

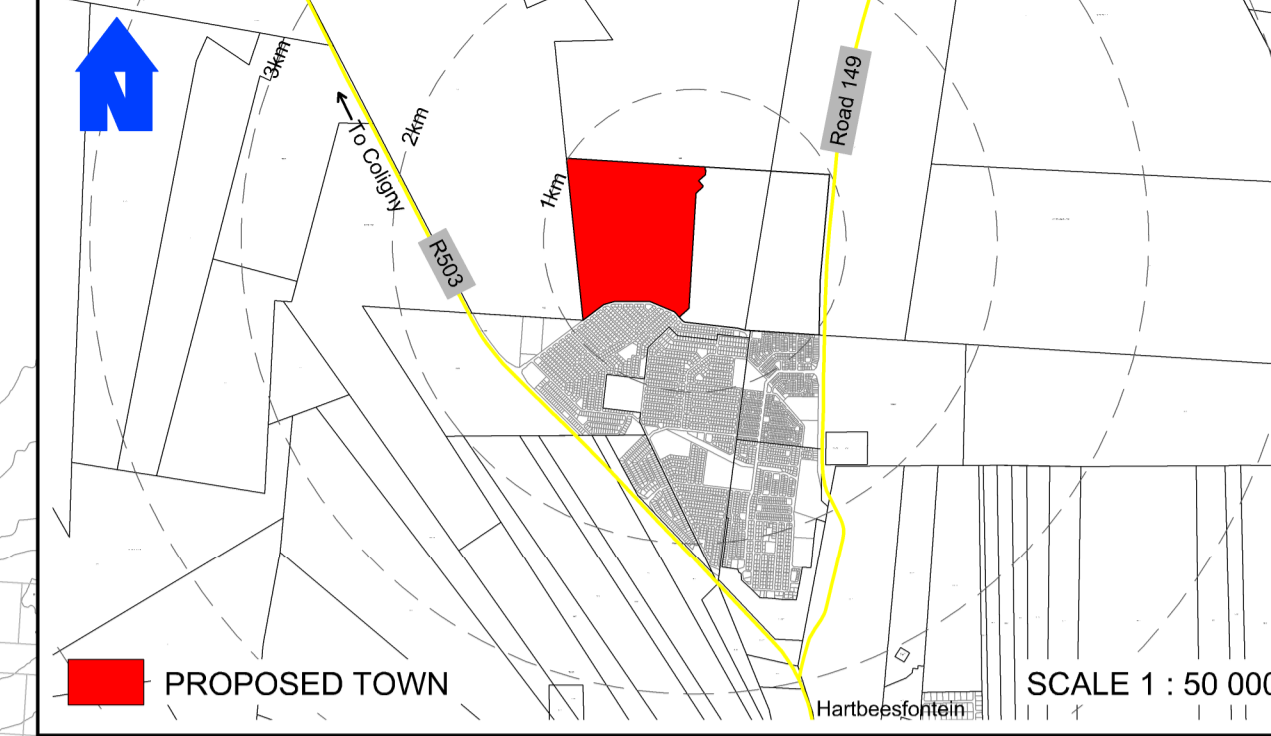


Y : 59000,00000
X : 2956900,00000

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X : 2956900,00000

Ptn 7 Syferlaagte
No 274 - IP

Morea 321-IP



PROPOSED TOWN SCALE 1 : 50 000

LEGEND

Proposed Zoning	Proposed Land use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential 1	Residential house	1393	5835-6007; 6009-6613; 6616-6667; 6670-6956; 6958-7233	43.5001ha	57.53%
Business 1	Shop	1	6615	0.3742ha	0.49%
Institutional	Church	1	6956	0.1157ha	0.15%
Institutional	Church	1	6008	0.1528ha	0.20%
Institutional (including shops)	Institutional & shops	1	6668	2.0600ha	2.72%
Municipal	Community Facility	1	6614	0.1570ha	0.20%
Municipal	Municipal	1	6669	1.6041ha	2.12%
Public Open Space	Park	3	7234-7236	13.0242ha	17.23%
Existing Public Roads	Street			14.6391ha	19.36%
TOTAL		1403	5835-7236	75.6272ha	100%

STREETS

Reserve Width	Length in Metre	% of Street Length
10m	11 131m	81.95%
13m	990m	7.28%
16m	1 463m	10.77%
TOTAL	13 584m	100%

NOTES:
The figure A-B-C-D-E-F-G-H-J-K-L-M-N-O-P-Q-R-A represents the proposed town Tigane Extension 8.

