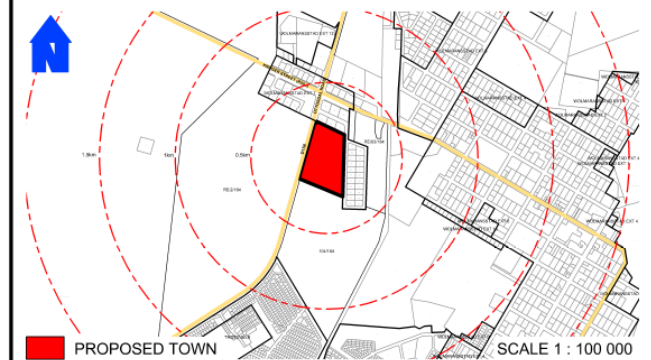
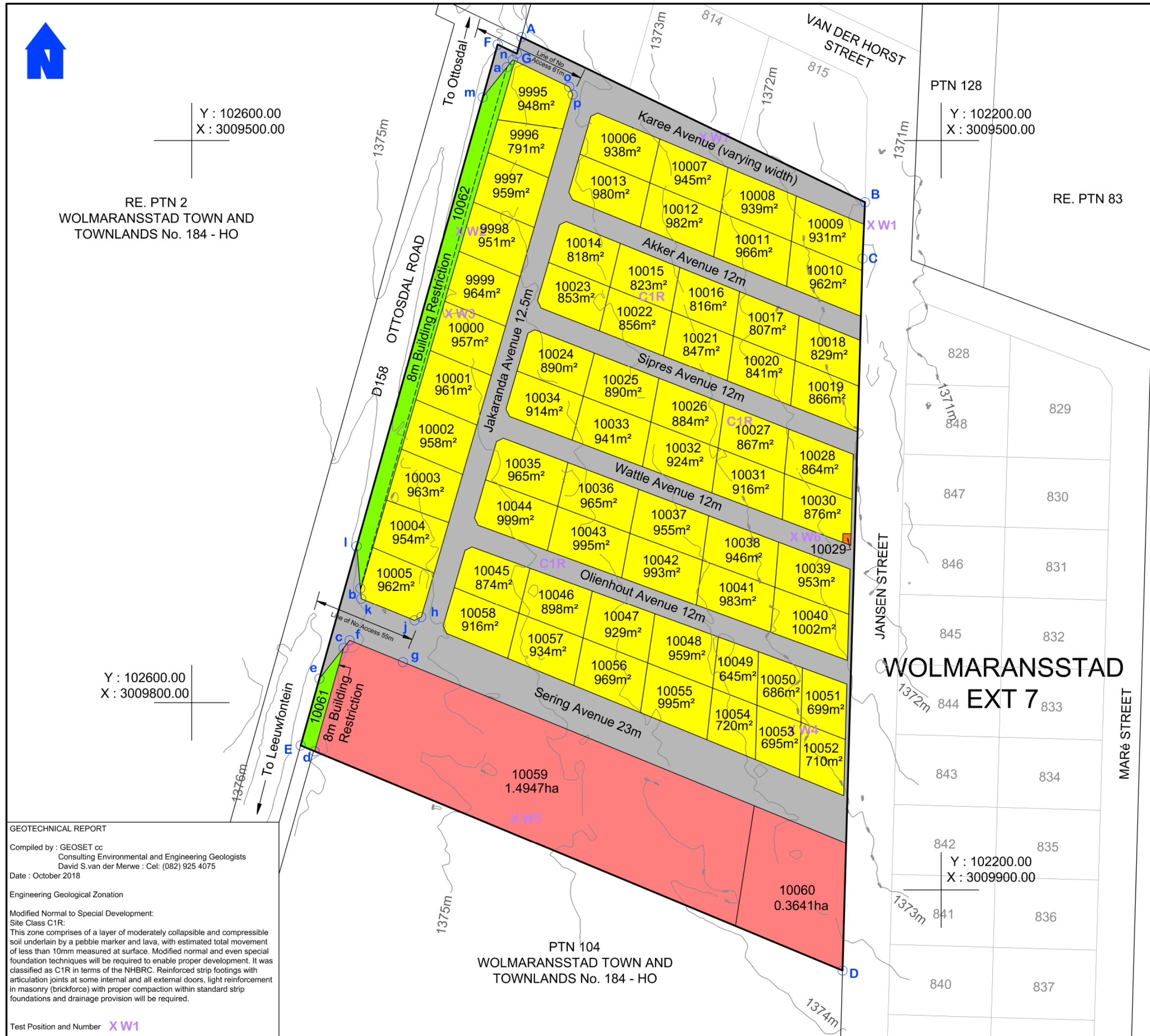




