

TOWNPLANNING REQUIREMENTS:

SITE AREA = 1.9724 Ha
 ZONING = RESIDENTIAL 3
 HEIGHT = 2 STOREYS
 COVERAGE = 40%
 FAR = 0.4
 DENSITY = 40 UNITS PER Ha

* TOTAL GROUND FLOOR AREA:

TYPE A	Unit	55.00	X18	990.00
Cov Terrace	12.29	X18	221.22	
Total	67.29	X18	1211.22	
TYPE B	Unit	55.00	X18	990.00
Cov Terrace	12.29	X18	221.22	
Total	67.29	X18	1211.22	
TYPE C	Unit	77.06	X6	462.36
Cov Terrace	8.30	X6	49.80	
Total	85.36	X6	512.16	
Stairs	20.19	X3	60.57	
TYPE D	Unit	95.33	X6	571.98
Cov Terrace	11.86	X6	71.16	
Total	107.19	X6	643.14	
Stairs	23.51	X3	70.53	
TOTAL GF- 3708.84				

CARPPTS 15.40 X144 2217.60
 GATEHOUSE 22.47 X1 22.47
 TOTAL COVERAGE - 5948.91

* COVERAGE = PERMISSIBLE / 40%
 TOTAL GROUND FLOOR AREA = 3948.91m² X 100
 SITE AREA = 19724 m²

* FAR = PERMISSIBLE / 0.4
 TOTAL AREA OF BUILDINGS = 7190.10 m²
 SITE AREA = 19724 m²

* TOTAL FIRST FLOOR AREA:

TYPE A	Unit	58.53	X18	1053.54
Total	58.53	X18	1053.54	
TYPE B	Unit	58.53	X18	1053.54
Total	58.53	X18	1053.54	
TYPE C	Unit	77.06	X6	462.36
Cov Terrace	8.30	X6	49.80	
Total	85.36	X6	512.16	
Stairs	20.19	X3	60.57	
TYPE D	Unit	95.33	X6	571.98
Cov Terrace	11.86	X6	71.16	
Total	107.19	X6	643.14	
Stairs	23.51	X3	70.53	
TOTAL FF- 3393.48				

TYPE C
 Unit 77.06 X6 462.36
 Cov Terrace 8.30 X6 49.80
 Total 85.36 X6 512.16
 Stairs 20.19 X3 60.57

TYPE D
 Unit 95.33 X6 571.98
 Cov Terrace 11.86 X6 71.16
 Total 107.19 X6 643.14
 Stairs 23.51 X3 70.53

TOTAL FF- 1286.40

TOTAL UNITS = 72 (36.50U/HA)
 TOTAL ROOFED AREA: 10628.79

PARKING REQUIREMENTS:

REQUIRED	PROVIDED
2.0 COVERED BAYS PER UNIT =72 UNITS X2 = 144 COVERED AND 0.3 OPEN VISITORS PER UNIT =72 UNITS X 0.3 = 22 VISITORS	ACTUAL COVERED = 144 COV AND ACTUAL OPEN = 25 VISITORS
TOTAL REQUIRED = 166 BAYS	TOTAL ACTUAL = 169 BAYS
TOTAL - 3 BAYS IN HAND	

3bed/2bath - 18 UNITS
 3bed/2bath - 18 UNITS
 3bed/2bath - 18 UNITS
 3bed/2bath - 18 UNITS

FIRE DEPT COPY
 CLIENT / ARCH COPY
 MDB COPY
 SITE COPY

SCHEDULE OF RIGHTS

PROPERTY DESCRIPTION
 Erf / Portion 1327 Site Area 1.9724 Ha
 Township STRUBENSVALLEI EXT 24 Title Deed No

ZONING INFORMATION
 Town Planning Scheme 1987
 Use Zone RESIDENTIAL 3
 Annexure No

DEVELOPMENT CONTROL MEASURES

Permissible	Control	Actual
3 STOREYS (with council consent)	Height of Buildings	3 STOREYS
40%	Coverage	30%
0.4	Floor Area Ratio	0.36
40 DWELLINGS/HA (79.9)	Floor Area	10628.79 m ²
	Density/Dwelling Units per Ha	72 DWELLINGS (36.50 U/HA)
	No of Dwelling Units on Erf	72

PARKING

Parking Ratio per use	Area per Use	Parking Bays Required
2.00 parking bays COVERED	floor area	144 parking bays
0.3 parking bays OPEN	floor area	22 parking bays
Parking bays per 100m ²	floor area	parking bays
Parking bays per 100m ²	floor area	units parking bays
Parking bays per 100m ²	floor area	seats parking bays

