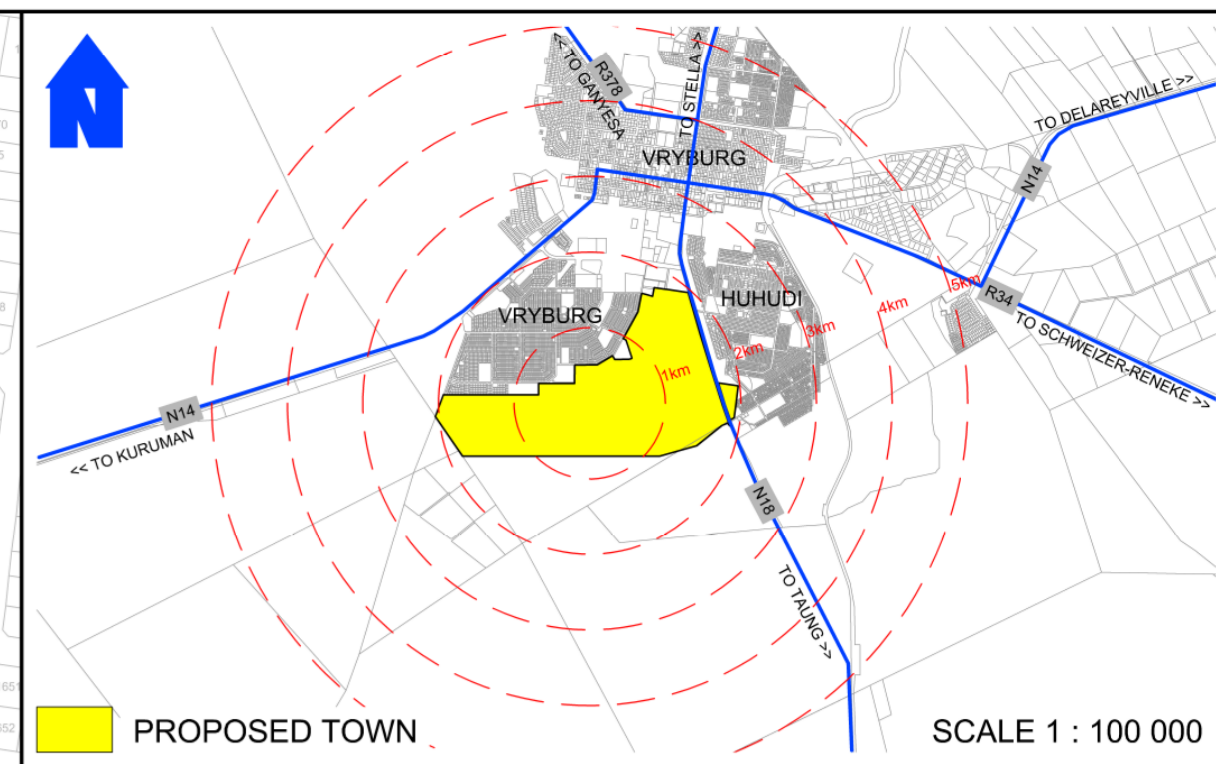
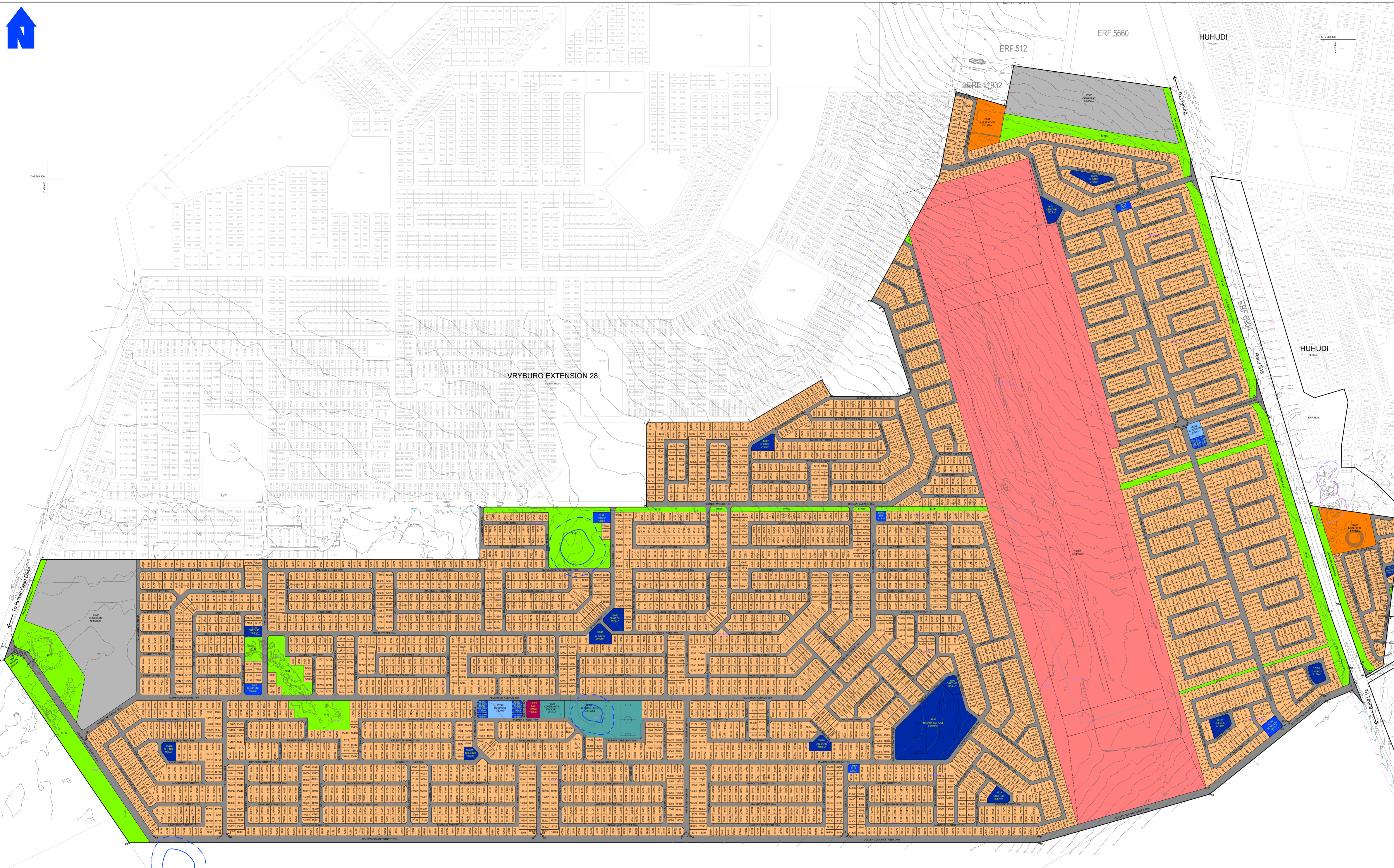




