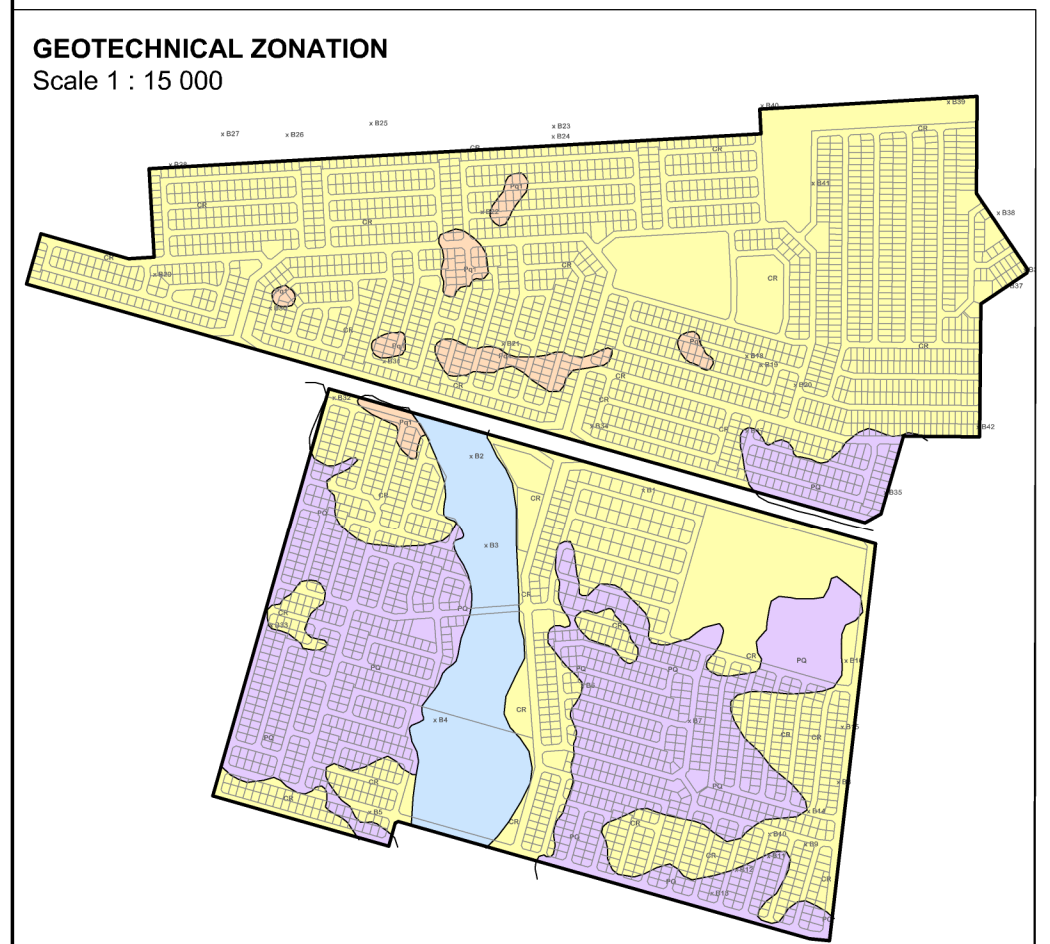


LEGEND

Proposed Zoning	Proposed Land Use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential 1	Dwelling house (Minimum 260m²)	3400	*	102.4104ha	%
	Dwelling house (Minimum 500m²)	100	*	5.3266ha	%
Business 1	Business purposes	1	*	0.5851ha	%
Business 2	Shops	3	*	0.4389ha	%
Institutional	Place of instruction (Primary School)	1	*	3.2655ha	%
	Place of instruction (Creche)	6	*	0.6508ha	%
	Religious purposes (Church)	6	*	1.0326ha	%
	Institution (Thusing Centre/Community Hall)	2	*	0.6234ha	%
Municipal	Cemetery	2	*	13.4705ha	%
Public Open Space	Public Open Space	6	*	13.1114ha	%
Recreational	Sportsfield	2	*	6.6233ha	%
Roads	Public streets	*	*	45.7747ha	%
TOTAL		3529 <small>(Excluding streets)</small>	*	193.3132ha	100%