TOTAL PARKING BAYS REQUIRED 166 parking bays
 TOTAL PARKING BAYS PROVIDED 169 parking bays
 Surplus / Deficit No of Parking Bays 3 parking bays

NAME (PLEASE PRINT) SIGNATURE
 DATE PLAN No

FIRE NOTES

- 6 X 65mm PILLAR HYDRANT TWIN BOOSTER NON-RETURN
- 80mm UPVC PIPE CLASS 12
- 50mm UPVC PIPE CLASS 12
- 40mm UPVC PIPE CLASS 12
- 32mm UPVC PIPE CLASS 12
- 25mm UPVC PIPE CLASS 12
- 30 M FHR 2X4.5kg DCP FE
- 1 x 4.5kg DCP FE
- FIRE WALLS BETWEEN UNITS 100mm FROM BRANDERINGS

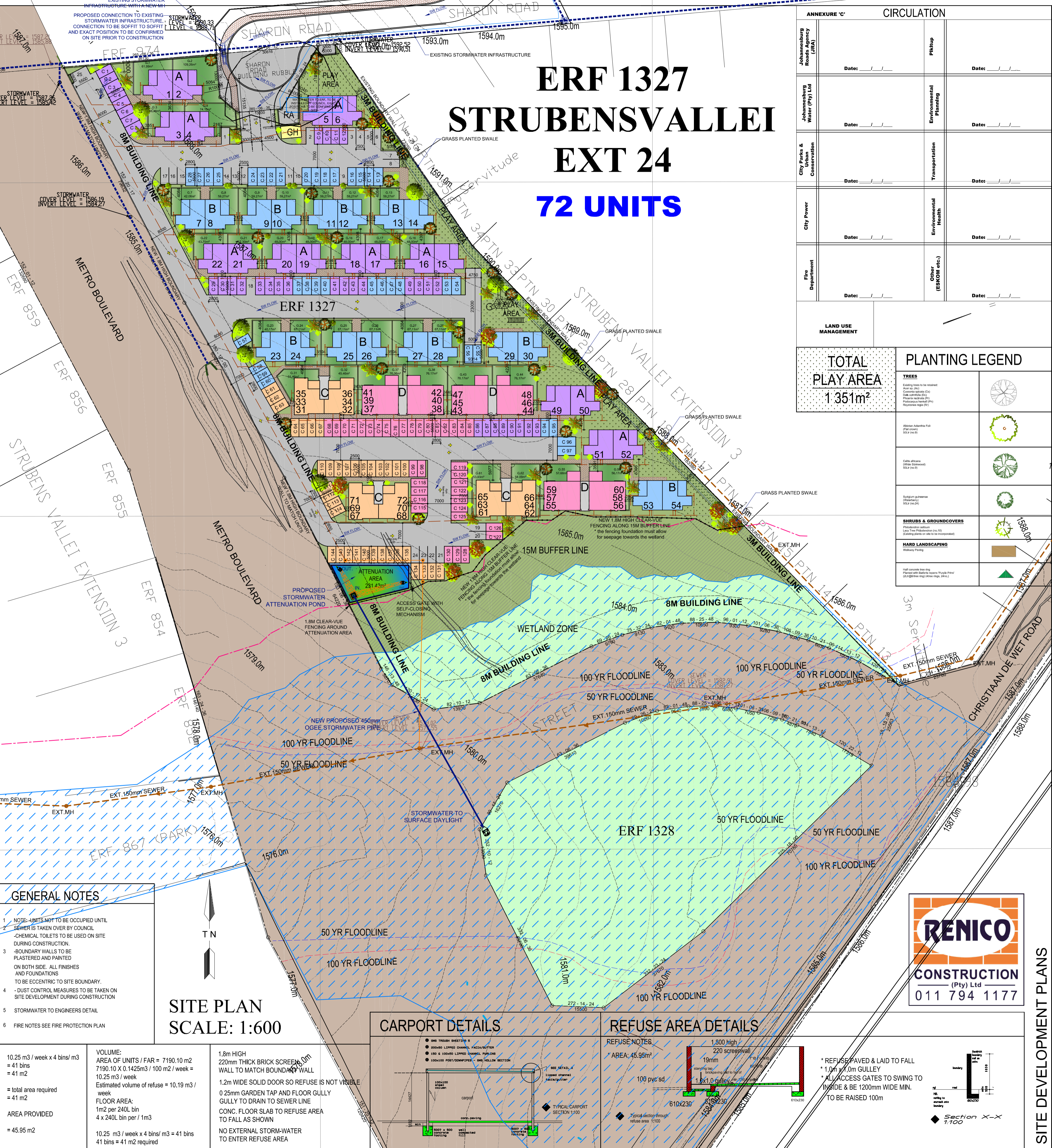
GENERAL NOTES

- NOTE: UNITS NOT TO BE OCCUPIED UNTIL SEWER IS TAKEN OVER BY COUNCIL.
- CHEMICAL TOILETS TO BE USED ON SITE DURING CONSTRUCTION.
- BOUNDARY WALLS TO BE PLASTERED AND PAINTED ON BOTH SIDE. ALL FINISHES AND FOUNDATIONS TO BE ECCENTRIC TO SITE BOUNDARY.
- DUST CONTROL MEASURES TO BE TAKEN ON SITE DEVELOPMENT DURING CONSTRUCTION.
- STORMWATER TO ENGINEERS DETAIL.
- FIRE NOTES SEE FIRE PROTECTION PLAN.

