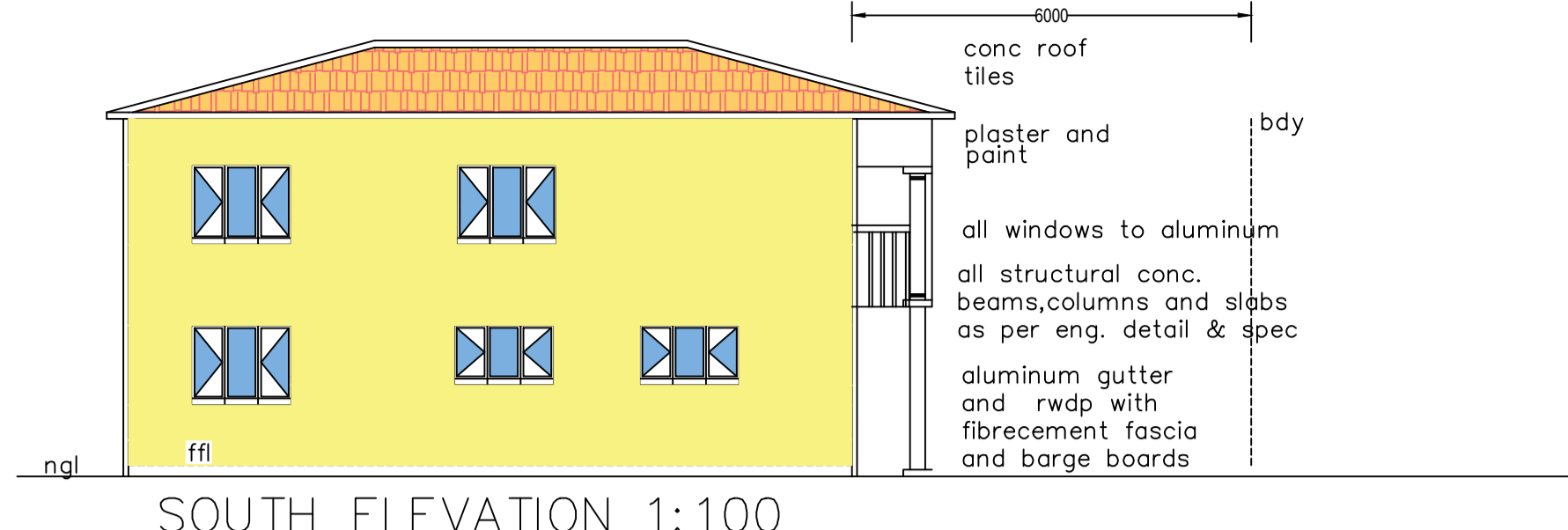
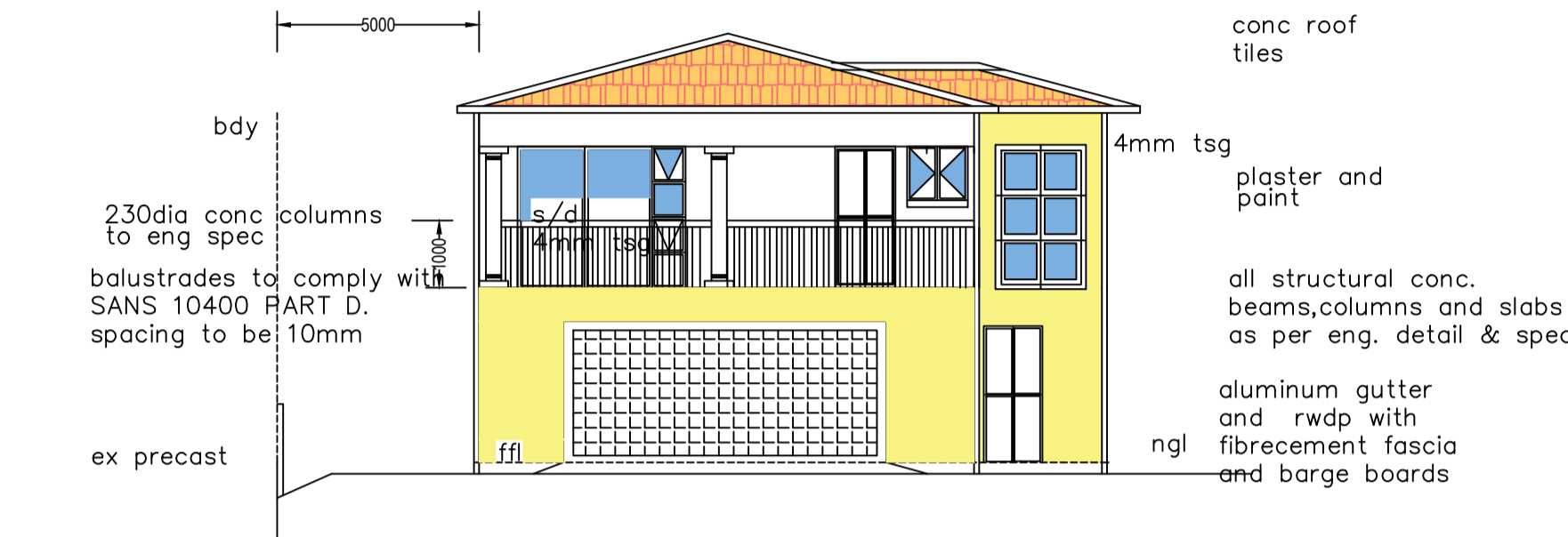


