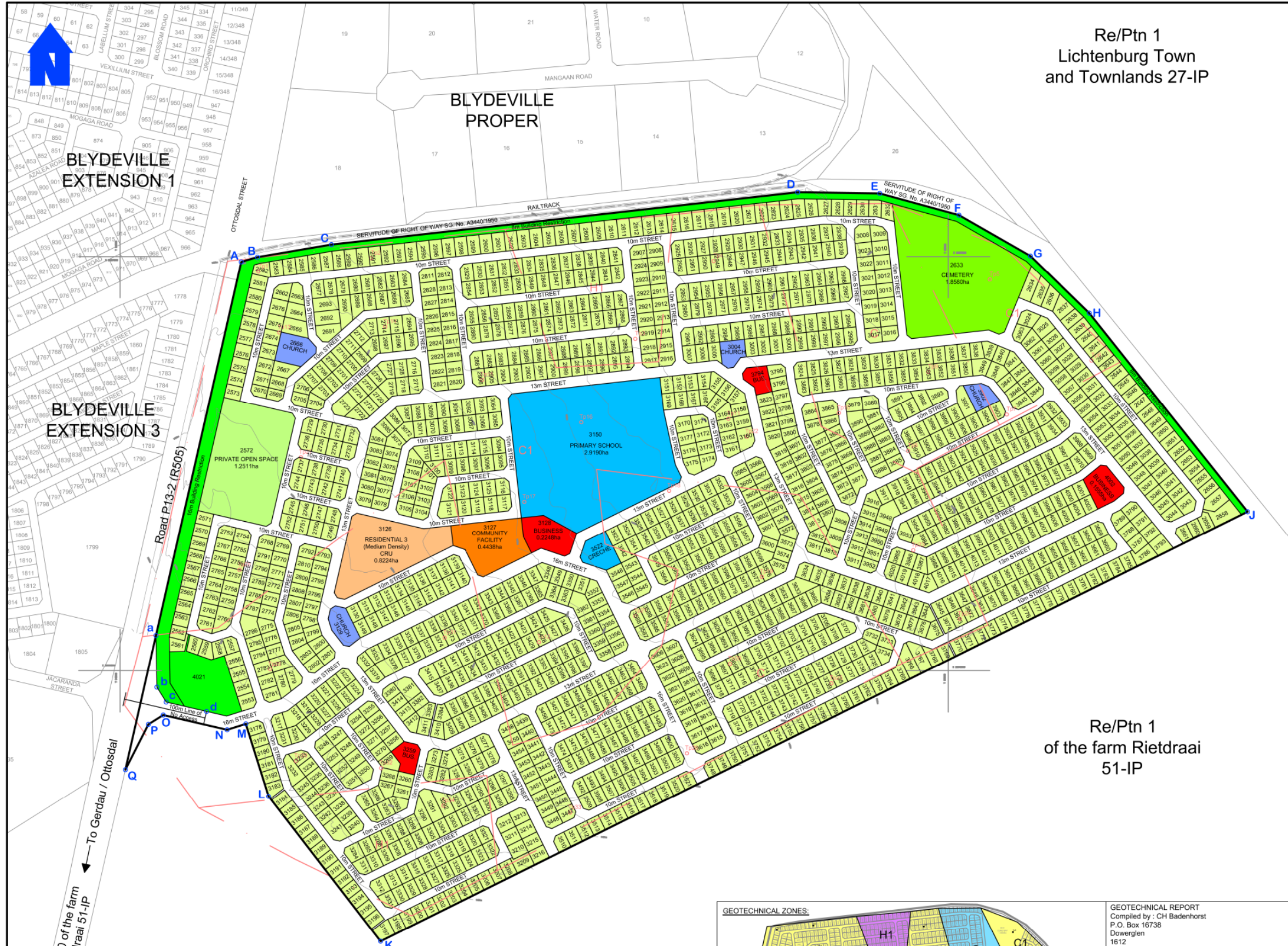
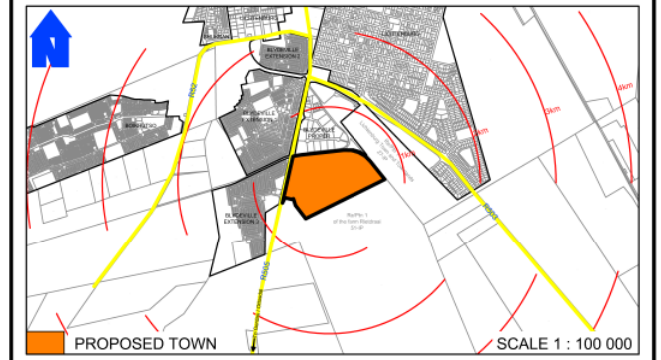