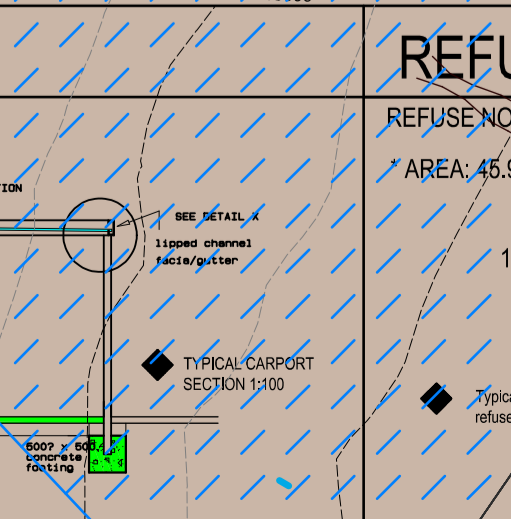
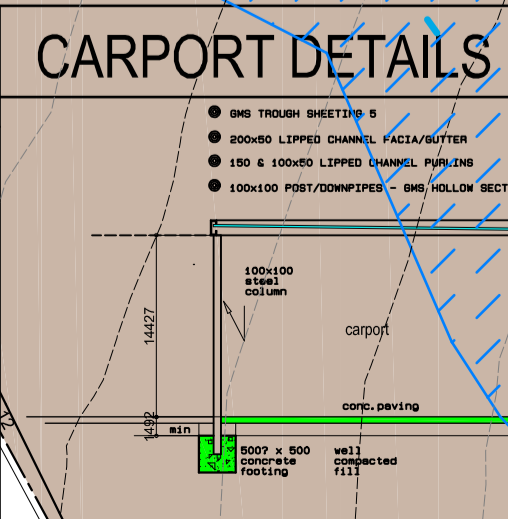
CALCULATING THE SIZE OF A REFUSE AREA
 (G) X FA / 100 = VOLUME (M3) / WEEK

10.25 m ³ / week x 4 bins/ m ³ = 41 bins = 41 m ²	VOLUME: AREA OF UNITS / FAR = 7190.10 m ² / 0.36 = 19972.50 m ² / week = 10.25 m ³ / week	1.8m HIGH 220mm THICK BRICK SCREEN WALL TO MATCH BOUNDARY WALL
= total area required = 41 m ²	Estimated volume of refuse = 10.19 m ³ / week	1.2m WIDE SOLID DOOR SO REFUSE IS NOT VISIBLE
AREA PROVIDED = 45.96 m ²	FLOOR AREA: 1m ² per 240L bin 4 x 240L bin per 1m ³	0.25mm GARDEN TAP AND FLOOR GULLY GULLY TO DRAIN TO SEWER LINE
	10.25 m ³ / week x 4 bins/ m ³ = 41 bins = 41 m ² required	CONC. FLOOR SLAB TO REFUSE AREA TO FALL AS SHOWN
		NO EXTERNAL STORMWATER TO ENTER REFUSE AREA

TYPE OF BUILDING
 FACTORY 0.472707
 WAREHOUSE 0.379058
 FLAT 0.1425
 OFFICES 0.2258
 SHOPS 0.32353



SITE PLAN SCALE: 1:600



ERF 1327 STRUBENSVALLEI EXT 24 72 UNITS

ANNEXURE 'C' CIRCULATION

Authority	Signature	Date
Scholarship Roads Agency (URA)		
Johannesburg Water (Pty) Ltd		
City of Johannesburg		
City Power		
Fire Department		

LAND USE MANAGEMENT

TOTAL PLAY AREA 1351m²

PLANTING LEGEND

TREES	SHRUBS & GROUNDCOVERS	HARD LANDSCAPING
Symbol 1	Symbol 1	Symbol 1
Symbol 2	Symbol 2	Symbol 2
Symbol 3	Symbol 3	Symbol 3

