

ERF 1372

STRUBENSVALLEI EXT 24

- DUPLEX UNITS -

3 Bed | 2.5 Bath | 2 Carport

AREA CALCULATIONS

TYPICAL UNIT

GROUND FLOOR AREA:

Ground Floor 55.00m²
Covered Terrace 12.29m²

SUB-TOTAL 67.29m²

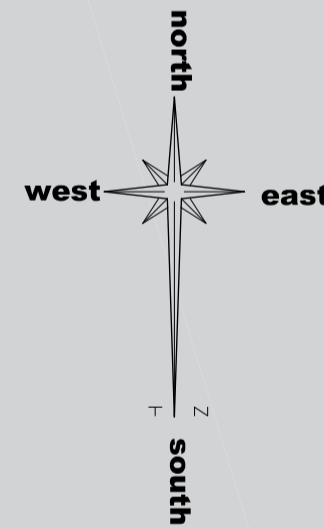
FIRST FLOOR AREA:

First Floor 58.53m²

TOTAL 125.82m²

EXTERNAL

Carport (15.40 x 2) 30.80m²
Guardhouse 22.47m²



A X 30 UNITS - 3bed/2bath

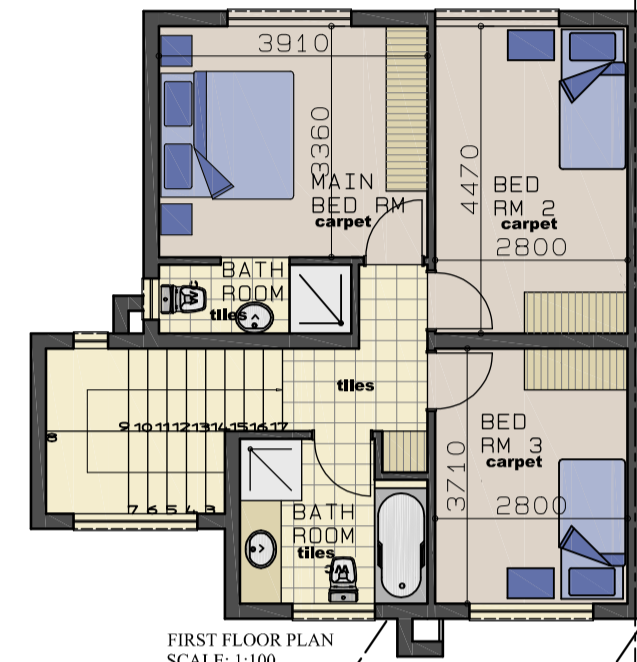
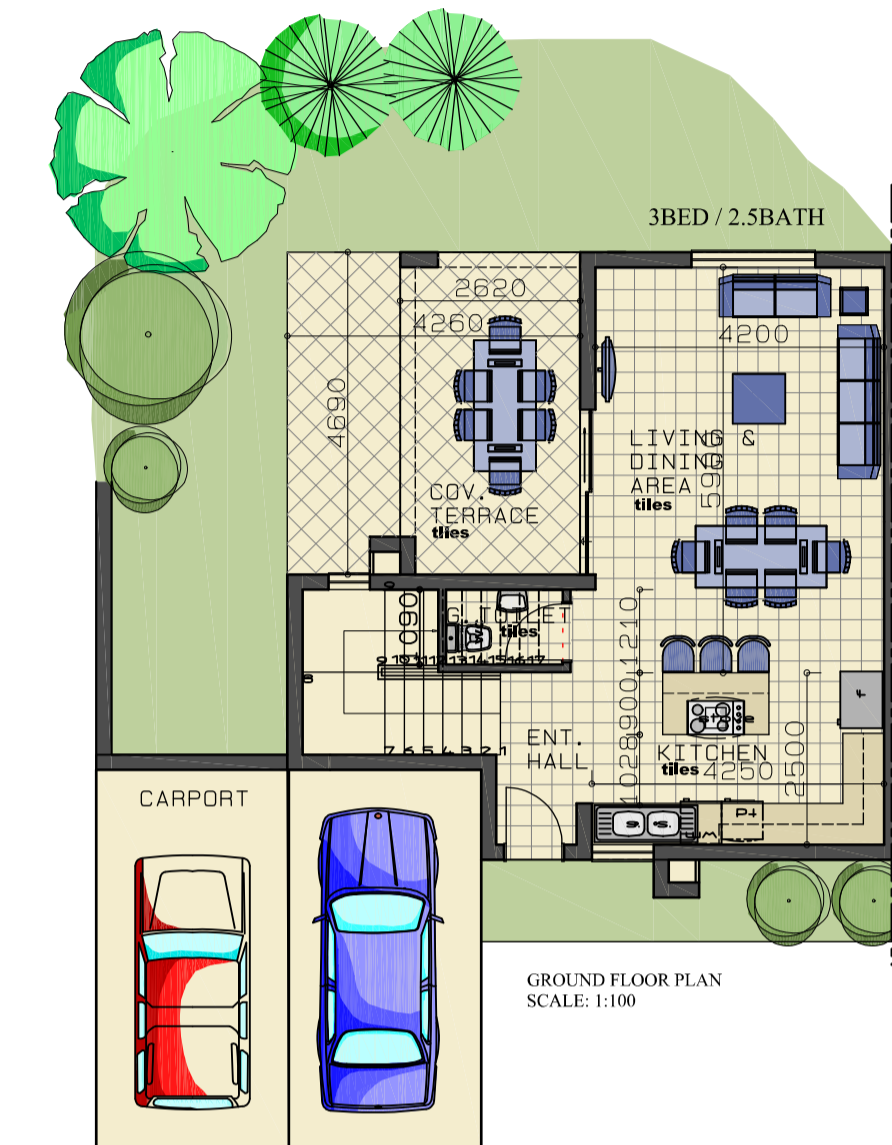
B X 24 UNITS - 3bed/2bath