1:100 000

1:100 000



PROPOSED TOWN SCALE 1 : 100 000

LEGEND

Proposed Zoning	Proposed Land Use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential 4	Dwelling Unit Minimum 300m ²	93	17637-17725	3.1505ha	0.68%
	Dwelling Unit Minimum 400m ²	4555	11981-12181; 12183-12186; 12188-12205; 12207-12240; 12942-13009; 13091-13093; 13262-14276; 14278-14406; 14648-14532; 14534-14591; 14594-15176; 15178-15241; 15905-15927; 15929-15951	190.5516ha	41.40%
	Dwelling Unit Minimum 500m ²	1061	16585-16688; 16690-16703; 16705-17136; 17138-17159; 17161-17177; 17179-17179; 17246-17254	57.1923ha	12.43%
Business 1	Business	2	15246; 17383	0.5294ha	0.12%
Business 2	Shop	17	12187; 12391; 14277; 14407; 15248; 15249; 15251; 15252; 17137; 17178; 17380-17382	1.1844ha	0.26%
Institutional 1	Place of Instruction (Primary School)	1	14993	3.3108ha	0.72%
	Place of Instruction (Creche)	6	12182; 12641; 14992; 15201; 17160; 17726	1.2748ha	0.28%
	Place of Worship (Church)	8	13060; 13931; 14533; 15198; 15599; 15668; 16689; 17035	1.7644ha	0.38%
Institutional 2	Community Facility	1	15321	0.3520ha	0.08%
	Sports Field	1	15322	2.1753ha	0.47%
Public Open Space 1	Public Open Space	19	17731-17749	22.3135ha	4.85%
Authority	Municipal	2	16564; 17636	2.6983ha	0.59%
Transport 1	Taxi Rank	1	15320	0.1975ha	0.04%
Transport 2	Public Street			82.9867ha	18.03%
Cemetery	Cemetery	2	11980; 16563	16.9652ha	3.69%
Special	Airfield	1	16562	73.5634ha	15.98%
TOTAL		5770	11980-17749	460.2101ha	100%

STREETS

Reserve Width	Length in Metre	% of Street Length
10m	54857m	75.6%
13m	5692m	7.8%
16m	7796m	10.7%
20m	4251m	5.9%
TOTAL	72596m	100%

