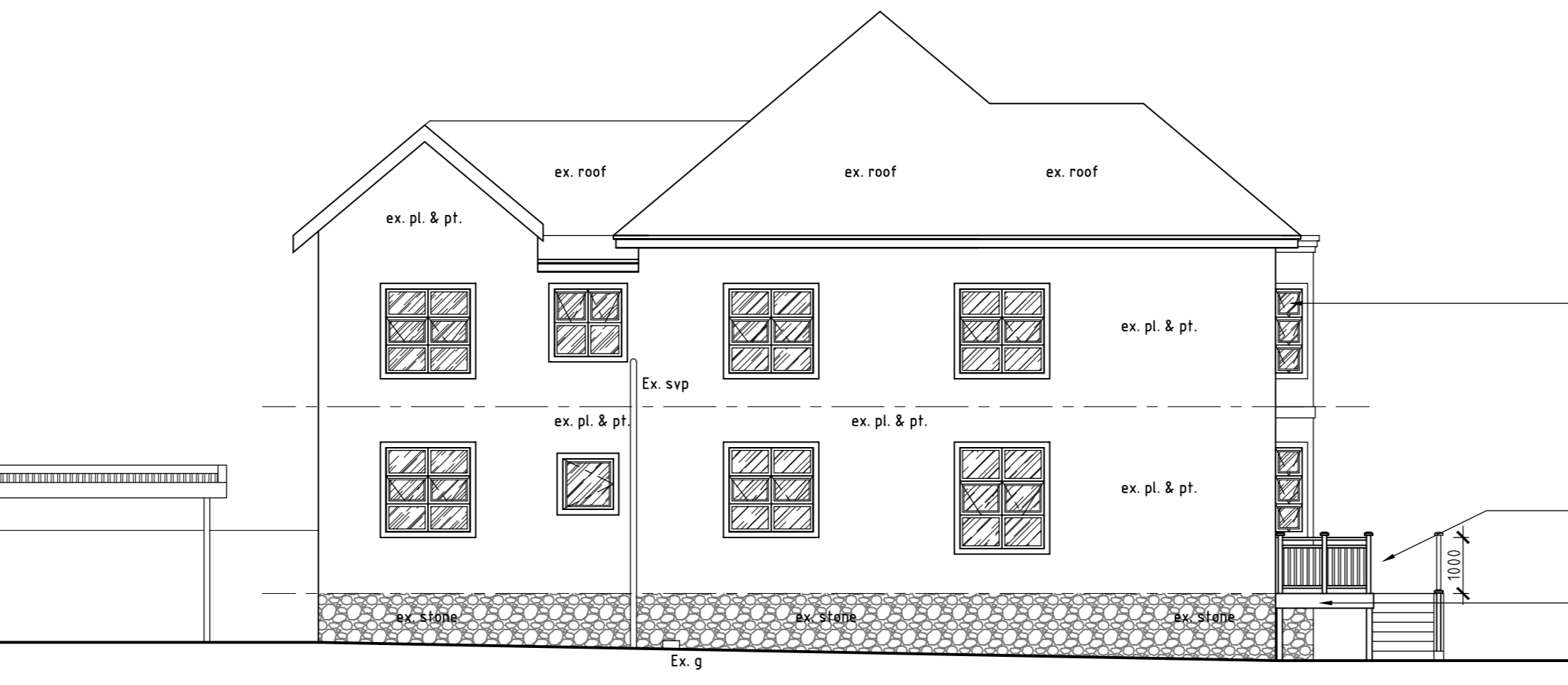
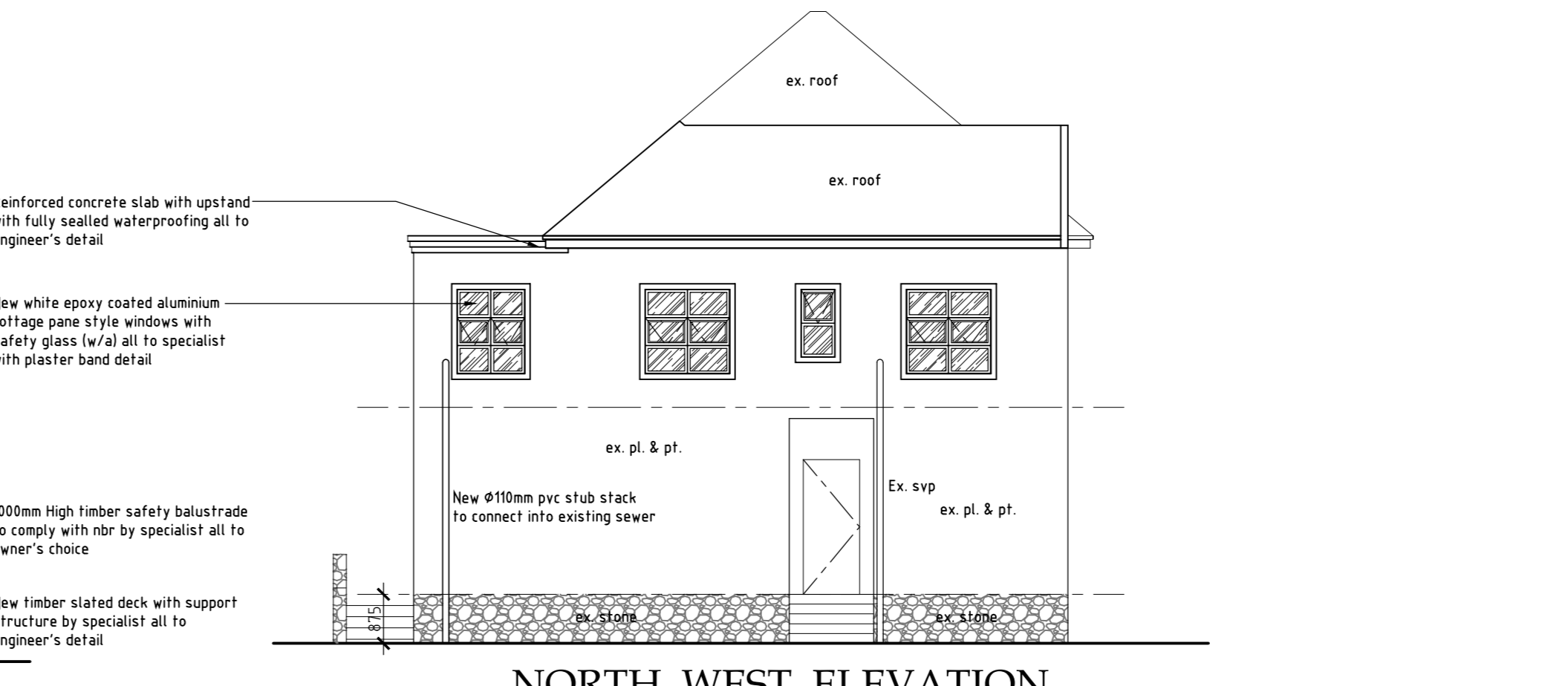


