

LEGEND

Proposed Zoning	Proposed Land use	Number of Erven	Erff Number	Area in Ha	% of Area
Residential zone I	Residential house (Minimum 600m ²)	787	16841-16851; 16855-16869; 16871-16886; 16900-16904; 16947-17124; 17127-17253; 17265-17317; 17319-17459; 17601-17702; 17719-17753; 17756-17762	50,832ha	13.3%
	Residential house (Minimum 800m ²)	391	16730-16840; 17470-17600; 17707-17718; 17753-17919	33,197ha	8.7%
Residential zone III	Flats, Residential building	5	16899; 17125; 17734; 19081; 19096	4,378ha	1.2%
Residential zone IV	Residential house, low cost housing (Minimum 350m ²)	3886	17971-18022; 18022-18049; 18051-18142; 18164-18411; 18414-18501; 19055-19099; 18588-18762; 18784-18804; 18805-18910; 18921-19029; 19041-19110; 19138-19254; 19256-19309; 19385-19435; 19437-19627; 19659-19659; 19858-20005; 20007-20179; 20188-20212; 20214-20219; 20221-20437; 20489-40484; 40486-20514; 20516-20519; 20851-21037; 21040-21133; 21152-21468; 21470-21543; 21545-21892; 21894-21976	145,194ha	38.1%
	Business zone I	Business premises including: Institution, Authority use, Flats, Residential building	9	17125; 18587; 19020; 19360-19367	6,055ha
Business zone II	Shop	21	16862; 16862; 16793; 19369-19362; 19436; 20485; 21028; 21134	2,352ha	0.6%
Institutional zone I	Place of instruction (Secondary School)	1	18412	4,338ha	1.1%
	Place of instruction (Primary School)	3	16870; 16887; 21544	8,808ha	2.3%
	Place of instruction (Creche)	7	16853; 17218; 18562; 19255; 20008; 20815; 21469	1,910ha	0.5%
Institutional zone II	Public place of worship (Church)	11	16854; 16848; 17254; 17735; 18143; 18805; 19040; 19652; 20013; 21039; 21893	2,289ha	0.6%
Open space zone I	Public open space	20	17921-17923; 18111-19113; 20145; 20141; 20824-20836; 21078-21088	15,187ha	4.0%
	Private open space (Sportsfield)	2	18021; 20320	5,782ha	1.5%
Open space zone II	Private open space (Cemetery)	1	20438	0,529ha	0.1%
	Transport zone I	Transport use (Taxi rank)	1	19360	0,535ha
Transport zone II	Public street	128	17924-17969; 18114-19136; 20142-20164; 20837-20849; 21887-22008	97,275ha	25.6%
	Authority zone I	Authority use (Substation)	1	18413	0,070ha
Authority zone I	Authority use (Water Reservoir)	1	17920	1,802ha	0.5%
	Authority use (Sewer Pump Station)	1	21917	0,319ha	0.1%
TOTAL		5276	16841-17969; 17971-19136; 19138-20164; 20166-20849; 20851-22009	380,860ha	100%

STREETS

Reserve Width	Length in Metre	% of Street Length
12m	32334m	45.7%
13m	17875m	25.3%
16m	8964m	12.7%
20m	5784m	8.2%
25m	5761m	8.1%
TOTAL	70718m	100%

NOTES:

The figure A-B-C-D-E-F-G-H-J-K-L-A represents the proposed towns Kathu Extension 6 to 10.

No ingress to or egress from Govan Mbeki Avenue along the line(s) lettered d-e; f-g-h-i; k-m-n; o-p-q; r-s-t; u-v-w; x-y-z; a-b; c'-d'-e'-f'; g'-h'-i'-j'-k'; l'-m'-n'; o'-p'-q'-r'; s'-t'-u'; v'-w'-x' and y'-z' as indicated on the layout plan.