Y : 102600.00
X : 3009500.00

RE. PTN 2
WOLMARANSSTAD TOWN AND
TOWNLANDS No. 184 - HO

Y : 102600.00
X : 3009800.00



LEGEND

Land Use	Number of Erven	Erf Number	Area in Ha	% of Area
Residential 1	63	9995-10028, 10030-10058	5.6742ha	55.7%
Special (Commercial Use, Government Purposes, Municipal Purposes, Service Enterprise and Vehicle Workshop)	1	10059	1.4947ha	14.6%
Special (Commercial Use, Government Purposes, Municipal Purposes, Service Enterprise, Social Hall and Vehicle Workshop)	1	10060	0.3641ha	3.6%
Municipal	1	10029	0.0023ha	0.1%
Public Open Space	2	10061-10062	0.3022ha	2.9%
Street			2.3499ha	23.1%
TOTAL	68	9995-10062	10.1874ha	100%

STREETS

Reserve Width	Length in Metre	% of Street Length
23 metre	294m	18.7%
12.5 metre	294m	18.7%
12 metre	776m	49.5%
Karee Avenue - Varying width	205m	13.1%
TOTAL	1569m	100%

NOTES :

The figure A-B-C-D-E-F-G-A represents the proposed township Wolmaransstad Extension 20.

The line(s) a-b and c-d represent a building restriction line 8m wide as indicated on the layout plan.

No access along the line(s) lettered E-e-f-g and h-j-k-l-m-n-o-p as indicated on the layout plan.

Average Residential Erven Size : 901m²
Erf sizes and dimensions subject to final survey.

STREETS:
Maximum slope 1:87
Minimum slope 1:178

1 : 100 YEAR FLOODLINE
It is hereby certified in terms of the provisions of Section 144 of the National Water Act, 1998 (Act No.36 of 1998) that the township is not affected by a public stream.

DESIGN OF TOWN LAYOUT
Maxim Planning Solutions (Pty) Ltd
K. Raubenheimer Pr. Pin A/924/1996
Tel. (018) 468 6366

CONTOURS
The contour survey is in accordance with the standards laid down by the Regulations relating to Township Establishment and Land Use.

PR ENGINEER
It is hereby certified that the town layout complies with the conditions and recommendations as stated in the Geological Report.

PR ENGINEER
Digital Orthophoto by:
TNK Professional Land Surveyors
PO Box 1785
Vryburg
8600
Tel: (053) 927 6618
Fax: (086) 501 1025
Date of Photography: 21 September 2018
System: WGS84 Central Meridian: Lo27

**PROPOSED TOWN
WOLMARANSSTAD EXTENSION 20**

50m 20m 10m 0m 25m 50m
1cm = 20m
SCALE 1 : 2 000

THE PROPOSED TOWN IS SITUATED ON A PORTION OF THE REMAINING EXTENT OF PORTION 2 OF THE FARM WOLMARANSSTAD TOWN AND TOWNLANDS No. 184 - HO.

MAQUASSI HILLS LOCAL MUNICIPALITY NORTH WEST PROVINCE

GEOTECHNICAL REPORT
Compiled by : GEOSSET cc
Consulting Environmental and Engineering Geologists
David S.van der Merwe : Cel: (082) 925 4075
Date : October 2018

Engineering Geological Zonation
Modified Normal to Special Development:
Site Class C1R:
This zone comprises of a layer of moderately collapsible and compressible soil underlain by a pebble marker and lava, with estimated total movement of less than 10mm measured at surface. Modified normal and even special foundation techniques will be required to enable proper development. It was classified as C1R in terms of the NHBRC. Reinforced strip footings with articulation joints at some internal and all external doors, light reinforcement in masonry (brickforce) with proper compaction within standard strip foundations and drainage provision will be required.

Test Position and Number **XW1**

PTN 104
WOLMARANSSTAD TOWN AND
TOWNLANDS No. 184 - HO

**WOLMARANSSTAD
EXT 7**

Y : 102200.00
X : 3009900.00

Drawing
Compiled by : A. Rossouw
Tel (018) 468-6366
Fax (018) 468-6378
koot@maxim.co.za

Drawings Nr. : 8/8/37/K/T
Date : 2019/04/01

Revision :

Caddie File : Z:\8-PROJECTS\8-8-37-K-T
Wolmaransstad Extension 20\Maps\CAD

MAXIM
planning solutions
ACCREDITED TOWN AND REGIONAL PLANNERS