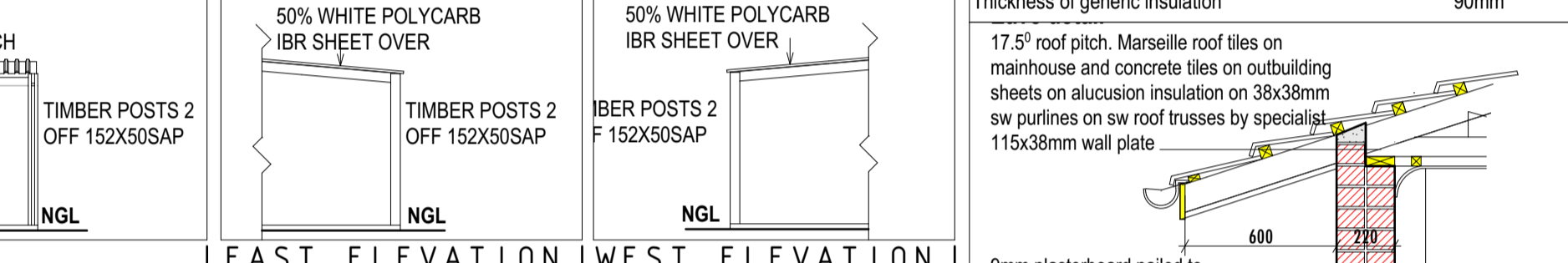


SEWER SECTIONS 1:100

Window No.	Location	Qty	Area A [m²]
W1	Leunge	1	1.88
W2	Bedroom 3	1	1.88
W3	Ensuite	1	0.54
W4	Bedroom 2	1	0.97
W5	WC	1	0.50
W6	Kitchen	1	0.97
W7	Ensuite	1	1.44
W8	Bedroom 1	1	1.88
W9	Ensuite	1	1.44
W10	Kitchen	1	1.9
W11	Leunge	1	3.08
W12	Bedroom	1	1.88

CONCLUSION: Hence glazing is deemed to satisfy Total Glazing Area < 20% Net Floor Area. Fenestration complies.

Parameter	Unit
Climatic Zone/Energy zone (I-B)	5H m²
Internal Net Floor Area	109.93 m²
20% of Total Net Area	21.986 m²
Total Glazing Area	12.704 m²



SECTION F-F 1:100

ROOF ASSEMBLY
 BASIC ROOF ASSEMBLY clay tile type
 R-Value for roof covering material 0.48m.sq/KW
 R-Value for ceiling 0.05m.sq/KW
 Required R-Value for insulation 2.17m.sq/KW
 Roof venting Unventilated
 Generic insulation product Lulose
 Added/unventilated Fibre-loose fill
 Density of insulation added 2.17m.sq/KW
 Thickness of generic insulation 90mm

ROOF ASSEMBLY R-VALUES:
 SANS 10400 XA & SANS 204 conformance:
 1. SANS specifies R Values requirements for direction of heat flow.
 2. Climatic Zone/Energy zone = Zone 5H
 3. Total R-Value Requirement = 3.7 m².K/W
 4. Direction of Flow Heat = Down
 Actual R Value:
 1. Roof covering = Marseille tiles [0.35] concrete tiles [0.30]
 2. Ceiling = 6.5mm Rhinocet ceiling boards [0.05]
 3. Insulation = 135mm thermguard insulation [3.25]
 4. Total R-Value of all components = 3.65m².K/W
 5. Conclusion = R-Value Compliant.

OTHER THAN ELECTRICAL RESISTANCE HEATING INSULATION REQUIREMENTS:
 INTERNAL DIAMETER OF HOT WATER SERVICE PIPE TO BE EQUAL TO OR LESS THAN 80MM
 MINIMUM REQUIRED R-VALUE FOR PIPE INSULATION IS 1
 MINIMUM REQUIRED R-VALUE FOR VESSEL / TANK IS 2 - ADDITIONAL INSULATION TO MANUFACTURER'S INSULATION MAY BE REQUIRED TO ACHIEVE THIS VALUE.

SANS 10252-1 WATER LEGEND

Symbol	Description
—	Pipe carrying cold water
—	Pipe carrying hot water
→	Normal direction of flow
50, 40	Pipe : nominal diameter (mm)
—	Isolating valve (flanged ends) (manual control)
—	Tap (external)
—	Storage water heater (domestic type)
—	Shower (fixed)
—	Stop cock
—	Water meter
—	Solar Heater

AREA SCHEDULE

ZONING:	SPECIAL RESIDENTIAL 400
SITE AREA:	350.00M²
EX MAIN HOUSE:	49.92M²
EX OUTBUILDING/FLAT:	38.05M²
ADDS:	
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FAR CALCULATIONS:	
ADDED DAR:	+021.96M²
EX TOTAL FAR:	87.97M²
NEW TOTAL FAR:	109.93M²
MAX ALLOW FAR:	N/A
COVERAGE CALCULATIONS:	
ADDED COVERAGE:	+060.43M²
EX TOTAL COVERAGE:	87.97M²
NEW TOTAL COVERAGE:	148.40M²
MAX ALLOW. COVERAGE:	175.00M²

