

**LEGEND**

Proposed Zoning	Proposed Land use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential 1	Residential house	1584	4235-4340; 4342-4437; 4439-4669; 4671-4672; 4674-4709; 4711-4807; 4809-4823; 4825-5245; 5247-5292; 5294-5305; 5307-5786; 5791-5828	51.5731ha	56.99%
Business 1	Shop	3	4924; 5246; 5293	0.4452ha	0.49%
Institutional	Creche	2	4673; 5306	0.3025ha	0.33%
	Church	2	4341; 4438	0.3073ha	0.34%
	Primary School	1	4670	3.0775ha	3.40%
Municipal	Community Facility	1	5790	0.1614ha	0.18%
	Cemetary	1	4710	11.0775ha	12.24%
Public Open Space	Park	6	5829-5834	3.3415ha	3.69%
Existing Public Roads	Street			20.2118ha	22.34%
<b>TOTAL</b>		<b>1600</b>	<b>4235-4807; 4809-5834</b>	<b>90.4978ha</b>	<b>100%</b>

**STREETS**

Reserve Width	Length in Metre	% of Street Length
10m	13522m	74.75%
13m	1336m	7.39%
16m	3231m	17.86%
<b>TOTAL</b>	<b>18088m</b>	<b>100%</b>

**NOTES:**  
 The figure A-B-C-D-E-F-G-H-J-K-L-M-N-O-P-Q-R-S-T-A represents the proposed town Tigane Extension 7.  
 No ingress to or egress along the line(s) lettered C-a-b-c-d; e-f-g-h-j-k and l-m-n-o-e as indicated on the layout plan.  
 16m Building Restriction along the line(s) lettered C-a-b; f-g-h-j and n-o-e as indicated on the layout plan.  
 9m Building Restriction on both sides of the line(s) lettered p-q and r-s as indicated on the layout plan.

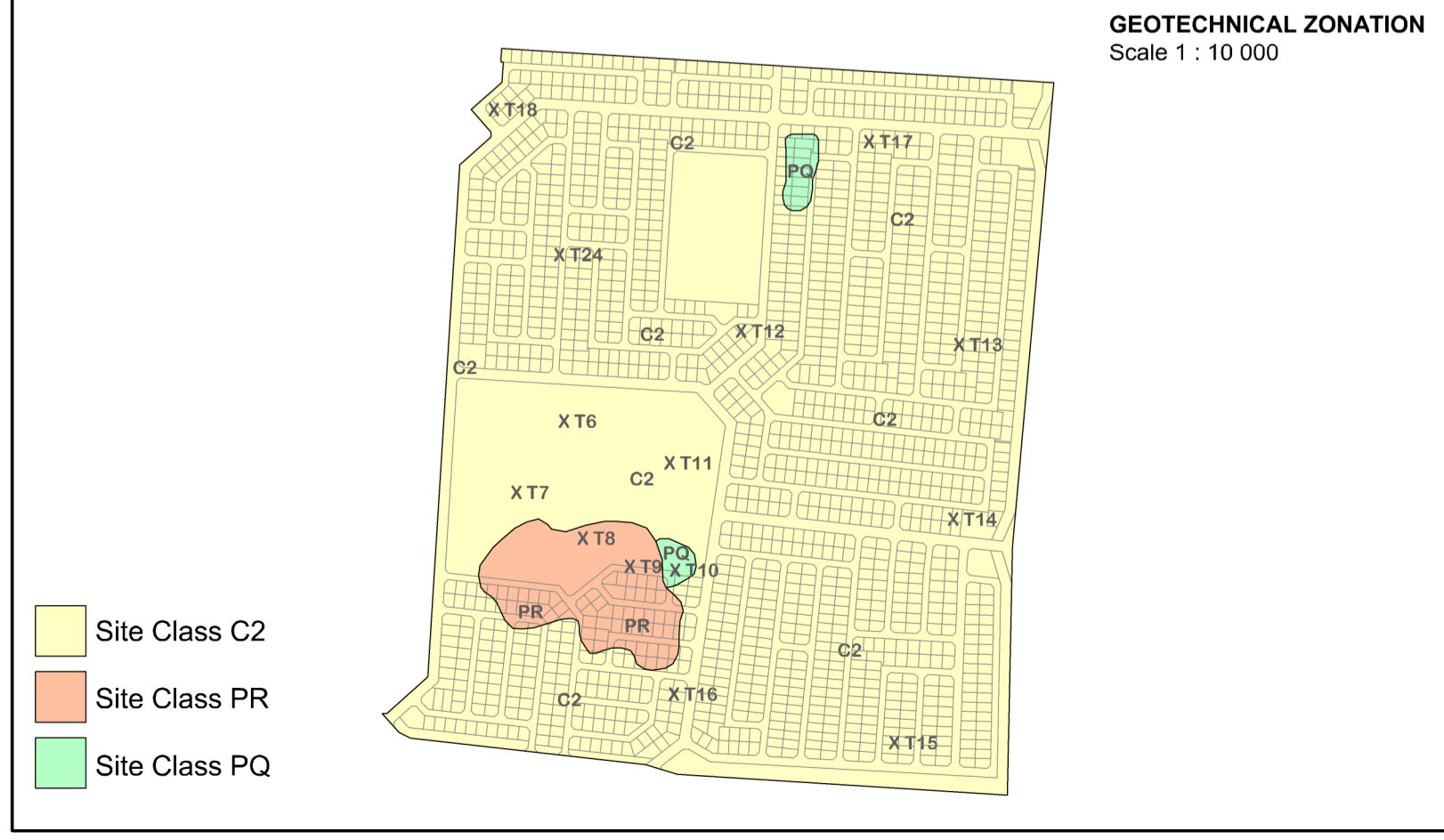
**GEOTECHNICAL REPORT**  
 Compiled by: GEOSSET cc  
 Consulting Environmental and Engineering Geologists  
 David S. van der Merwe : Cel: (082) 925 4075  
 Date : September 2019