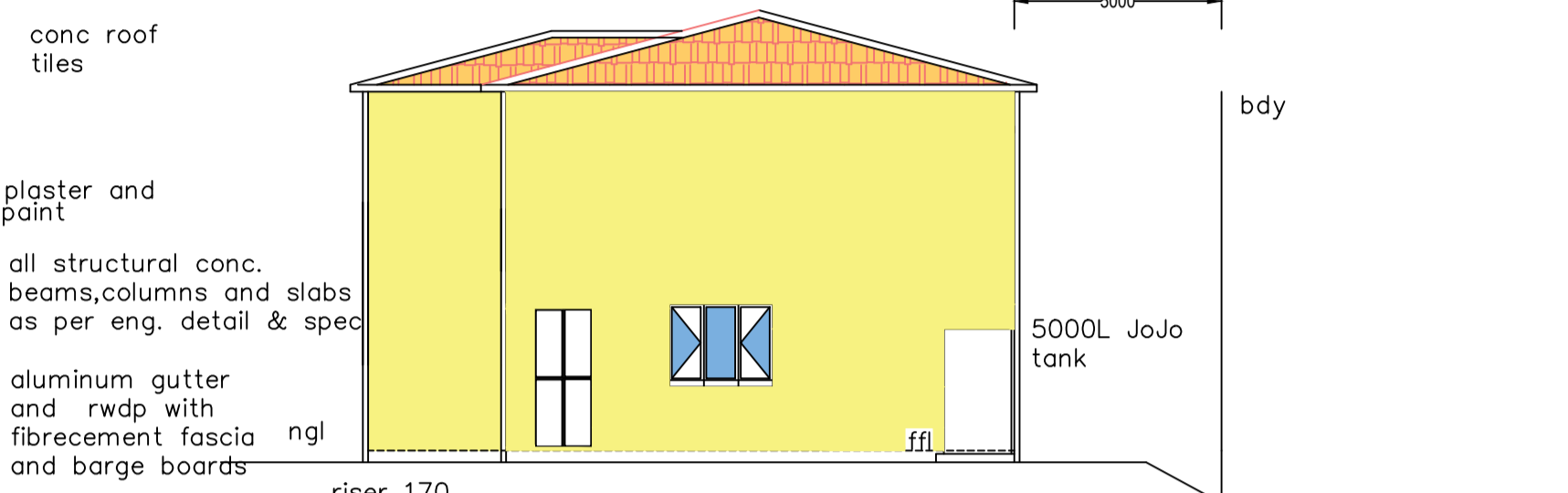
NORTH ELEVATION 1:100



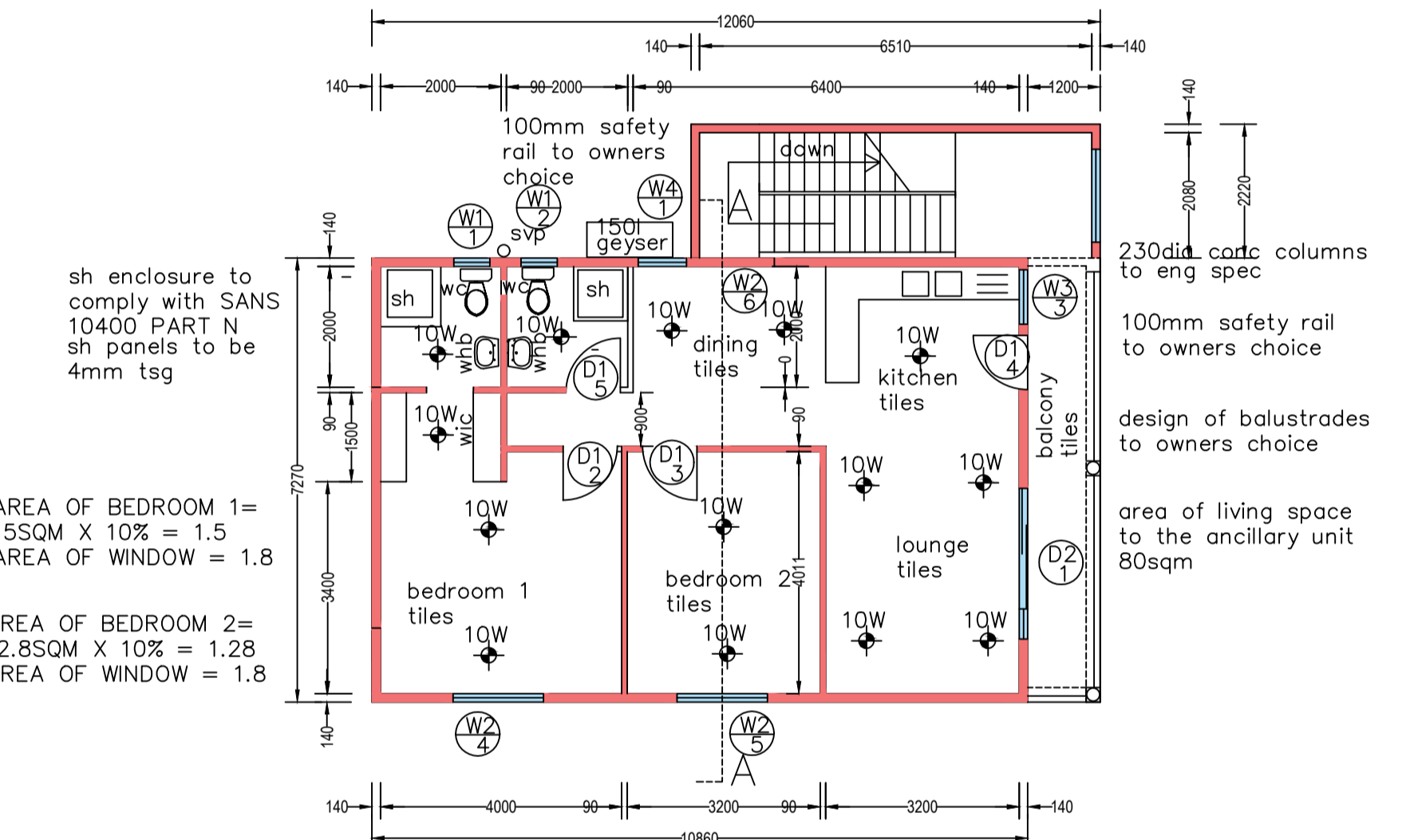
SOUTH ELEVATION 1:100



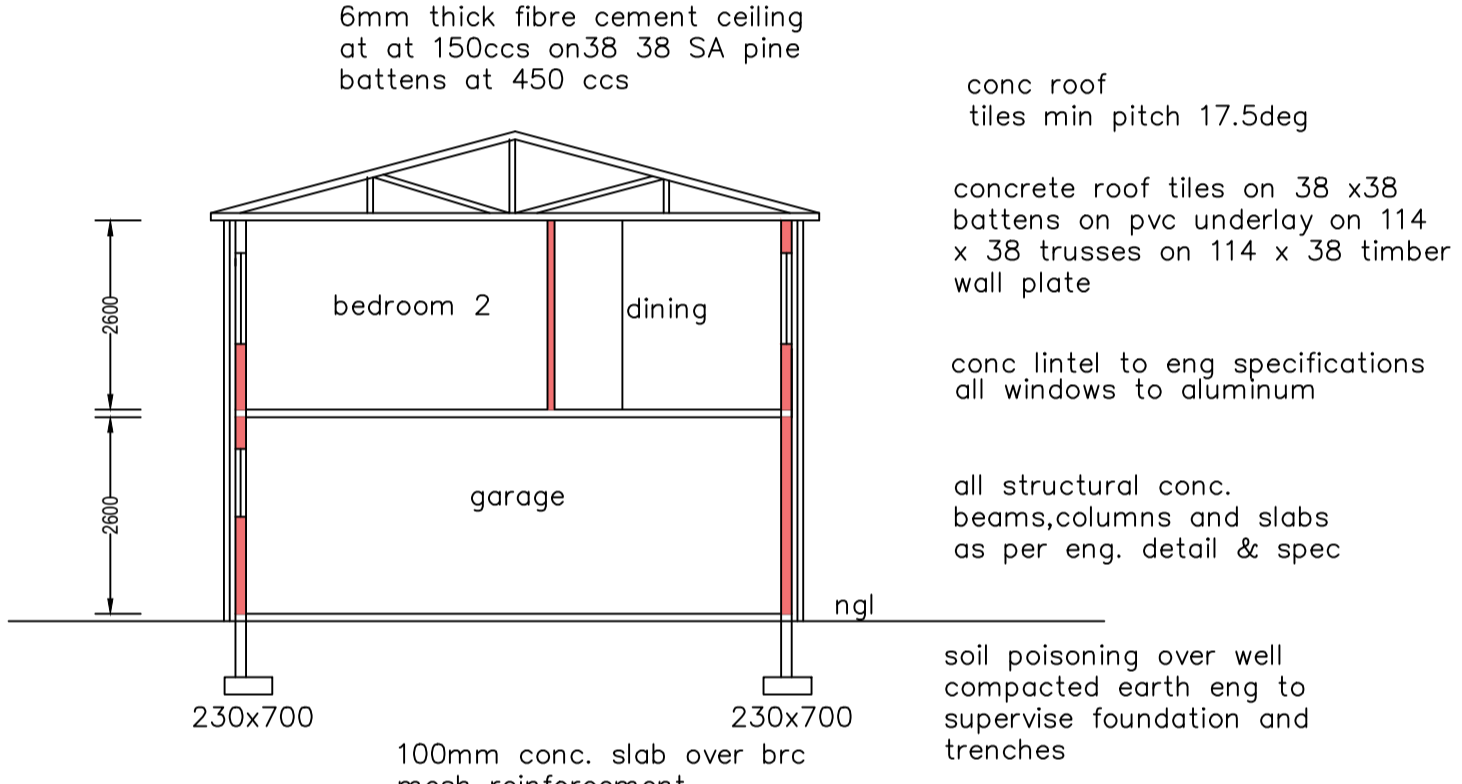
EAST ELEVATION 1:100



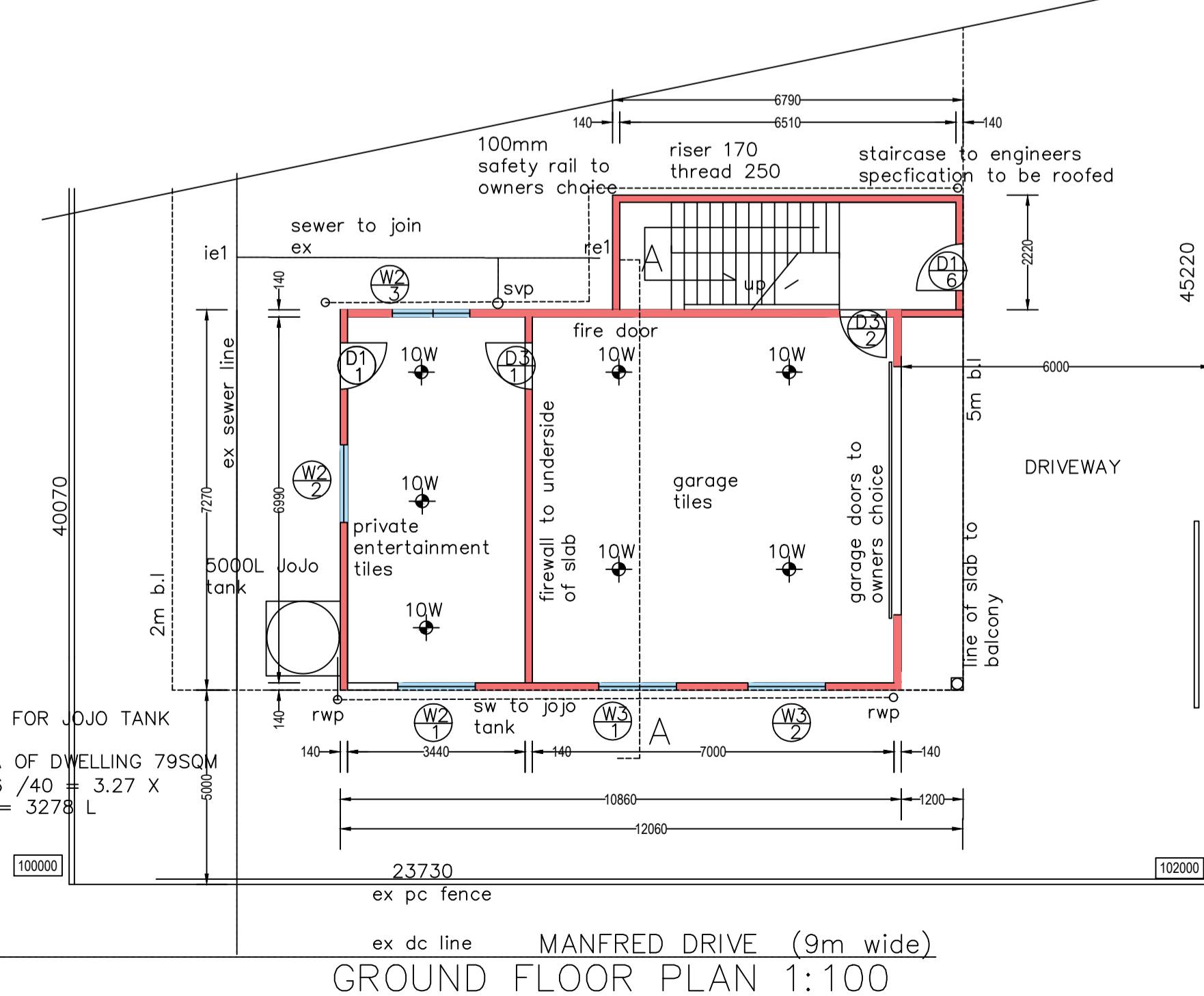
WEST ELEVATION 1:100



FIRST STOREY PLAN 1:100



SECTION A-A



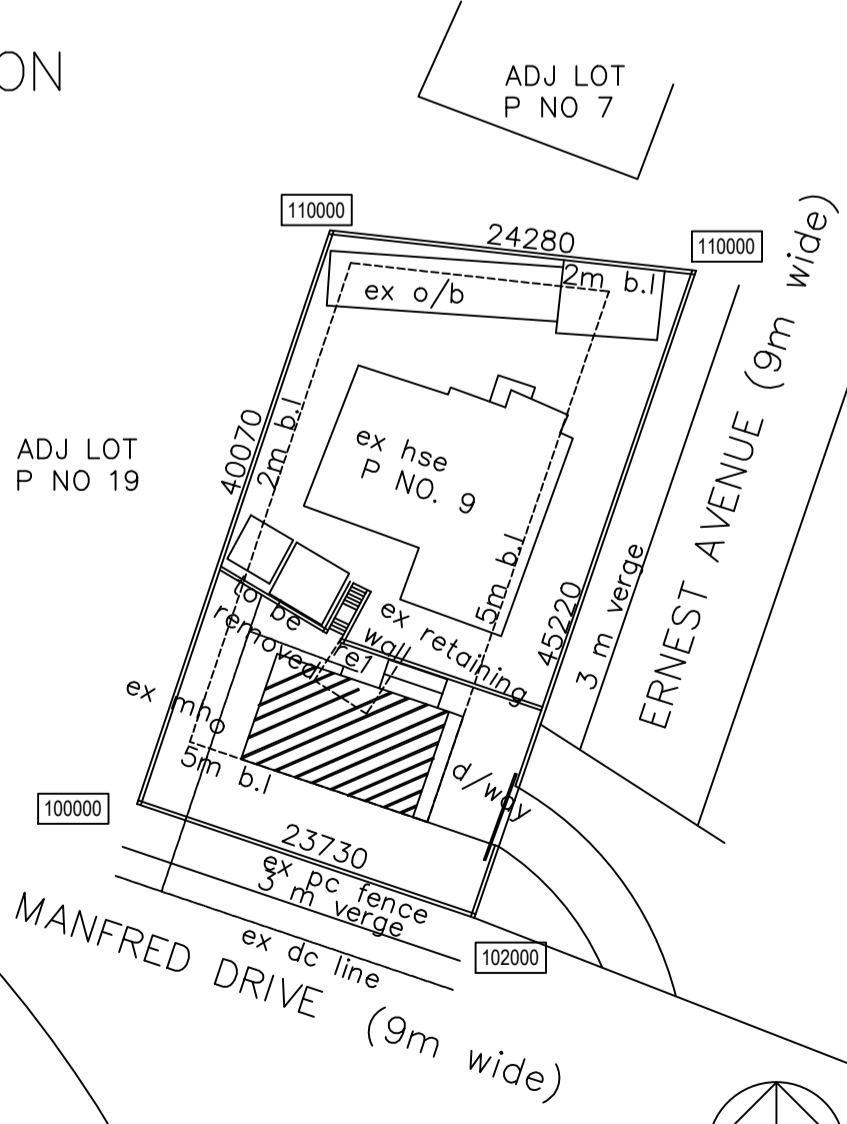
