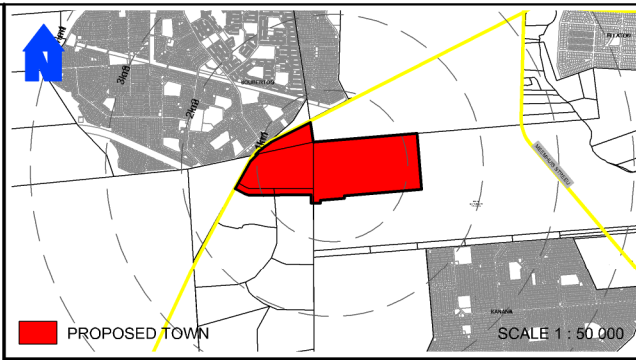
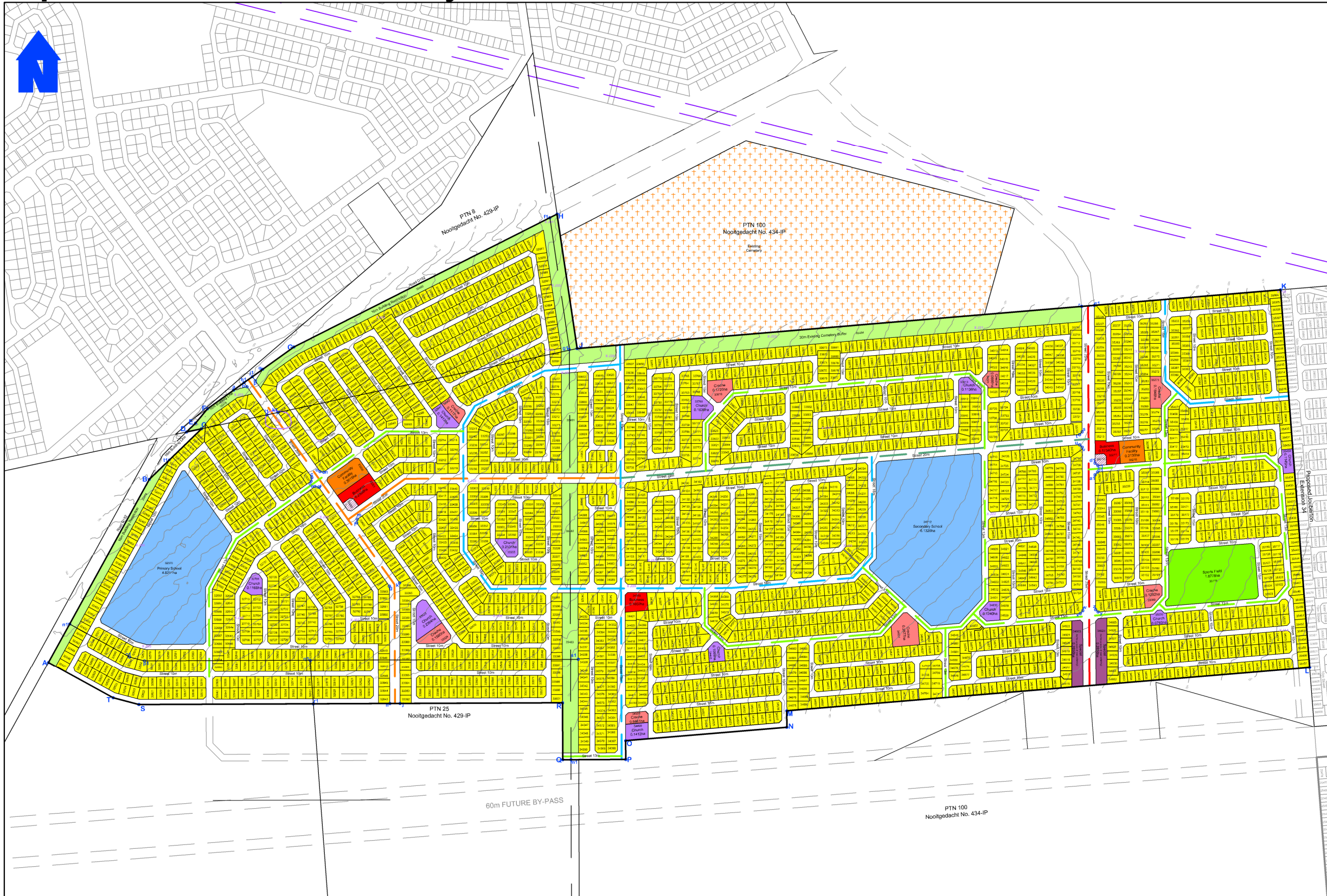