9m Building Restriction on both sides of the line(s) lettered a-b-c-d-e as indicated on the layout plan.

Powerline

GEOTECHNICAL REPORT
Compiled by : GEOSSET cc
Consulting Environmental and Engineering Geologists
David S.van der Merwe : Cel: (082) 925 4075
Date : September 2019

Engineering Geological Zonation
Modified Normal to Special Development:
Site Class C2/2A:
Hillwash comprising orange to dark reddish brown silty clayey sand sometimes with fine gravel represents a medium to highly collapsible soil, with thickness in excess of 0,75m, and an expected range of up to 15mm of total soil movement measured at surface, form this zone on site. Foundations will therefore require modified normal foundation techniques such as lightly reinforced strip footings or reinforced boxed steel in slightly widened strip foundations, the use of split construction techniques or articulation joints at all internal and external doors and openings with light reinforcement (brickforce) in masonry, or soil replacement by an engineered fill soil raft with a COLTO classification of G5 or better, by removing all or part of the expansive horizon to 1,0m beyond the perimeter of the structure and replacing with inert backfill, compacted to 93%MOD ASSHTO density at or near optimum moisture content, where after normal strip footing foundations can be used. Site drainage, a concrete apron of 1,0m around all structures and plumbing and service precautions are advised. It is classified as C2 in terms of the NHBRG guidelines (1995) or the SAICE Code of practice (1995) and 2A after the classification for urban development (Partridge, Wood & Brink).

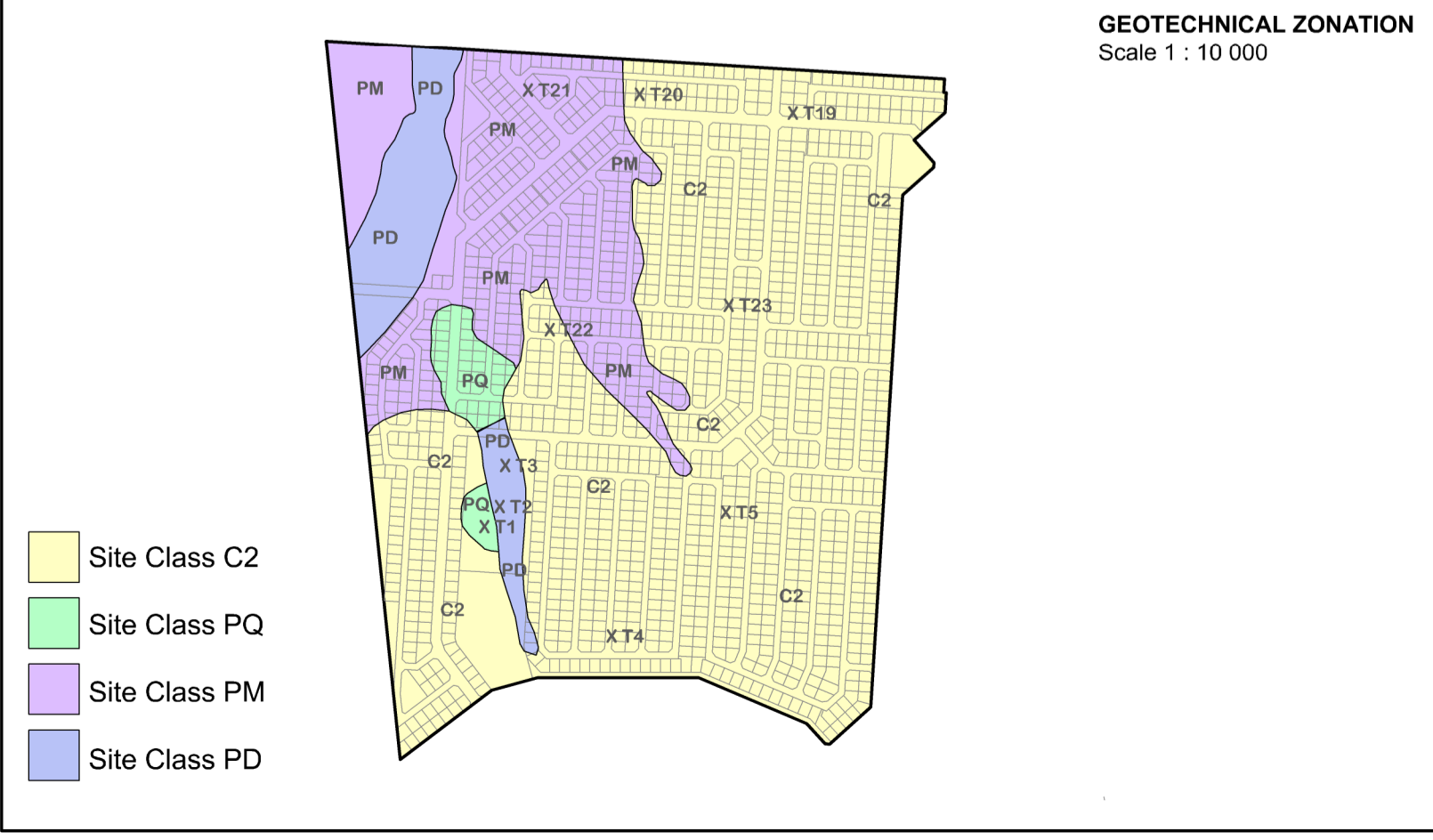
Suitable for development with precaution
Site Class PR:
Quartzite rock outcrop and sub-outcrop will restrict excavatability required during service installation as well as foundation excavations. Blasting or difficult excavation operations will dramatically increase the development cost in this zone.