Re/Ptn 1
Lichtenburg Town
and Townlands 27-IP



LEGEND

Land Use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential 4	1454		46.8073ha	62.15%
Residential 3	1	3126	0.8224ha	1.09%
Business 1	4	3128; 3259; 3794; 4002	0.5569ha	0.74%
Institutional (Church)	4	2666; 3004; 3129; 3902	0.4278ha	0.57%
Educational (Creche)	1	3522	0.1433ha	0.19%
Educational (Primary School)	1	3150	2.9191ha	3.88%
Municipal (Community Facility)	1	3127	0.4438ha	0.59%
Cemetery	1	2633	1.8580ha	2.47%
Private Open Space	1	2572	1.2511ha	1.66%
Public Open Space	1	4021	2.4644ha	3.27%
Street			17.6236ha	23.39%
TOTAL	1469	3553-4021	75.3177ha	100%

STREETS

Reserve Width	Length in Metre	% of Street Length
16metre	898m	5.54%
13metre	3014m	18.60%
10metre	12292m	75.86%
TOTAL	16204m	100%

NOTES:
 The figure A-B-C-D-E-F-G-H-J-K-L-M-N-O-P-Q-A represents the proposed township Blydeville Extension 4.
 16m Building Restriction along the line(s) A-a-b-c as indicated on the layout plan.
 8m Building Restriction along the line(s) A-B-C-D-E-F-G-H-J as indicated on the layout plan.
 No ingress to or egress from the township to Provincial Road P13-2 (R505) along the line(s) lettered A-a-b-c-d as indicated on the layout plan.

Average Residential Erven Size : 321.9m²
 Erf sizes and dimensions subject to final survey.

STREETS:
 Maximum slope 1 : 104
 Minimum slope 1 : 200

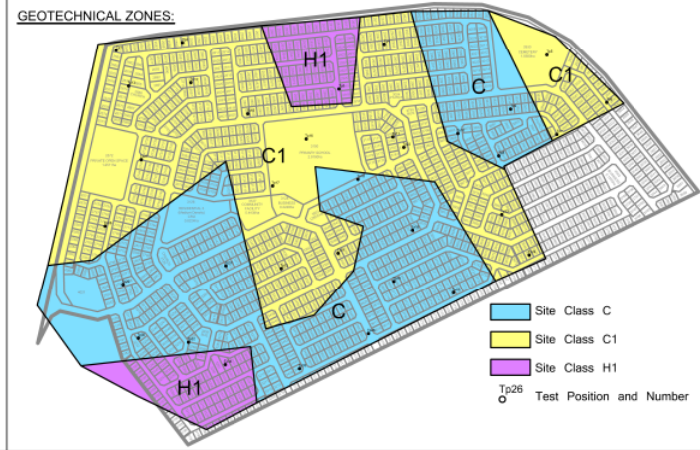
1 : 100 YEAR FLOODLINE
 It is hereby certified in terms of the provisions of Section 144 of the National Water Act, 1998 (Act No.36 of 1998) that the township is not affected by a public stream.

DESIGN OF TOWN LAYOUT
 Maxim Planning Solutions (Pty) Ltd
 K. Raubenheimer Pr. Pin A/924/1996
 Tel. (018) 468 6366

PR ENGINEER
 It is hereby certified that the town layout complies with the conditions and recommendations as stated in the Geological Report.

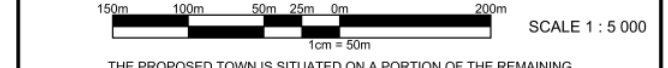
CONTOURS
 The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.
 Digital Orthophoto by:
 Tel:
 Date of Photography :
 System : WG27

Re/Ptn 1
of the farm Rietdraai
51-IP



GEOTECHNICAL REPORT
 Compiled by : CH Badenhorst
 P.O. Box 16738
 Dowerglen
 1612
 Tel: (011) 453 6282
 Fax: (011) 453 6282
 Cell: 082 441 7309
 Date : October 2016
 Engineering Geological Zonation
Site Class C: Strip foot foundations are recommended with rebar as prescribed by the Structural Engineer
Site Class C1: Strip foot foundations are recommended with rebar as prescribed by the Structural Engineer
Site Class H1: Soil raft or raft foundations are recommended due to the expansive clayey materials that are present in the area of test pits 3,34 and wherever clayey materials are encountered on site. The designs will be decided upon by the appointed Structural Engineer.
 Test Position and Number
 Inferred zone boundary

**PROPOSED TOWN
BLYDEVILLE EXTENSION 4**



THE PROPOSED TOWN IS SITUATED ON A PORTION OF THE REMAINING EXTENT OF PORTION 1 OF THE FARM RIETDRAAI NO. 51 - IP.

DITSOBOTLA LOCAL MUNICIPALITY NORTH WEST PROVINCE

Drawing
Compiled by : A. Rossouw
Drawings Nr. : 8/10/4
Date : 2017/11/10
Revision :
Caddie File : Z:\C\l\ LICH\Blydeville

Tel (018) 468-6366
 Fax (018) 468-6378
 koot@maxim.co.za

ACCREDITED TOWN AND REGIONAL PLANNERS