

NOTES:

The figure A-B-C-D-E-F-G-H-J-K-L-M-A represents the proposed town Kathu Extension 6.

No ingress to or egress from Anton Lembede Avenue along the line(s) lettered A-a; b-c-d; e-f-g; h-j; k-l; m-n; o-p-q; r-s-t and u-H-G as indicated on the layout plan.

No ingress to or egress from Roos Street along the line(s) lettered G-v-w and x-y-z-a' as indicated on the layout plan.

No ingress to or egress from Chris Hani Avenue along the line(s) lettered e-d'-c'; d'-e'; f'-g'-h'-j'; k'-l'-m'-n' and o'-p' as indicated on the layout plan.

No ingress to or egress from Makhenkesi Stoffie Avenue along the line(s) lettered f-q; f'-s'; f'-u'-v'; w'-x'-y'; z-a'; b'-c'-d'; e'-f'-g'; h'-j'-k'; l'-m'-n'; o'-x'; w'-p'-q'-r'; s'-t'-u'-v' and w'-x'-y' as indicated on the layout plan.

GEOTECHNICAL REPORT
 Compiled by : GEOSSET cc
 Consulting Environmental and Engineering Geologists
 David S. van der Merwe : Cel. (082) 925 4075
 Date : November 2017

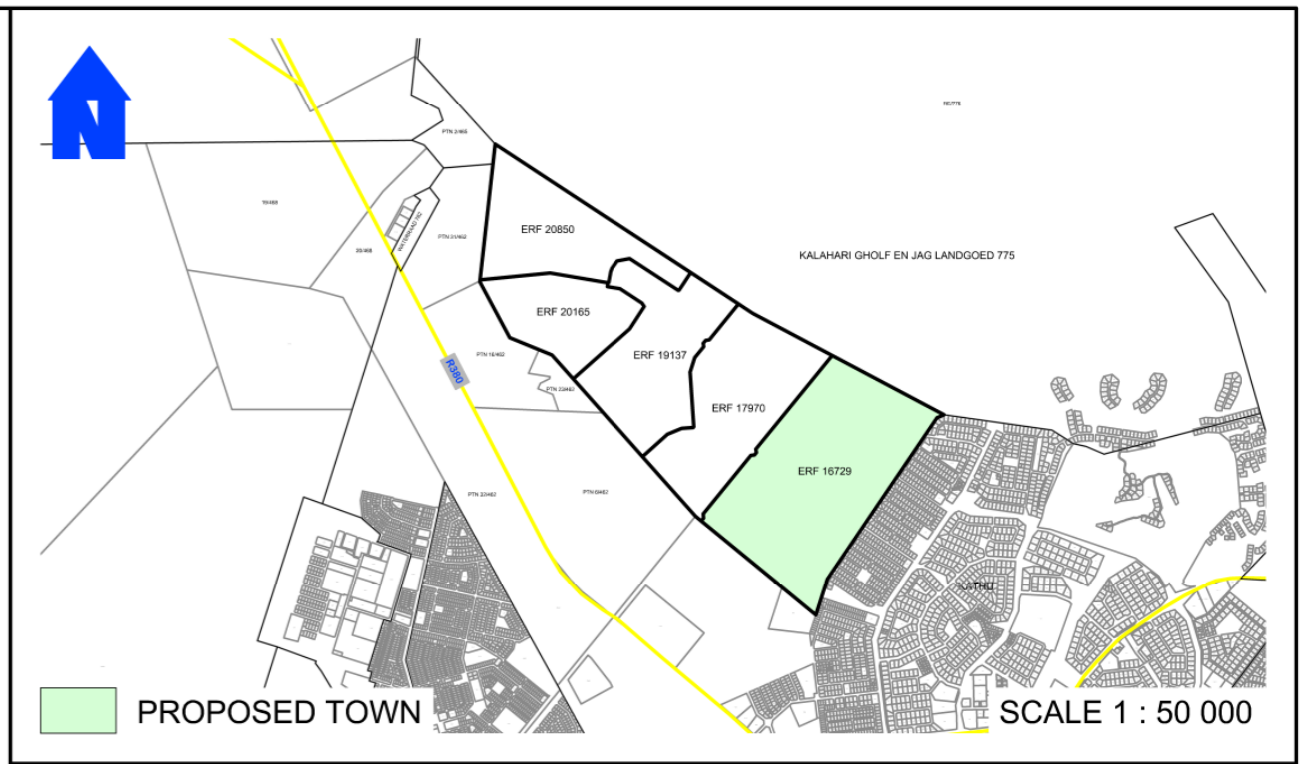
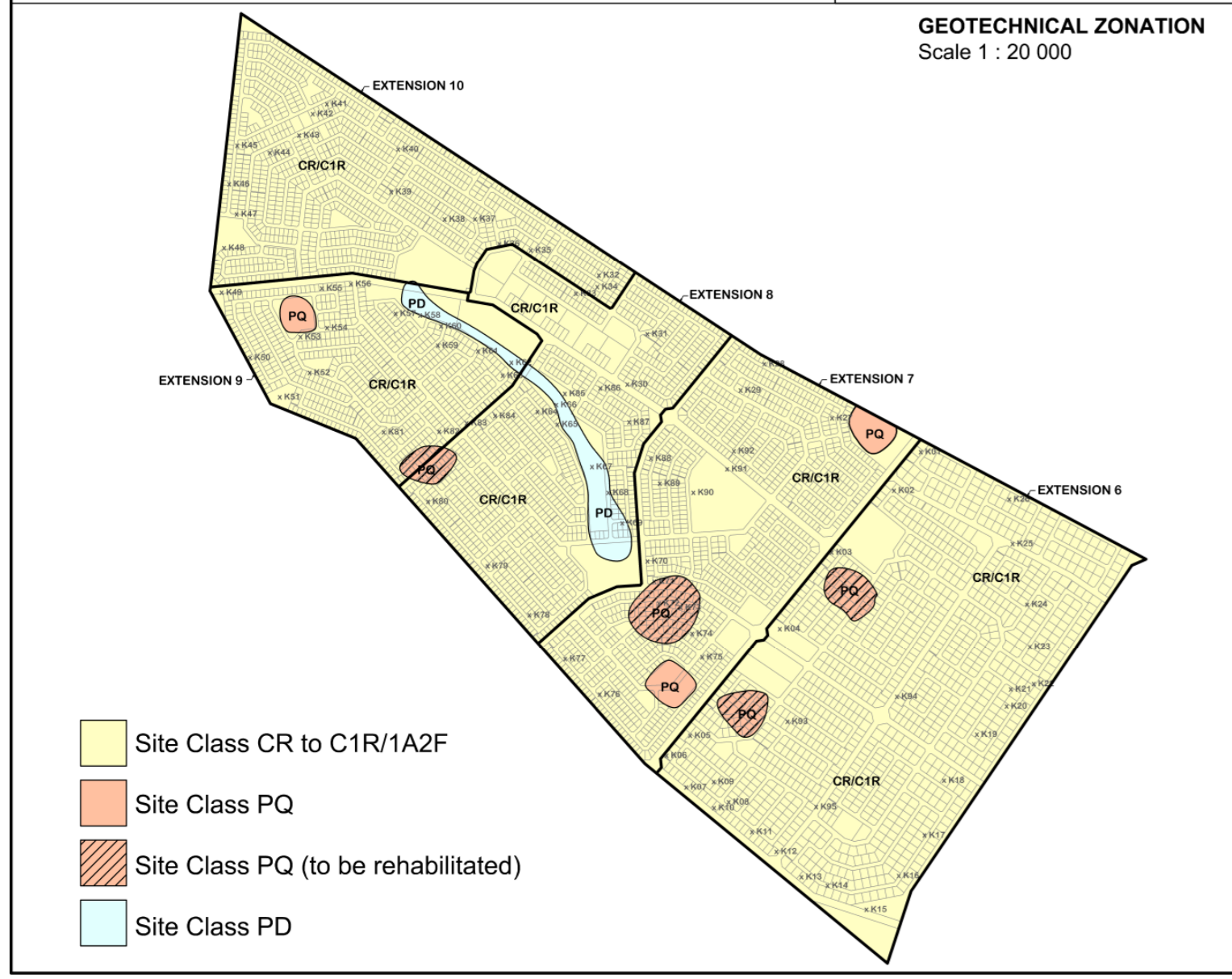
Engineering Geological Zonation