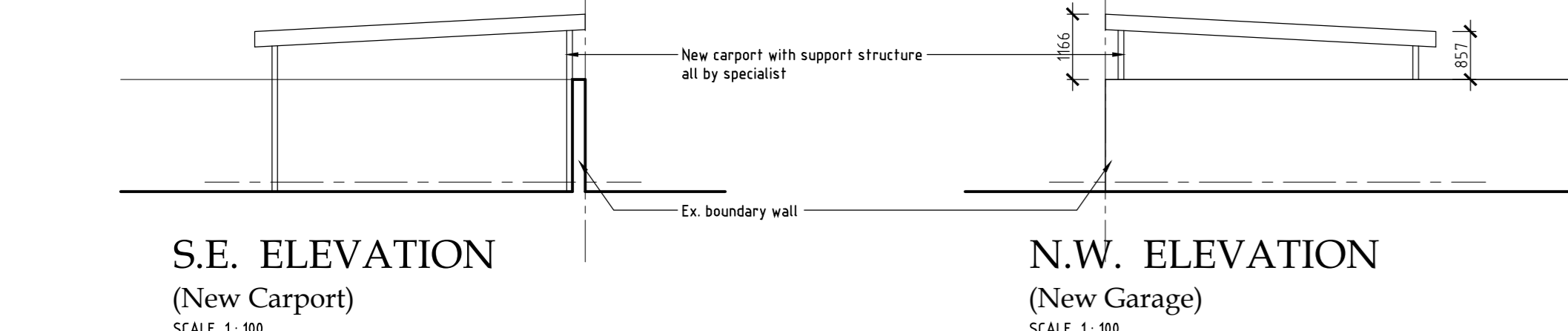
SOUTH EAST ELEVATION
SCALE 1:100



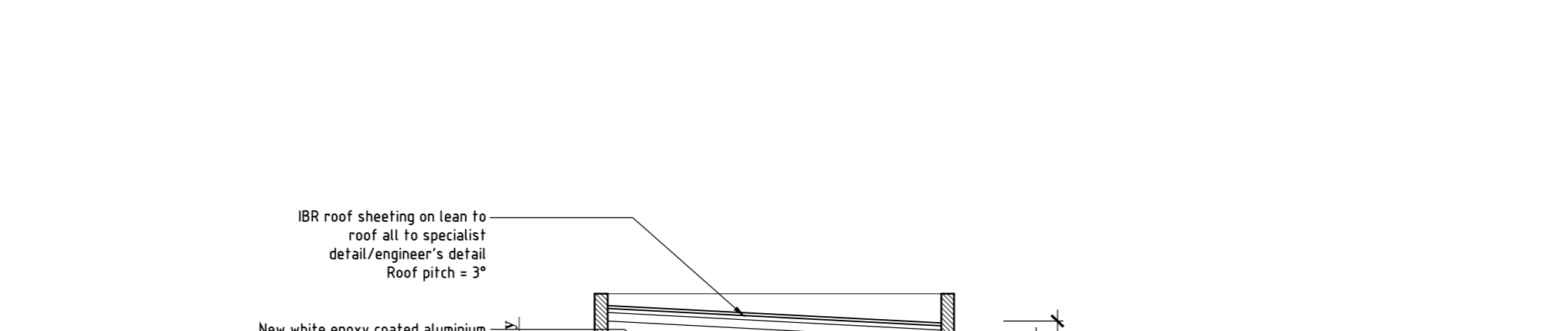