GROUND FLOOR PLAN 1:100

CALC FOR JOJO TANK  
 AREA OF DWELLING 79SQM  
 X1.66 / 40 = 3.27 X  
 1000 = 3278 L

ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE BROUGHT TO THE AUTHORS ATTENTION

cover level	102000	102000
invert level	101450	101300
depth	550	700
distance	7000	
gradient	1:46	

SEWER SECTION



SITE PLAN 1:500

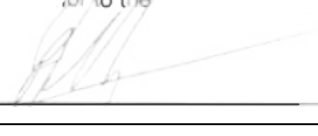
- NOTES
- 2 vermin proofed air bricks to be
  - all glazing to comply with part N SANS 10400
  - windows to be aluminium
  - all foundations to be 1m clear of dc services
  - no part of bdy wall or foundation to encroach over bdy
  - drawing to be read in conjunction with eng.
  - barge and fascia boards to be provided
  - plan to comply with SANS 10400
  - all dimensions and levels to be checked on site before commencement of work. any discrepancies should be brought to the authors attention
  - bdy beacons to be exposed before starting work
  - concrete roof tiles on 38x38 battens on pvc underlay on 114x38 trusses on 114x38mm timber wall plate
  - retaining wall to engineers drawing
  - walls and lintels to engineers specs
  - roof and roof specs to engineers
  - plan is for submission purposes only
  - do not scale of the drawing
  - all municipal services to be exposed, before connection