Site Class PQ:
Areas where small quarries or filling or dumping of spoil were identified must be rehabilitated before any construction can be allowed, and backfilling with an engineer's material with a COLTO classification of G5 or better may improve the developability of these zones, but these operations will dramatically increase the development cost in this zone.

Site Class PM:
Areas adjacent to the drainage features are subject to perennial wetness where seasonal marshy conditions may be encountered with a perched water table (PM). The installation of a proper drainage system will be required to minimize the influence on development

Undevelopable:
Site Class PD:
Perennial drainage features where the 1:100 year flood line (PD) will determine or specify the allowable distance of development from rivers, usually at least 32m from the center of the river.

- - - Inferred Zone Boundary
- PQ** Site Class Designation
- x T01** Test Position and Number



GEOTECHNICAL ZONATION
Scale 1 : 10 000



Proposed Tigane Extension 7

Average Residential Erven Size : 313m²
Erf sizes and dimensions subject to final survey.

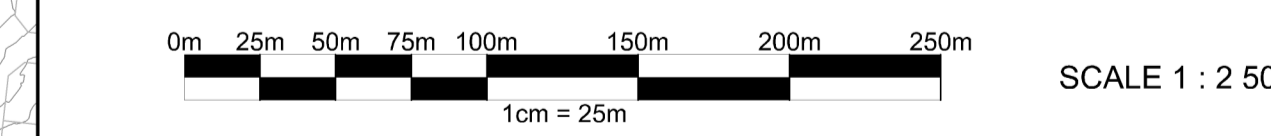
1 : 100 YEAR FLOODLINE

It is hereby certified in terms of the provisions of Section 144 of the National Water Act 1998 (Act No.36 of 1998) that the lines shown on this drawing indicate the maximum extent of inundation likely on an average every hundred years by the flood waters from the natural catchment (as determined using present topography).

Maxim Planning Solutions (Pty) Ltd
K. Raubenheimer Pr. Ptn A/924/1996
Tel. (018) 468 6366

It is hereby certified that the town layout complies with the conditions and recommendations as stated in the Geological Report.

PROPOSED TOWNSHIP TIGANE EXTENSION 8



SCALE 1 : 2 500

THE PROPOSED TOWN IS SITUATED ON A PORTION OF THE REMAINING EXTENT OF THE FARM URAAN NO. 295 - IP.

CITY OF MATLOSANA NORTH WEST PROVINCE

Drawing Compiled by : C.Cloete
Drawings Nr. : 8/5/16/K/T
Date : 2021-05-25
Revision : 0
Caddie File : \\SERVER1\Maxim\8-PROJECTS\8-5-16-K-T Tigane Extension 8\Maps\CAD

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ACCREDITED TOWN AND REGIONAL PLANNERS