N M B SAIT N DIP ARCH
 PLSA/N.T. S.A.C.A.P. Reg. No. ST0690
 MANT (SA) SAIT Reg. No. 71416

PAULINE FISHER ARCHITECTURE

PHYSICAL ADDRESS: STUDIO 102 THE RIDGE WELLNESS CNT 1 ATELJEE STREET RANDPARKRIDGE
 POSTAL ADDRESS: P.O. BOX 2376 CRAMERVIEW 2060
 EMAIL: pauline@pfarch.co.za OFFICE: 011 7942570 MOBILE: 0829055512

GENERAL NOTES:

- ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE WORK COMMENCES.
- ANY DEVIATION FROM THIS DRAWING MUST BE APPROVED IN WRITING BY THE ARCHITECTURAL PROFESSIONAL BEFORE WORK IS PUT IN HAND.
- ANY DISCREPANCY TO BE REPORTED TO THE ARCHITECTURAL PROFESSIONAL BEFORE PROCEEDING WITH WORK.
- FIGURED DIMENSIONS ON THE DRAWING TO BE TAKEN IN PREFERENCE TO SCALING.

ROOF NOTES

PITCH: 2%
 ROOF FINISH: CEMENT ROOF TILES
 BATTENS: 38x38 @ 320 C/C
 DAMP/ST. MEMBRANE: TALCOM WHITE BY GUNDEL
 TRUSSES: GRADE 7 TIMBER @ MAX 680mm C/C
 RAFTER: 152X38 TIE-BEAMS: 152X38
 WALL PLATE: 114X38 BRANDERING
 CEILING: 50mm THICK RHINOBOARD

DRAINAGE NOTES

RES TO ALL CONNECTIONS
 RES TO CHANGE OF DIRECTION IN LINE OF DRAIN WITH MARKED COVERS AT GROUND LEVEL
 WHERE DRAINAGE OCCURS UNDER FOUNDATIONS AND CONCRETE FLOOR SLAB, DRAIN TO BE PROTECTED AGAINST THE LOAD
 MINIMUM INVERT LEVEL OF DRAIN 460mm
 10009 OVP AT HEAD OF DRAIN
 MINIMUM FALL OF DRAIN 1:60

FLOOR NOTES

SKIRTING: 70X19 HARDWOOD WITH 19mm QUADRANT
 FLOOR FINISH AS ON PLAN
 SCREEN: SAND CEMENT 25mm MINIMUM
 SURFACE DEP. 25mm CONCRETE FLOPSLAB ON 75mm MICRON DAMP PROOF MEMBRANE ON WELL COMPACTED FILL
 PERMITE POISON TO ALL SURFACE BEDS PRIOR TO CONCRETE POUR

WINDOWS:
 GLAZED SECTIONS TO BE IN ACCORDANCE WITH THE A SECTION OF THE NBRI & THE SABS-0137

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	23/11/2021	WETLAND DELINEATION ADDED
2	26/11/2021	PARKING MOVED & ATTENUATION REVISED
3	07/12/2021	BOUNDARY REVISED TO MATCH SURVEY
4	06/12/2021	LAYOUT REVISED
5	09/12/2021	PARKING REVISED
6	09/12/2021	WETLAND ZONE DESCRIPTION REVISED
7	03/02/2021	HIGHLIGHTED WETLAND AND ROADS
8	31/03/2021	SITE LAYOUT REVISED
9	23/04/2021	SITE LAYOUT REVISED
10	28/04/2021	SITE LAYOUT REVISED
11	05/05/2021	PLAY AREAS & GH, RA POSITIONS REVISED
12	11/05/2021	INTERNAL STORMWATER ADDED CLEAR-VUE FENCING ALONG 15M BUFFER TYPE C UNIT REDESIGNED
13	12/05/2021	MINI-SUB SERVITUDE ADDED
14	14/05/2021	STORMWATER LAYOUT REVISED

OWNERS SIGNATURE:
 ARCHITECTS SIGNATURE:

PAULINE FISHER ARCHITECTURE

PHYSICAL ADDRESS: STUDIO 102 THE RIDGE WELLNESS CNT 1 ATELJEE STREET RANDPARKRIDGE
 POSTAL ADDRESS: P.O. BOX 2376 CRAMERVIEW 2060
 EMAIL: pauline@pfarch.co.za OFFICE: 011 7942570 MOBILE: 0829055512

CLIENT

PROPOSED NEW DEVELOPMENT
 ON STAND 1327 STRUBENSVALLEI EXT 24
 FOR: RENICO CONSTRUCTION

DRAWING
 SITE DEVELOPMENT PLANS

DRAWN BY	DATE	SCALE
PF	14/05/2021	1:600
JOB No.	DRAWING No.	REV.
1327-SV	1327-SDP01	14

SITE DEVELOPMENT PLANS