# Map 14: Jouberton Extension 31 Layout Plan



### LEGEND

Proposed Zoning	Proposed Land use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential 1	Residential house	3000	32447-32568, 32571-32700, 32703-32840, 32843-32858, 32861-32876, 32879-32916, 32919-32934, 32937-32952, 32955-32970, 32973-32988, 32991-32996, 32999-33014, 33017-33032, 33035-33050, 33053-33068, 33071-33086, 33089-33104, 33107-33122, 33125-33140, 33143-33158, 33161-33176, 33179-33194, 33197-33212, 33215-33230, 33233-33248, 33251-33266, 33269-33284, 33287-33302, 33305-33320, 33323-33338, 33341-33356, 33359-33374, 33377-33392, 33395-33410, 33413-33428, 33431-33446, 33449-33464, 33467-33482, 33485-33500, 33503-33518, 33521-33536, 33539-33554, 33557-33572, 33575-33590, 33593-33608, 33611-33626, 33629-33644, 33647-33662, 33665-33680, 33683-33698, 33701-33716, 33719-33734, 33737-33752, 33755-33770, 33773-33788, 33791-33806, 33809-33824, 33827-33842, 33845-33860, 33863-33878, 33881-33896, 33899-33914, 33917-33932, 33935-33950, 33953-33968, 33971-33986, 33989-34004, 34007-34022, 34025-34040, 34043-34058, 34061-34076, 34079-34094, 34097-34112, 34115-34130, 34133-34148, 34151-34166, 34169-34184, 34187-34202, 34205-34220, 34223-34238, 34241-34256, 34259-34274, 34277-34292, 34295-34310, 34313-34328, 34331-34346, 34349-34364, 34367-34382, 34385-34400, 34403-34418, 34421-34436, 34439-34454, 34457-34472, 34475-34490, 34493-34508, 34511-34526, 34529-34544, 34547-34562, 34565-34580, 34583-34598, 34601-34616, 34619-34634, 34637-34652, 34655-34670, 34673-34688, 34691-34706, 34709-34724, 34727-34742, 34745-34760, 34763-34778, 34781-34796, 34799-34814, 34817-34832, 34835-34850, 34853-34868, 34871-34886, 34889-34904, 34907-34922, 34925-34940, 34943-34958, 34961-34976, 34979-34994, 35000	106.0656ha	61.36%
Business 1	Shop	3	33201; 34385; 35211	0.5904ha	0.35%
Institutional	Secondary School	1	34712	6.1326ha	3.55%
	Primary School	1	32570	4.8211ha	2.79%
	Creche	8	32942-33024, 33818, 34500, 34631, 35000, 35273	2.0761ha	1.20%
	Church	11	32703, 32843, 33305, 33523, 33769, 33913, 34021, 34443, 34489, 34630, 35000, 35453	1.5910ha	0.92%
Municipal	Community Facility	2	33200; 35210	0.5145ha	0.30%
	Road Widening	2	34923-34924	0.5712ha	0.33%
Special	Parking	2	33202; 35212	0.0920ha	0.05%
	Public Open Space	Park	7	35478-35484	7.9764ha
Recreational	Sportsfield	1	35115	1.8778ha	1.09%
Existing Public Roads	Street			40.5411ha	23.45%
<b>TOTAL</b>		<b>3038</b>	<b>32447-35484</b>	<b>172.8498ha</b>	<b>100%</b>