Special Development with Risk:
 Site Class CR to C1R/1A2F: This zone is characterized by very loose collapsible aeolian sand (C to C1) exhibiting an open texture, with thickness less than 0,75m, with less than 10mm movement measured at surface. The risk of hard pan calcrete, calcrete gravel and shallow rock and scattered rock calcrete boulders or rock outcrop (R) will restrict the placing of services. Pneumatic tools, a competent TLB or excavator or even blasting will be required during the placing of services. Foundations will require special foundation techniques with proper compaction and site specific drainage. It is classified as CR to C1R according to the NHBRC guidelines (1995) & SAICE Code of practice (1995) and 1A2F according to the classification for urban development (Partridge, Wood & Brink).

Development with expected problems or increased cost
 Site Class PQ: Quarried areas or borrow pits must be rehabilitated including backfilling with a controlled fill to engineer's specification before any development can take place.

Undevelopable:
 Site Class PD: Perennial drainage features where the 1:100 year flood line will determine or specify the allowable distance of development from rivers, usually 32m from the center of the river.

— Inferred Zone Boundary
 PQ Site Class Designation
 x K01 Test Position and Number



LEGEND

Proposed Zoning	Proposed Land use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential zone I	Residential house (Minimum 600m²)	787	16841-16851; 16855-16869; 16871-16888; 16900-16945; 16947-17026; 17127-17255; 17255-17317; 17319-17469; 17601-17706; 17718-17733; 17736-17782	50.8321ha	39.6%
Residential zone III	Residential house (Minimum 800m²)	391	16730-16840; 17470-17600; 17707-17718; 17783-17919	33.1971ha	25.8%
Business zone I	Flats, Residential building	3	16899; 17125; 17734	2.7920ha	2.2%
Business zone II	Business premises including, Institution, Authority use, Flats, Residential building	1	17125	1.1601ha	0.9%
Institutional zone I	Shop	1	16852	0.3896ha	0.3%
Institutional zone I	Place of instruction (Primary School)	1	16870	2.8171ha	2.2%
	Place of instruction (Creche)	2	16853; 17318	0.4665ha	0.4%
Institutional zone II	Public place of worship (Church)	4	16854; 16946; 17254; 17735	0.9099ha	0.7%
Open space zone I	Public open space	3	17921-17923	3.0788ha	2.4%
Transport zone II	Public street	46	17924-17969	31.0635ha	24.1%
Authority zone I	Authority use (Water Reservoir)	1	17920	1.8029ha	1.4%
TOTAL		1240	16841-17969	128.5096ha	100%

STREETS

Reserve Width	Length in Metre	% of Street Length
13m	14331m	68.4%
16m	2618m	12.5%
20m	3026m	14.4%
25m	985m	4.7%
TOTAL	20960m	100%

EXISTING SERVICES:

- GLM Water network
- GLM Sewer network
- GLM Electricity network

Average Residential Erven Size : 713.3m²
 Erf sizes and dimensions subject to final survey.

1 : 100 YEAR FLOODLINE

It is hereby certified in terms of the provisions of Section 144 of the National Water Act, 1998 (Act No.36 of 1998) that the township is not affected by a public stream.

STREETS:
 Maximum slope 1 : 6
 Minimum slope 1 : 294

DESIGN OF TOWN LAYOUT
 Maxim Planning Solutions (Pty) Ltd
 K. Raubenheimer Pr. Pln A/24/1996
 Tel. (018) 468 6366

CONTOURS
 The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.

Digital Orthophoto by: *Azura*

Tel: (012) 8030346
 Date of Photography : December 2017
 System : WGS84 Central Meridian : Lo23

DETAIL LAYOUT MAP
PROPOSED TOWNSHIP
KATHU EXTENSION 6

0m 35m 70m 105m 140m 210m 280m 350m
 1cm = 25m

SCALE 1 : 3 500

THE PROPOSED TOWN IS SITUATED ON A PORTION OF PORTION 1 AND A PORTION OF PORTION 2 OF THE FARM KALAHARI GHOLF EN JAG LANGDOEN No. 775, DIVISION KURUMAN.

GAMAGARA LOCAL MUNICIPALITY NORTHERN CAPE PROVINCE

Drawing Compiled by : A. Rossouw
 Drawings Nr. : 8/75/1
 Date : 2018/10/23
 Revision :

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