

LEGEND

Proposed Zoning	Proposed Land use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential zone IV	Residential house (low cost housing excluded) (Minimum 350m ²)	1120	20851-21037, 21040-21133, 21135-21468, 21470-21543, 21545-21892, 21894-21976	41.0604ha	66.7%
Business zone II	Shop	2	21038; 21134	0.2609ha	0.4%
Institutional zone I	Place of instruction (Primary School)	1	21544	3.0294ha	4.9%
	Place of instruction (Creche)	1	21469	0.3534ha	0.6%
Institutional zone II	Public place of worship (Church)	2	21039; 21893	0.3665ha	0.6%
Open space zone I	Public open space	9	21978-21986	2.4914ha	4.0%
Transport zone II	Public street	23	21987-22009	13.6521ha	22.3%
Authority zone I	Authority use (Sewer Pump Station)	1	21977	0.3183ha	0.5%
TOTAL		1159	20851-22009	61.5334ha	100%

STREETS

Reserve Width	Length in Metre	% of Street Length
12m	8144m	74.2%
13m	1872m	17.0%
16m	963m	8.8%
TOTAL	10979m	100%

NOTES:
 The figure A-B-C-D-E-F-G-H-J-K-L-M represents the proposed town Kathu Extension 10.
 No ingress to or egress from Govan Mbeki Avenue along the line(s) lettered d-e and f-g-l-k-j as indicated on the layout plan.

EXISTING SERVICES:

- GLM Water network
- GLM Sewer network
- GLM Electricity network

Average Residential Erven Size : 366.6m²
 Erf sizes and dimensions subject to final survey.

1 : 100 YEAR FLOODLINE

It is hereby certified in terms of the provisions of Section 144 of the National Water Act 1998 (Act No.36 of 1998) that the lines shown on this drawing indicate the maximum extent of inundation likely on an average every hundred years by the flood waters from the natural catchment (as determined using present topography).

PR ENGINEER
 It is hereby certified that the town layout complies with the conditions and recommendations as stated in the Geological Report.

PR ENGINEER

STREETS:
 Maximum slope 1 : 6
 Minimum slope 1 : 294

DESIGN OF TOWN LAYOUT
 Maxim Planning Solutions (Pty) Ltd
 K. Raubenheimer Pr. Pln A/924/1996
 Tel. (018) 468 6366

CONTOURS
 The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.

Digital Orthophoto by: *Azura*
 Tel: (012) 8030346
 Date of Photography : December 2017
 System : WGS84 Central Meridian : Lo23

GEOTECHNICAL REPORT
 Compiled by : GEOSSET cc
 Consulting Environmental and Engineering Geologists
 David S.van der Merwe : Cel: (082) 925 4075
 Date : November 2017