### STREETS

Reserve Width	Length in Metre	% of Street Length
6m	121m	0.34%
10m	25015	70.22%
13m	4692m	13.17%
16m	2857m	8.02%
20m	2200m	6.17%
25m	742m	2.08%
<b>TOTAL</b>	<b>35 627m</b>	<b>100%</b>

### Street Notes:

Maximum slope 1 : 80  
Minimum slope 1 : 30



**NOTES:**

- The figure A-B-C-D-E-F-G-H-J-K-L-M-N-O-P-Q-R-S-T-A represents the proposed township Jouberton Extension 31
- 16m Building Restriction along the line(s) lettered A-B-1; D-E-F-a-b and p-q-G-H as indicated on the layout plan.
- No ingress or egress along the line(s) lettered A-B-1; D-E-F-a-b-d; e-f-g-h; j-k-l-m; n-o-p-q-G-H; r-s; u-v-w-x; y-z-a-1-1 and c-1-d-1-e-1 as indicated on the layout plan.

**SERVITUDE NOTES:**

- The line f-1-g-1 represents the centre line of an electric powerline servitude, 15.5m wide measured from the centre line, vide diagram SG No. A7262/1969 and Notarial Deed of Servitude K1129/1969.
- The figure h-1-j-1-k-1-l-1 represents a servitude of right of way vide diagram SG No. 294/2010 - To be Cancelled
- The line g-1-m-1 represents the centre line of an electric powerline servitude, 15.5m wide measured from the centre line, vide diagram SG No. A7263/1989 and Notarial Deed of Servitude K1152/1989.
- The line n-1-o-1-p-1-q-1 represents the northern boundary of a servitude of right of way, 15.0m wide, vide diagram SG No. 295/2010 - To be Cancelled
- The line q-1-r-1 represents the eastern boundary of a servitude of right of way, 15.0m wide, vide diagram SG No. 9136/2008 - To be Cancelled
- The line s-1-t-1 represents the northern boundary of a servitude of right of way, 15.0m wide, vide diagram SG No. 286/2010 - To be Cancelled

**ERF NOTES:**

- Average Residential Erf Size : 350m<sup>2</sup>
- Erf Sizes and

**1 : 100 YEAR FLOODLINE**

It is hereby certified in terms of the provisions of Section 144 of the National Water Act, 1998 (Act No.36 of 1998) that the township is not affected by a public stream.

**DESIGN OF TOWN LAYOUT**

Maxim Planning Solutions (Pty) Ltd  
C. Grobbelaar TRP A/101/1985  
Tel. (018) 468 6366

**CONTOURS**

The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.

Digital Orthophoto by:  
**Calogero Surveyors**  
CELL: +2782 857 9920  
EMAIL: anthony@calogerosurveyors.co.za  
SURVEYED: November 2020  
https://calogerosurveyors.co.za

System : WGS84 Central Meridian : L27

**PR ENGINEER**

It is hereby certified that the town layout complies with the conditions and recommendations as stated in the Geological Report.