No ingress to or egress from Anton Lembede Avenue along the line(s) lettered a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r'; s'-t'-u'; v'-w'-x'; y'-z'-a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r' as indicated on the layout plan.

No ingress to or egress from Roos Street along the line(s) lettered x'-y'-z' and j'-k'-l'-m' as indicated on the layout plan.

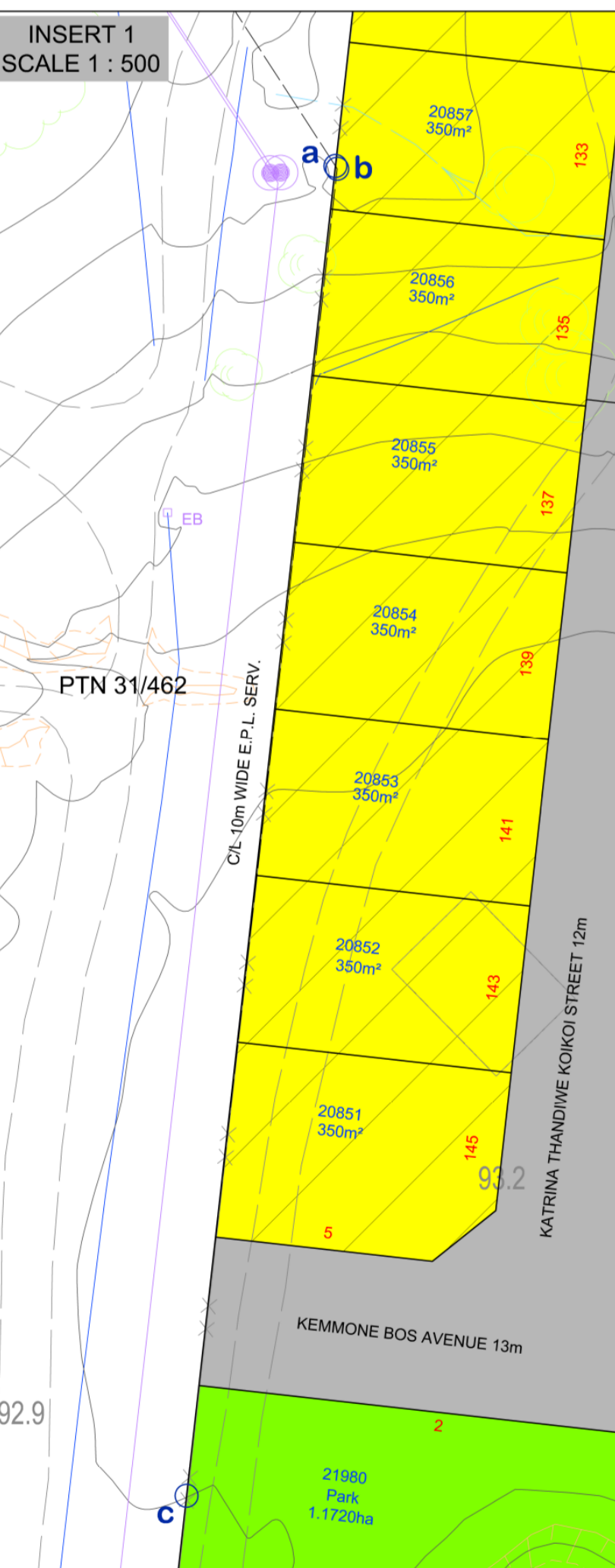
No ingress to or egress from Raymond Mphahlele Mhahaba Avenue along the line(s) lettered n'-o'; p'-q'; r'-s'; t'-u'; v'-w'-x'; y'-z'-a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r'; s'-t'-u'; v'-w'-x'; y'-z'-a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r' as indicated on the layout plan.

No ingress to or egress from Jeffrey Witbooi Avenue along the line(s) lettered q'-r'; s'-t'-u'; v'-w'-x'; y'-z'-a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r'; s'-t'-u'; v'-w'-x'; y'-z'-a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r' as indicated on the layout plan.