DOOR SCHEDULE	AREA 5.04	
	1800x2100	900x2100
DOOR TYPE:	Standard approved 1800x2100 aluminium door with 600mm side light	Standard approved 900x2100x44mm solid flush timber door with approved veneer both sides and two edge strips.
DOOR CODE:	D2	D1
QUANTITY:	1	6
GLAZING:	4mm tsg	NONE

WINDOW SCHEDULE	area of window = .72	area of window = 1.8	area of window = 1.35	area of window = .81
	WINDOW TYPE:	1200mm x 600mm aluminium window	1500x1200mm aluminium window	1500mm x 900mm aluminium window
WINDOW CODE:	W1	W2	W3	W4
QUANTITY:	2	6	2	1
FRAME:	aluminum frame	aluminum frame	aluminum frame	aluminum frame
GLAZING:	4mm safety glass	4mm monolithic annelid	4mm monolithic annelid	4mm monolithic annelid

CONDUCTANCE COMPLIANCE		ENERGY COMPLIANCE	
PART XA COMPLIANCE - CLIMATIC ZONE 5		ANCILLARY UNIT	
Fenestration	Building area first floor - 79 sqm x 20% = 15.8sqm Glazing area, 12.96sqm  Building area ground floor - 79 sqm x 20% = 15.8sqm Glazing area, 7.56sqm	kitchen 10W lounge 40W bedroom 1/en suite 40W bedroom 2 20W bathroom 10W	entertainment area 30W garage 40W
Under floor Heating	Not applicable in proposal	TOTAL 120W	total 70W
Geysers	Hot water service pipes (<600) to be clad with insulation with a min R-value of 1.00.	ENERGY DEMAND- ANCILLARY UNIT 79SQM X 5W = 395kW/p.a max	
Heat Pump	THERMOWISE GT-SKRO30B (10KW) Please refer to specifications attached.	ENERGY CONSUMPTION- ANCILLARY UNIT	
Hot Water Supply	Required 60 Ltrs / day Complies 120 Ltrs	TOTAL WATTS 120W	HOURS / DAY 5 DAYS / YR 365
Shading	Vertical height values (H) are indicated on elevations. Horizontal projection value (P) is 600mm. Single leaf min. 140mm with plaster inside and render outside as per SANS 10400 PART XA 4.4.3.2	219000w / 1000 = 219Kw	
Roofing	Min. required total R-value (sqm. KW) - 2.7 Direction of heat flow - Down R-value (sqm. KW) of roof covering material - 0.48 R-value (sqm. KW) of ceiling material - 0.05 Added R-value of insulation - 2.17 Aerolite or Isotherm insulation product with required specs to used otherwise similar. 100mm Thick Flexible Fibre Glass Blanket. 10 - 18 Kg /sqm 0.040 W/(m.k.)	219Kw < 395kW COMPLIES	

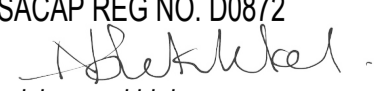
AREA SCHEDULE	
SITE AREA	1012
EX COV	291.15
PROP COVERAGE	103.76SQM
TOTAL COVERAGE	394.91

OWNER'S SIGNATURE  
  
 PROPOSED ANCILLARY UNIT AND GARAGE  
 FOR MR N PILLAY AND MRS A PILLAY  
 9 ERNEST AVENUE  
 ROSEHILL

CAD DESCRIPTION  
 ERF 525 ROSEHILL

SUBMISSION PLAN -DWG NO. ESP 001

SCALE AS SHOWN	DRAWN NS	DATE 20/01/2023
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