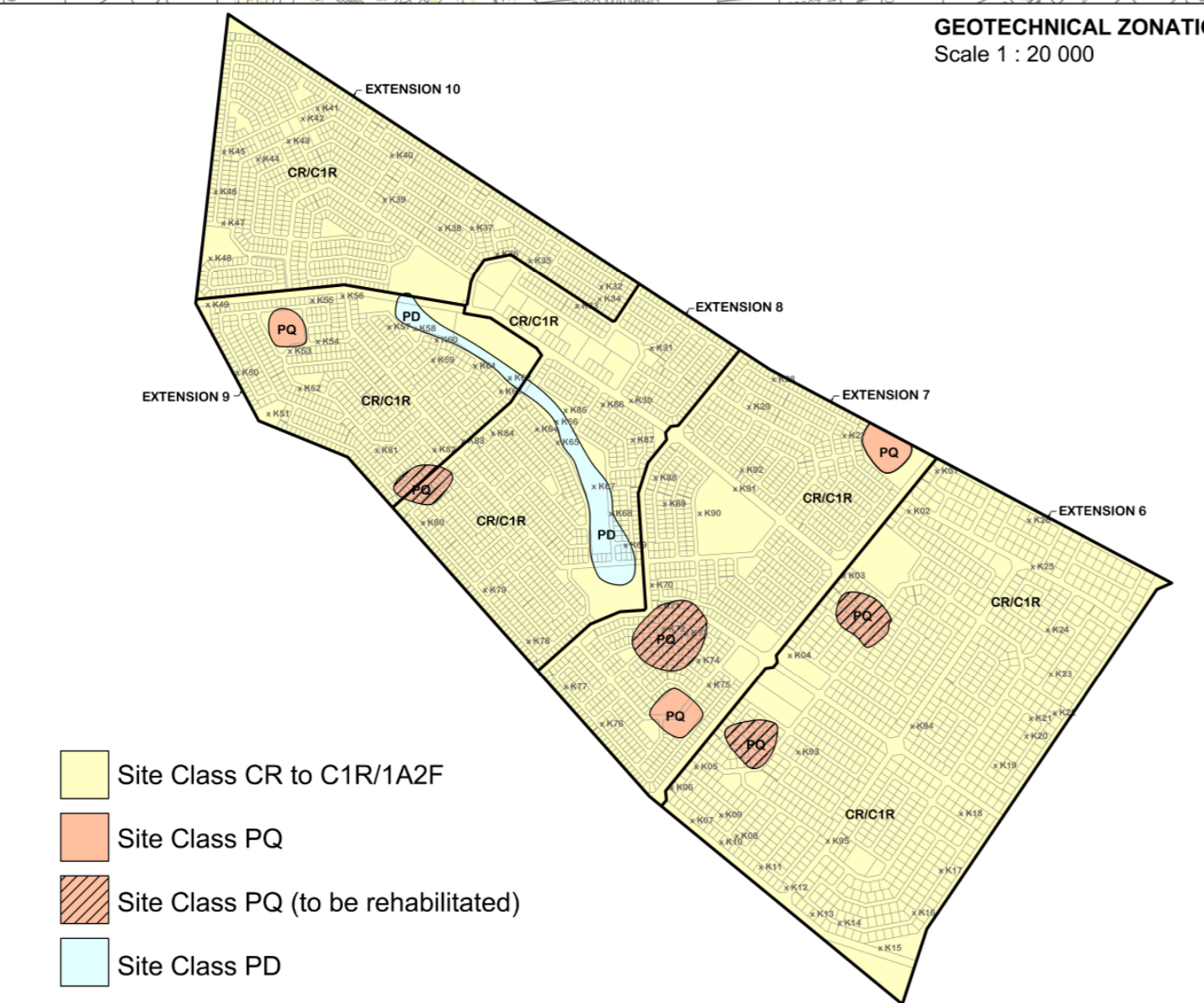
Engineering Geological Zonation

Special Development with Risk:
 Site Class CR to C1R/1A2F: This zone is characterized by very loose collapsible aeolian sand (C to C1) exhibiting an open texture, with thickness less than 0.75m, with less than 10mm movement measured at surface. The risk of hard pan calcrete, calcrete gravel and shallow rock and scattered rock calcrete boulders or rock outcrop (R) will restrict the placing of services. Pneumatic tools, a competent TLB or excavator or even blasting will be required during the placing of services. Foundations will require special foundation techniques with proper compaction and site specific drainage. It is classified as CR to C1R according to the NHBR guidelines (1995) & SAICE Code of practice (1995) and 1A2F according to the classification for urban development (Partridge, Wood & Brink).

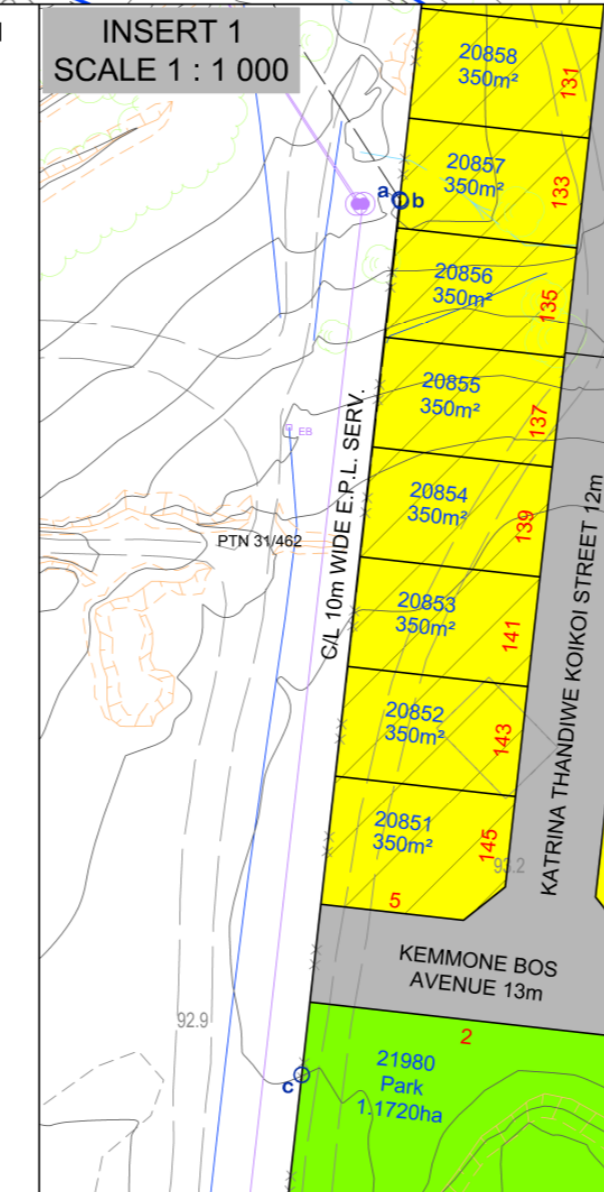
Development with expected problems or increased cost
 Site Class PQ: Quarried areas or borrow pits must be rehabilitated including backfilling with a controlled fill to engineer's specification before any development can take place.