**Engineering Geological Zonation**

**Modified Normal to Special Development:**  
 Site Class C2/2A:  
 Hillwash comprising orange to dark reddish brown silty clayey sand sometimes with fine gravel represents a medium to highly collapsible soil, with thickness in excess of 0,75m, and an expected range of up to 15mm of total soil movement measured at surface, form this zone on site. Foundations will therefore require modified normal foundation techniques such as lightly reinforced strip footings or reinforced boxed steel in slightly widened strip foundations, the use of split construction techniques or articulation joints at all internal and external doors and openings with light reinforcement (brickforce) in masonry, or soil replacement by an engineered fill soil raft with a COLTO classification of G5 or better, by removing all or part of the expansive horizon to 1,0m beyond the perimeter of the structure and replacing with inert backfill, compacted to 93%MOD ASSHTO density at or near optimum moisture content, where after normal strip footing foundations can be used. Site drainage, a concrete apron of 1,0m around all structures and plumbing and service precautions are advised. It is classified as C2 in terms of the NHBRG guidelines (1995) or the SAICE Code of practice (1995) and 2A after the classification for urban development (Partridge, Wood & Brink).

**Suitable for development with precaution**  
 Site Class PR:  
 Quartzite rock outcrop and sub-outcrop will restrict excavatability required during service installation as well as foundation excavations. Blasting or difficult excavation operations will dramatically increase the development cost in this zone.  
 Site Class PQ:  
 Areas where small quarries or filling or dumping of spoil were identified must be rehabilitated before any construction can be allowed, and backfilling with an engineer's material with a COLTO classification of G5 or better may improve the developability of these zones, but these operations will dramatically increase the development cost in this zone.

— — Inferred Zone Boundary  
 PQ Site Class Designation  
 x T01 Test Position and Number



Average Residential Erven Size : 325m<sup>2</sup>  
 Erf sizes and dimensions subject to final survey.

**1 : 100 YEAR FLOODLINE**  
 It is hereby certified in terms of the provisions of Section 144 of the National Water Act, 1998 (Act No.36 of 1998) that the township is not affected by a public stream.

*PR ENGINEER*  
 It is hereby certified that the town layout complies with the conditions and recommendations as stated in the Geological Report.

*PR ENGINEER*

**STREETS:**  
 Maximum slope 1 : 22  
 Minimum slope 1 : 83

**DESIGN OF TOWN LAYOUT**  
 Maxim Planning Solutions (Pty) Ltd  
 C. Raubenheimer Pr. Pln A/924/1996  
 TEL: (018) 468 6366

**CONTOURS**  
 The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.

Digital Orthophoto by:  
 UAV Industries  
 PO Box 125  
 CapeTown International Airport  
 7525  
 Date of Photography : 30 September 2019  
 System : WGS84 Central Meridian : Lo27

**PROPOSED TOWNSHIP TIGANE EXTENSION 7**

0m 25m 50m 75m 100m 150m 200m 250m  
 1cm = 25m SCALE 1 : 2 500

THE PROPOSED TOWN IS SITUATED ON A PORTION OF THE REMAINING EXTENT OF THE FARM URAAN NO. 295 - IP AND A PORTION OF THE REMAINING EXTENT OF THE FARM VOGELSTRAUISFONTEIN NO. 273 - IP.

CITY OF MATLOSANA NORTH WEST PROVINCE

Drawing Compiled by : A. Rossouw  
 Drawings Nr. : 8/5/15/K/T  
 Date : 2021/02/24  
 Revision :

Caddie File : Z:\B-PROJECTS\8-6-48-K-T Jouberton Extension 341 Maps\CAD

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