- NOTES:**
- The figures A-B-C-D-E-F-G-H-I-J-K-L-M-N-O-P-Q-R-S-T-U-V-W-X-Y-Z-A1-B1-C1-D1-E1-F1-A & G1-H1-J1-K1-L1-M1-N1-G1 represent the proposed town of Vryburg Extension 29.
 - 16m Building Restriction along the line(s) lettered A-a-b & g-F1 as indicated on the layout plan.
 - 20m Building Restriction along the line(s) lettered U-h-j; r-s-v-u; f1-g1-w-x-h1-j1 & G1-N1-2-m2 as indicated on the layout plan.
 - No ingress to or egress from Road D944 along the line(s) lettered A-a as indicated on the layout plan.
 - No ingress to or egress from Colleen Colane Street along the line(s) lettered a-b-c-d; e-f-g-F1; h1-j1-k1-l1; o1-p1-q1-r1; u1-v1; y1-z1; c2-d2; g2-h2-j2 & l2-m2 as indicated on the layout plan.
 - No ingress to or egress from Road N18 along the line(s) lettered U-h; s-V-T; g1-W-X-h1 & G1-n1-2 as indicated on the layout plan.
 - No ingress to or egress from Nelson Mandela Street along the line(s) lettered h-j-k; m-o & q-r-s as indicated on the layout plan.
 - No ingress to or egress from Spar Street along the line(s) lettered k-l & m-n as indicated on the layout plan.
 - No ingress to or egress from Titanium Avenue along the line(s) lettered p-q; v-w; b1-c1; d1-e1; f1-m1 & n1-o1 as indicated on the layout plan.
 - No ingress to or egress from Liquid Silver Street along the line(s) lettered t-u-v; z; a1-b1 & d1-f1-g1 as indicated on the layout plan.
 - No ingress to or egress from Zinc Street along the line(s) lettered r1-s1 & t1-u1 as indicated on the layout plan.
 - No ingress to or egress from Silver Avenue along the line(s) lettered v1-w1 & x1-y1 as indicated on the layout plan.
 - No ingress to or egress from Metal Street along the line(s) lettered z1-a2 & b2-c2 as indicated on the layout plan.
 - No ingress to or egress from Lead Street along the line(s) lettered d2-e2 & f2-g2 as indicated on the layout plan.
 - No ingress to or egress from Aluminium Avenue along the line(s) lettered j2-k2 as indicated on the layout plan.

Average Residential Erven Size : 439.5m²
 Erf sizes and dimensions subject to final survey.

1 : 100 YEAR FLOODLINE

It is hereby certified in terms of the provisions of Section 144 of the National Water Act, 1998 (Act No.36 of 1998) that the township is not affected by a public stream.

STREETS:
 Maximum slope 1 : 46
 Minimum slope 1 : 318

DESIGN OF TOWN LAYOUT

Maxim Planning Solutions (Pty) Ltd
 K. Raubenheimer Pr. Pin A/924/1996
 Tel. (018) 468 6366

CONTOURS

The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.

Digital Orthophoto by: *Azur*

Tel: (012) 8030346
 Date of Photography: July 2018
 System: WGS84 Central Meridian: Lc25

PROPOSED TOWN VRYBURG EXTENSION 29

240m 160m 80m 40m 0m 50m 100m 200m SCALE 1 : 40 000

THE PROPOSED TOWN IS SITUATED ON A PORTION OF THE REMAINING EXTENT OF PORTION 3 OF THE FARM ROSENDAAL No. 073-N (TO BE KNOWN AS ERVEN 11977 AND 11979, VRYBURG)

NALEDI LOCAL MUNICIPALITY NORTH WEST PROVINCE

Drawing Compiled by : A. Rossouw
 Drawings Nr. : 8/56/5(A)
 Date : 2019-08-08
 Revision : 0

Caddie File : Z:\8-PROJECTS\8-56-5(A)\Vryburg Extension 29\MapCAD\Vryburg 29

Tel (018) 468-6366
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 ade@maxim.co.za

MAXIM
 planning solutions
 ACCREDITED TOWN AND REGIONAL PLANNERS

GEOTECHNICAL REPORT
 Compiled by : GEOJET cc
 Consulting Environmental and Engineering Geologists
 David S van der Merwe : Cel: (082) 925 4075
 Date : August 2018

Engineering Geological Zonation

Normal Development with risk:

Site Class CHR/1A1C2F. This zone represents the majority of the area and comprises of a relative thin top layer less than 0,75m in thickness of moderately collapsible or medium compressible and medium expansive soil underlain by a competent pebble marker and diamictite, with an expected range of total soil movement measured at surface as consolidation calculated to less than 5mm of total settlement, or less than 7.5mm heave, with a site classification of CHR, underlain by shallow rock shale and diamictite and this added a R site class designation to the zone with problems relating to restricted excavation to 1,5m. Normal foundation techniques will be adequate to enable proper development, with proper compaction within standard strip foundations and drainage provision that will be required.

Special Development with expected problems or increased cost

Site Class H3PD. This small zone is represented by medium to highly expansive soil or turf with estimated total heave of more than 300mm measured at surface. A wet pan area possibly within the 1:50 year flood line may also restrict development. Special foundation techniques will be required to enable proper development. It was classified as H3 in terms of the NHRBC. Split construction with suspended floors, piles with or without suspended floor slabs and ground beams, or even soil replacement with a soil raft, or stiffened or cellular rafts with articulation joints and reinforcement are required for residential development. Development must include site drainage and plumbing and service provisions.

Site Class PD. Quarried areas or borrow pits must be backfilled with a controlled fill better than G5 material according to engineers specification before any development can take place.

— Inferred Zone Boundary
 PQ Site Class Designation
 x V01 Test Position and Number