SOUTH WEST ELEVATION
SCALE 1:100



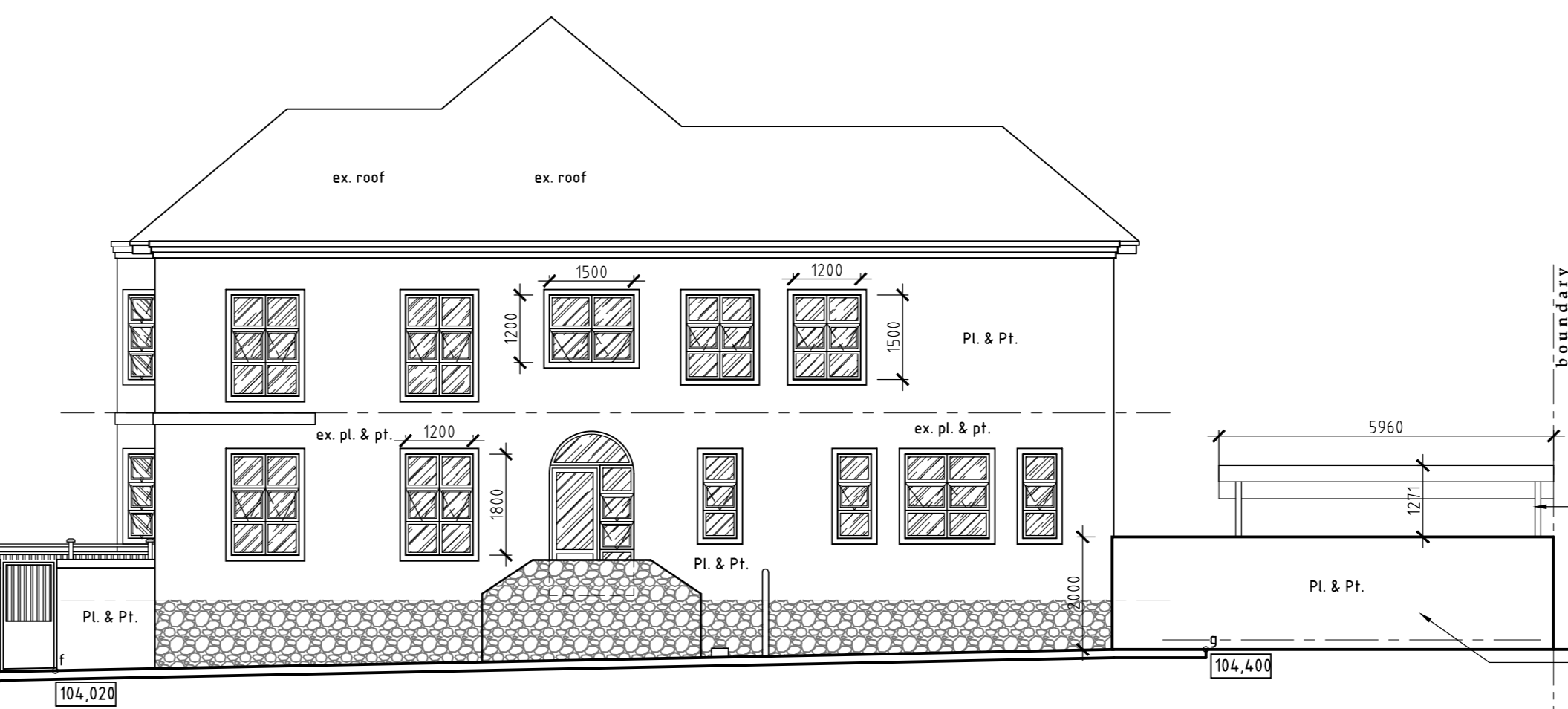
NORTH WEST ELEVATION