C X 4 UNITS - 3bed/2bath

CONDITIONS OF ESTABLISHMENT

SITE AREA: 1.9724 Ha

	ALLOWED	ACTUAL
USE ZONE:	RESIDENTIAL 3	RESIDENTIAL 3
HEIGHT:	2 STOREYS	2 STOREYS
COVERAGE:	40% - 7889.60sqm	29% - 5711.69sqm
F.A.R.:	0.4 - 7889.60sqm	0.33 - 6584.74sqm
DENSITY:	40 UNITS/HA (78.89 units)	58 UNITS (29.4 U/HA)
PARKING:	2 COV BAY PER UNIT - 116 bays 1 UNCOV PER 3 UNITS - 19 bays	116 COV + 35 OPEN=151
BUILDING LINES:	5M STREET, 8M WEST & SOUTH 3M OTHER	5M STREET, 8M WEST & SOUTH 3M OTHER
NUMBER OF UNITS	78 UNITS	58 units



SITE PLAN SCALE: 1:550 (A1)

PAULINE FISHER
ARCHITECTURE

Drawings for marketing purposes only and subject to design development. Unit types are typical, and adjustments may need to be made pending orientation and location on Site Development Plan (SDP). Garage positions may change, and unit types may be mirrored. Paving to driveways may need to be adjusted pending garage orientation and location on SDP. Refer to SDP for final unit, garage and yard orientation and position. All plans, elevations, sections and specifications subject to final adjustments by architect. Areas shown on drawings are measured construction areas and may vary with 5%. Window and door sizes and positions may change or be added/omitted due to unit orientation and position on SDP and location of adjoining unit/s to comply with all Municipal Regulations and requirements. Window and door quantities, positions, sizes and glazing may need to be adjusted and all are subject to compliance with SANS 204 fenestration calculations. Louvres may need to be added pending SANS 204 calculations. Some glazing pending orientation may be required to be double glazing to comply with SANS 204. Any material changes to windows & doors shown on marketing material that may require double glazing or additional louvres to comply with SANS 204 will be for purchaser's account. Levels shown on drawings are indicative. All levels to be finalized on site and adjustments to plans and levels shown on marketing material may need to be made to comply with SANS 10400. Widths, height, location and foundations for retaining walls are indicative and subject to structural engineers design, level difference and finalization of levels on site. Final position, height, details and foundations for boundary walls, yard walls and position for yard gate/s pending unit location and orientation on SDP and may need to be adjusted in conjunction with adjoining erf's unit location, yard walls/gates and SDP. Timber decking, paving and landscaping indicative. Chimney and/or flue pipes shown on elevation only applicable when fireplace/internal combustion stove/braai option is selected and additional extra for purchasers account. All furniture, appliances, swimming pools, rainwater tanks and vehicles indicative and not included in purchase price. All 3D visuals and marketing material are artistic representations shown in a mature landscape indicative for the Development. Actual hard and soft landscaping proposal implemented for the development may vary.