STREETS

Reserve Width	Length in Metre	% of Street Length
12m	m	%
13m		
16m		
TOTAL	m	100%



GEOTECHNICAL REPORT
Compiled by : GEOSSET cc
Consulting Environmental and Engineering Geologists
David S. van der Merwe : Cel: (082) 925 4075
Date : 2020

Engineering Geological Zones

Normal Development with risk:
Site Class CR/1A3F:
This zone represents the majority of the area and comprises of a relative thin top layer sandy material less than 0,75m in thickness of slightly collapsible and compressible or low expansive soil underlain by a competent pebble marker and lava, with estimated total movement of less than 7,5mm measured at surface with the risk of shallow rock, core stones or lava rock outcrop adding a R site class designation to the zone with problems relating to restricted excavation to less than 1,5m. Development on shallow rock or lava rock core stones will have an inflated cost where special pneumatic tools and blasting will be required for the installation of services. Normal foundation techniques will be adequate to enable proper development, with proper compaction within standard strip foundations and drainage provision will be required. It is classified as CR in terms of the SAIEG & NHBCR guidelines (1995) or the SAICE Code of practice (1995), and 1A3F according to the classification for urban development (Partridge, Wood & Brink)(1993).

Suitable for development with precaution
Site Class PQ:
Areas where small quarries or filling or dumping of spoil (Pg1) were identified must be rehabilitated before any construction, and backfilling with an engineer's material may improve the developability of these zones, but these operations will increase the development cost in this zone.

Undevelopable:
Site Class PD:
Perennial drainage features with local steeper slopes within the upper channels and towards the river. The development is usually restricted to 32m from the centre of the river, and outside the 1:100 year floodline.

— Inferred Zone Boundary
CR Site Class Designation
x B01 Test Position and Number

Average Residential Erven Size : m²
Erf sizes and dimensions subject to final survey.

1 : 100 YEAR FLOODLINE
It is hereby certified in terms of the provisions of Section 144 of the National Water Act 1998 (Act No.36 of 1998) that the lines shown on this drawing indicate the maximum extent of inundation likely on an average every hundred years by the flood waters from the natural catchment (as determined using present topography).

PR ENGINEER
It is hereby certified that the town layout complies with the conditions and recommendations as stated in the Geological Report.

PR ENGINEER

STREETS:
Maximum slope 1 :
Minimum slope 1 :

DESIGN OF TOWN LAYOUT
Maxim Planning Solutions (Pty) Ltd
K. Raubenheimer Pr. Pln A/924/1996
Tel. (018) 468 6366

CONTOURS
The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.
Digital Orthophoto by:
Azur Aerial Work cc
184 Erasmus Street
Meyerspark
Pretoria
Tel: (012)8035679
Date of Photography : January 2020
System : WGS84 Central Meridian : Lo23

DETAIL LAYOUT MAP
PROPOSED TOWNSHIP
BARKLY WES

0m 35m 70m 105m 140m 210m 280m 350m
1cm = 35m

SCALE 1 : 3 500

THE PROPOSED TOWN IS SITUATED ON A PORTION OF THE REMAINING EXTENT OF ERF 687, BARKLY WES

DIKGATLONG LOCAL MUNICIPALITY NORTHERN CAPE PROVINCE

Drawing Compiled by : A. Rossouw
Drawings Nr. : 8/78/1
Date : 2020-08-19
Revision :

Tel (018) 468-6366
Fax (018) 468-6378
adelize@maxim.co.za

MAXIM
planning solutions
ACCREDITED TOWN AND REGIONAL PLANNERS

8-PROJECTS:
8-78-1-K-T Barkly West 3500 erven
(Dikgatlong LM)Maps/CAD