Undevelopable:
 Site Class PD: Perennial drainage features where the 1:100 year flood line will determine or specify the allowable distance of development from rivers, usually 32m from the center of the river.

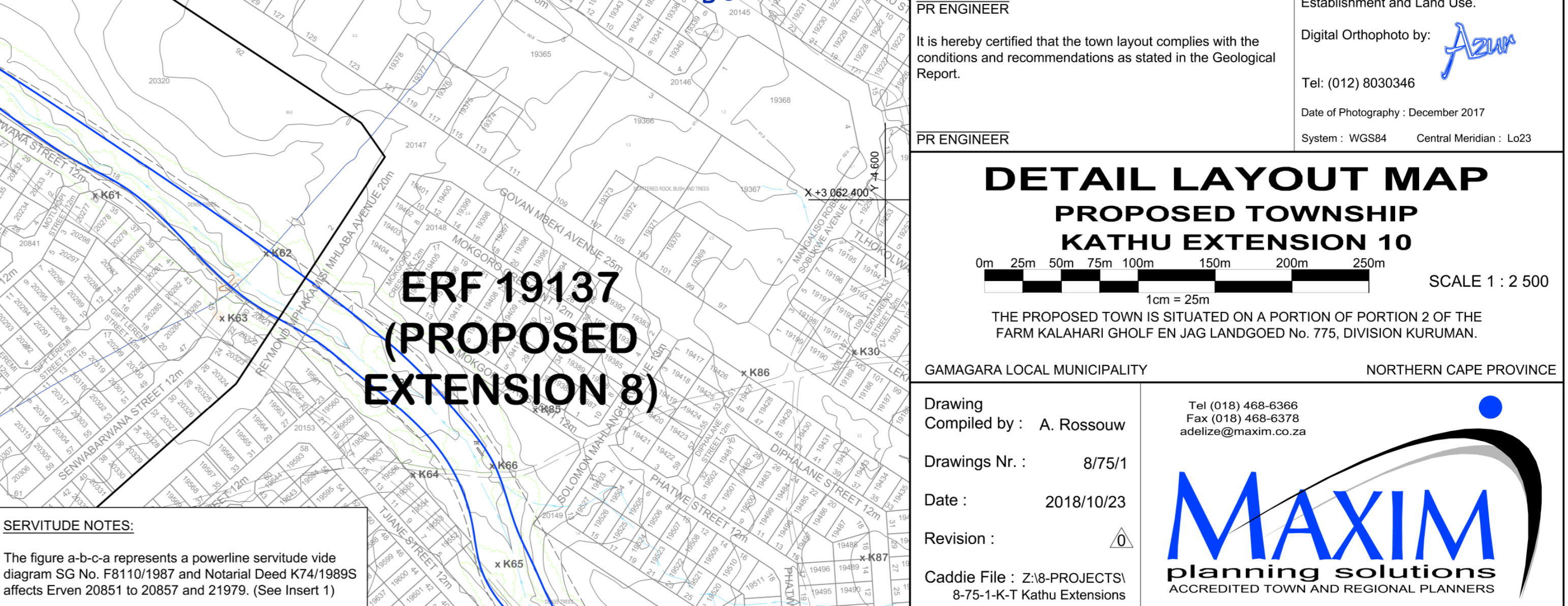
— Inferred Zone Boundary
PQ Site Class Designation
x K01 Test Position and Number



GEOTECHNICAL ZONATION
 Scale 1 : 20 000



INSERT 1
 SCALE 1 : 1 000



ERF 19137 (PROPOSED EXTENSION 8)

SCALE 1 : 2 500

0m 25m 50m 75m 100m 150m 200m 250m
 1cm = 25m

THE PROPOSED TOWN IS SITUATED ON A PORTION OF PORTION 2 OF THE FARM KALAHARI GOLF EN JAG LANDGOED No. 775, DIVISION KURUMAN.

GAMAGARA LOCAL MUNICIPALITY NORTHERN CAPE PROVINCE

Drawing Compiled by : A. Rossouw
 Drawings Nr. : 8/75/1
 Date : 2018/10/23
 Revision :

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MAXIM
 planning solutions
 ACCREDITED TOWN AND REGIONAL PLANNERS

SERVITUDE NOTES:
 The figure a-b-c-a represents a powerline servitude vide diagram SG No. F8110/1987 and Notarial Deed K74/1989S affects Erven 20851 to 20857 and 21979. (See Insert 1)