PTN 210 OF ERF 818 BRICKFIELD PARKING EX - 2 BAYS (OPEN) NEW - 3 BAYS (INCL. CARPORT)

Area Calculations	Max Allowable	New Totals	Compliant Within
Coverage	50%	42.40%	Planning
F.A.R	N/A	N/A	Scheme/Zoning Reqs as set forth
Height	2 STOREY	1 STOREY	

NEIGHBOURS CONSENT

Name	Address	ID No.	TEL - CELL NO.	Signature

SANS 10400XA COMPLIANCE

ELECTRICAL LEGEND

Symbol	Description
—	DISTRIBUTION BOARD
—	ISOLATOR 1200mm FROM FFL
—	FLUORESCENT LIGHT FITTING
—	CEILING MOUNTED LIGHT FITTING
—	WALL MOUNTED LIGHT FITTING
—	LIGHT SWITCH 1400mm FROM FFL
—	DOUBLE PLUGPOINT 250mm

ENERGY CALCULATIONS

Allowed (Table 12-sans204): occupancy class H4, 5W/m²
 5W/m² x 109.93m² = 549.64W
 24x5W lamps = 120W
 Total = 120W

ENERGY CONSUMPTION

Allowed: 5kWh/m² or 5kWh/m²@1year
 5kWh/m² x 109.93m² = 549.64W
 Assume lights are on from 17:00-22:00 each day/year that is 5h/day
 52(weeks) x 7 (days) x 5(h) = 1820h.a
 Lamps = 120W or 0.12kw
 0.12kw x 1820h.a = 218.4kWh.a which is less than 549.64kWh.a

COMPLIANCE TO HOT WATER SUPPLY:

1. SANS 204 CLAUSE 4.5.2.1 REQUIRES 50% OF HOT WATER SUPPLY TO COME FROM SOLAR GEYSERS OR SIMILAR.
 2. SANS 10252-1:2012 TABLE 2 & 5 REQUIREMENT FOR HIGH RENTAL DWELLINGS:
 2.1. TOTAL HOT WATER DEMAND TO BE 115 L - 140L / CAPITA / DAY - ASSUMED
 HOT WATER CONSUMED PER DAY TO BE 320 LITERS
 2.2. STORAGE VOLUME AT 60°C TO BE 40 TO 50 L OF HOT WATER SUPPLY PER CAPITA.
 3. ACTUAL HOT WATER SUPPLY TO COME FROM 1 X 200 L SOLAR GEYSER INSTALLED IN ROOF.
 4. SOLAR GEYSERS TO BE INSULATED WITH FIBER GLASS 80 (R-VALUE = 2) OR SIMILAR AS PER SANS 204 CLAUSE 4.5.2.6
 5. HOT WATER PIPES < DIA 80mm TO BE INSULATED WITH 25mm PU FOAM (R-VALUE = 1) OR SIMILAR AS PER TABLE 13 OF SANS 204
 6. LOCATION OF SOLAR GEYSER TO BE ABOVE MAIN BEDROOM IN ROOF AND ABOVE KITCHEN IN OUTBUILDING.
 7. GEYSER POWER TO COME FROM SOLAR PANELS FITTED ON ROOF BY SPECIALIST AS PER MANUFACTURERS SPECIFICATIONS.
 8. THE SOLAR WATER HEATING SYSTEMS SHALL COMPLY WITH SANS 1307 AND SANS 10106.
 9. THE INSTALLATION THEREOF SHALL COMPLY WITH SANS 10254.
SUMMARY
 ASSUMED HOT WATER CONSUMPTION - 80 LITERS
 NO. OF PERSONS: - 6 PER DAY
 ASSUMED DAILY HOT WATER CONSUMPTION - 480 LITERS PER DAY
 ASSUMED ANNUAL HOT WATER CONSUMPTION - 175.2 KL - BASED ON DAILY DESIGN OCCUPANCY PER WEEK
 50 % OF ANNUAL HOT WATER CONSUMPTION - 87.6 KL - MINIMUM VOLUME OF HOT WATER TO BE PROVIDED BY MEANS OTHER THAN ELECTRICAL RESISTANCE HEATING
 DAILY HOT WATER CONSUMPTION - 160L L - TO BE PROVIDED BY MEANS OTHER THAN ELECTRICAL RESISTANCE HEATING

FOR SUBMISSION PURPOSES

CLIENT SIGNATURE: _____
 Revisions: _____
 ARCHITECT: **GAD**
 sven hoffmann
 m: +27737442948 / e: sven@thegild.co.za / 58 padfield rd, padfield park, pinetown, 3610
 Pr.Arch.21491
 Signature: _____ Date: 2022/10/06
 Project: PROPOSED ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE AT 9 CORNELIUS ROAD, SPARKS, BRICKFIELD, DURBAN FOR MRS ODETTE ANDERSON
 Cadastral description of property: PTN 210 OF ERF 818 BRICKFIELD

WATER LEGEND

Symbol	Description
—	Pipe carrying cold water
—	Pipe carrying hot water
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—	Isolating valve (flanged ends) (manual control)
—	Tap (external)
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Scale/s: 1:25, 1:100 Page size: A1
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