No ingress to or egress from Seemeeu Street along the line(s) lettered c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r'; s'-t'-u'; v'-w'-x'; y'-z'-a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r' as indicated on the layout plan.

No ingress to or egress from Chris Hani Avenue along the line(s) lettered f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r'; s'-t'-u'; v'-w'-x'; y'-z'-a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r' as indicated on the layout plan.

No ingress to or egress from Makhenkesi Staffle Avenue along the line(s) lettered d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r'; s'-t'-u'; v'-w'-x'; y'-z'-a'-b'; c'-d'-e'; f'-g'-h'; i'-j'; k'-l'; m'-n'; o'-p'-q'-r' as indicated on the layout plan.



GEOTECHNICAL REPORT
 Compiled by: GEOSSET cc
 Consulting Environmental and Engineering Geologists
 David S. van der Merwe : Cel: (082) 925 4075
 Date : November 2017

Engineering Geological Zonation

Special Development with Risk:
 Site Class CR to C1R/1A2F. This zone is characterized by very loose collapsible aeolian sand (C to C1) exhibiting an open texture, with thickness less than 0.75m, with less than 10mm movement measured at surface. The risk of hard pan calcrete, calcrete gravel and shallow rock and scattered rock calcrete boulders or rock outcrop (R) will restrict the placing of services. Pneumatic tools, a competent TLB or excavator or even blasting will be required during the placing of services. Foundations will require special foundation techniques with proper compaction and site specific drainage. It is classified as CR to C1R according to the NHBRC guidelines (1995) & SAICE Code of practice (1995) and 1A2F according to the classification for urban development (Partridge, Wood & Brink).

Development with expected problems or increased cost
 Site Class PQ. Quarried areas or borrow pits must be rehabilitated including backfilling with a controlled fill to engineer's specification before any development can take place.

