

LEGEND

LAND USE	Number of Erven	Area in Ha	% of Area
Residential 2	1	2.0296ha	45.20%
Business 1	1	1.8171ha	40.47%
Special (Private open space)	1	0.6433ha	14.33%
TOTAL	3	4.4900ha	100%

NOTES:
 The figure A-E-F-G-H-J-K-L-M-N-O-P-Q-R-S-T-A represents the proposed township Boschdal Extension 9. No ingress to Helen Joseph Road along the line(s) lettered A-B and C-D, as indicated on the layout plan.

SERVITUDE NOTE:
 The figure e-Q-R-S-T-e represents a servitude of right of way in favour of the Remaining Extent of Ptn 10 of the farm Boschdal No. 309-JQ.

GEOTECHNICAL REPORT
 Compiled by : GEOSET cc
 Consulting Environmental and Engineering Geologists
 David S.van der Merwe : Cel: (082) 925 4075
 Date : December 2004

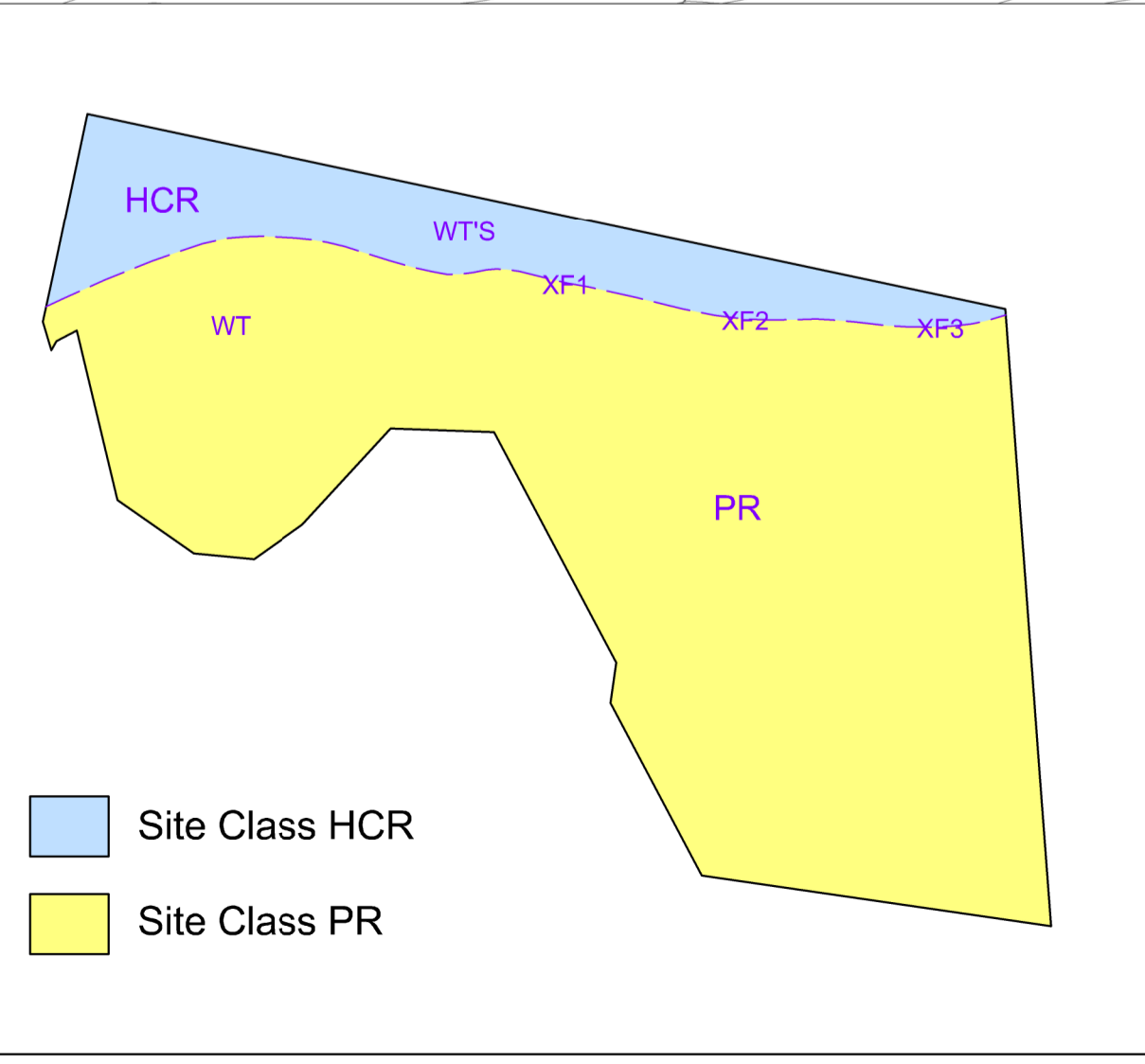
Engineering Geological Zones

Special Development:
 SITE CLASS PR : Quartzite rock outcrop or norite rock sub outcrop as well as a very steep cliff are associated with this zone and restrict the placing of services, and the use of pneumatic tools, a competent TLB or traxcavator or rock pecker and blasting will be necessary to reach the required depth for the placing of services to enable proper development with increased cost. It was classified as PR in terms of the NHBR. SITE CLASS H2C2 : Moderately collapsible and medium expansive soil with a thickness in excess of 1.2m will require special foundation techniques such as stiffened, cellular or soil rafts. Classification according to the NHBR IS H2C2.

Normal Development:
 SITE CLASS HCR : Slightly collapsible and slightly expansive soil underlain by a competent pebble marker layer characterize this zone, with normal foundation techniques to enable proper development. It was classified as HCR in terms of the NHBR, and normal compaction within standard strip foundations and drainage provision will be sufficient. The use of pneumatic tools and a competent TLB to reach required depths may increase the development cost to slightly above normal.

UNDEVELOPABLE

LEGEND :
 Position and Number of Test Pit
 Inferred Zone Boundary



1 : 100 YEAR FLOODLINE
 It is hereby certified in terms of the provisions of Section 144 of the National Water Act, 1998(Act No.36 of 1998) that the township is not affected by a public stream.

PR ENGINEER
 It is hereby certified that the town layout complies with the conditions and recommendations as stated in the Geological Report.

PR ENGINEER

DESIGN OF TOWN LAYOUT
 MAXIM PLANNING SOLUTIONS
 D.J.BOS TRP (SA)
 TEL: (014) 592-9489

CONTOURS
 The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.

CONTOUR SURVEY DONE BY:
 COR VD WALT
 AERIAL SURVEY - PRETORIA
 TEL: (012) 803-0345
 DATE OF MAPPING : DECEMBER 2004

**PROPOSED TOWN
 BOSCHDAL EXTENSION 9**

0m 60m 120m 180m 240m 360 480m 600
 1cm = 60m

SCALE 1 : 600

THE PROPOSED TOWN IS SITUATED ON PORTION 88 (A PORTION OF PORTION 10)
 OF THE FARM BOSCHDAL NO. 309-JQ

RUSTENBURG LOCAL MUNICIPALITY NORTH WEST PROVINCE

Drawing Compiled by : C. Cloete
 Drawings Nr. : 3/191
 Date : 2022-09-01
 Revision : 0

Caddie File : \\SERVER1\Maxim\3-PROJECTS\3-191 (Pieter Malan)\Maps\CAD

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