**PR ENGINEER**

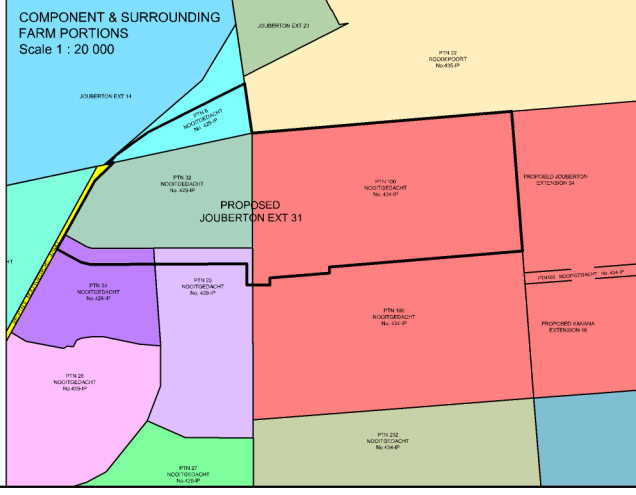
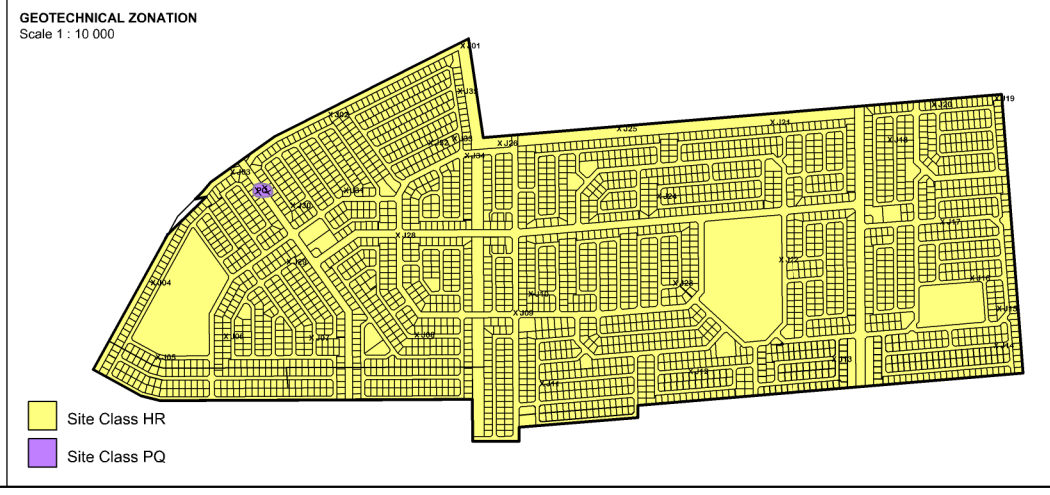
**GEOTECHNICAL REPORT**  
Compiled by : GEOSSET cc  
Consulting Environmental and Engineering Geologists  
David S. van der Merwe : Cel. (082) 925 4075  
Date : November 2020

**Engineering Geological Zonation**

**Normal Development with Risk:**  
**Site Class HR/2C2F:**  
Slightly to medium expansive soil with estimated total heave of less than 7.5mm measured at surface, with the risk that it is underlain by a competent pebble marker comprising nodular ferricrete or hard pan ferricrete or shallow rock lava or lava core stones with normal foundation techniques to enable proper development. The use of pneumatic tools and a competent TLB or even blasting to reach required depths for the placement of services may increase the development cost to slightly above normal. It was classified as HR in terms of the NHBRC guidelines (1995) or the SAICE Code of practice (1995) and 2C2F according to the classification for urban development (Partridge, Wood & Brink), and normal compaction within standard strip foundations and drainage provision will be sufficient.

**Suitable for development with precaution**  
**Site Class PQ:**  
Areas where small quarries or filling or dumping of spoil were identified must be rehabilitated before any construction can be allowed, and backfilling with an engineer's material may improve the developability of these zones, but these operations will dramatically increase the development cost in this zone.

— Inferred Zone Boundary  
PQ Site Class Designation  
x J01 Test Position and Number



**PROPOSED TOWNSHIP JOUBERTON EXTENSION 31**

0m 40m 80m 120m 160m 200m 240m 280m  
1cm = 40m SCALE 1 : 4 000

THE PROPOSED TOWN IS SITUATED ON A PORTION OF PORTION 24 (A PTN OF PTN 9), A PORTION OF PORTION 25 (A PTN OF PTN 9), A PORTION 32 (A PTN OF PTN 9), A PORTION OF PORTION 8 (A PTN OF PTN 2) OF THE FARM NOOIITGEDACHT NO. 429-IP AND A PORTION OF PORTION 100 (A PTN OF PTN 2) OF THE FARM NOOIITGEDACHT NO 434-IP

CITY OF MATLOSANA NORTH WEST PROVINCE

Drawing Compiled by : C. Cloete  
Drawings Nr. : 8/6/49/K/T  
Date : 2021-07-07  
Revision :

Tel (018) 468-6366  
Fax (018) 468-6378  
koot@maxim.co.za

**MAXIM**  
planning solutions  
ACCREDITED TOWN AND REGIONAL PLANNERS

Caddie File : 8-PROJECTS  
8-6-49-K-T Jouberton Extension 31  
MansCAD