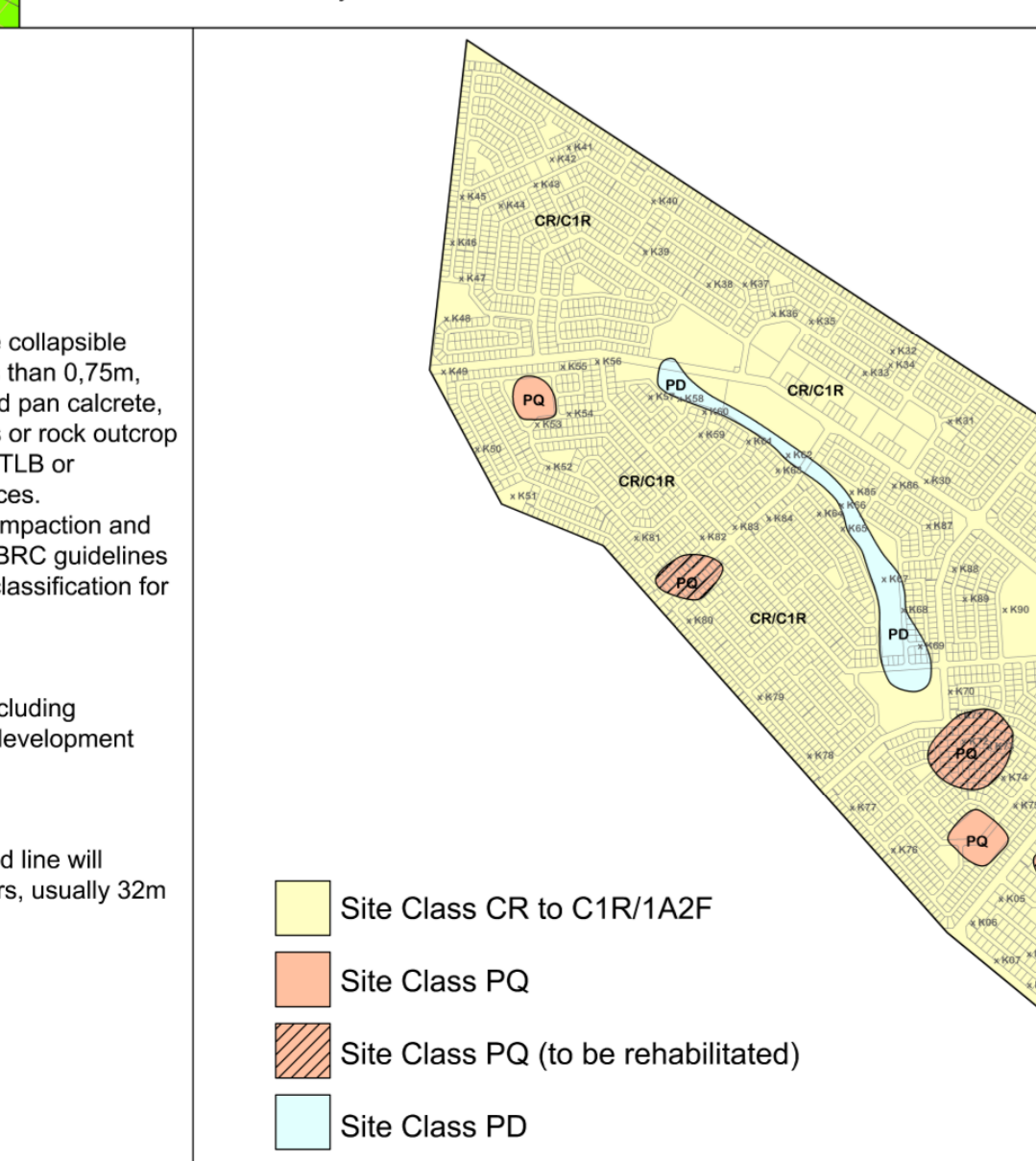
Undevelopable:
 Site Class PD. Perennial drainage features where the 1:100 year flood line will determine or specify the allowable distance of development from rivers, usually 32m from the center of the river.

— Inferred Zone Boundary
 PQ Site Class Designation
 x K01 Test Position and Number

SERVITUDE NOTES:
 The figure a-b-c-a represents a powerline servitude vide diagram SG No. F8110/1987 and Notarial Deed K74/1989S affects Erven 20851 to 20857 and 21979. (See Insert 1)

EXISTING SERVICES:

- GLM Water network
- GLM Sewer network
- GLM Electricity network



GEOTECHNICAL ZONATION
 Scale 1 : 20 000

- Site Class CR to C1R/1A2F
- Site Class PQ
- Site Class PQ (to be rehabilitated)
- Site Class PD

STREETS:
 Maximum slope 1 : 6
 Minimum slope 1 : 294

DESIGN OF TOWN LAYOUT
 Maxim Planning Solutions (Pty) Ltd
 K. Raubenheimer Pr. Pin A/524/1996
 Tel: (018) 468 6366

CONTOURS
 The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.

Digital Orthophoto by: *Azur*

Tel: (012) 8030346
 Date of Photography: December 2017
 System : WGS84 Central Meridian : Lcc2

DETAIL LAYOUT MAP
PROPOSED TOWNSHIPS
KATHU EXTENSION 6 TO 10

240m 160m 80m 40m 0m 40m 80m 160m 240m SCALE 1 : 4 000

THE PROPOSED TOWN IS SITUATED ON PORTIONS 1 AND 2 OF THE FARM KALAHARI GHOLF EN JAG LANDGOED NO. 775, DIVISION KURUMAN, GAMAAGARA LOCAL MUNICIPALITY, NORTHERN CAPE PROVINCE

Drawing Compiled by : A. Rossouw
 Drawings Nr. : 8/75/1
 Date : 2018/10/22
 Revision : 0

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