SCALE 1:100



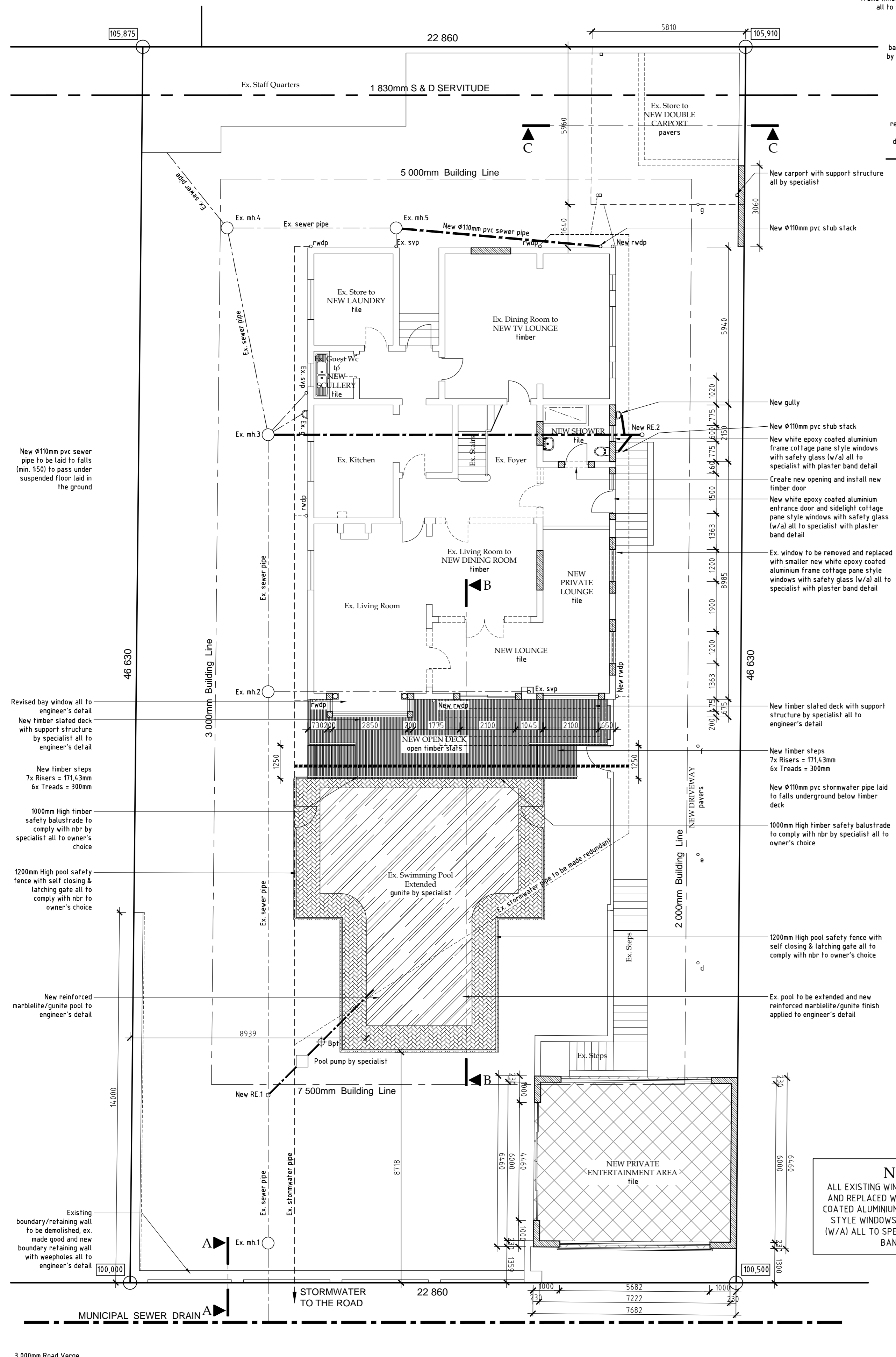
S.E. ELEVATION (New Carport)
SCALE 1:100



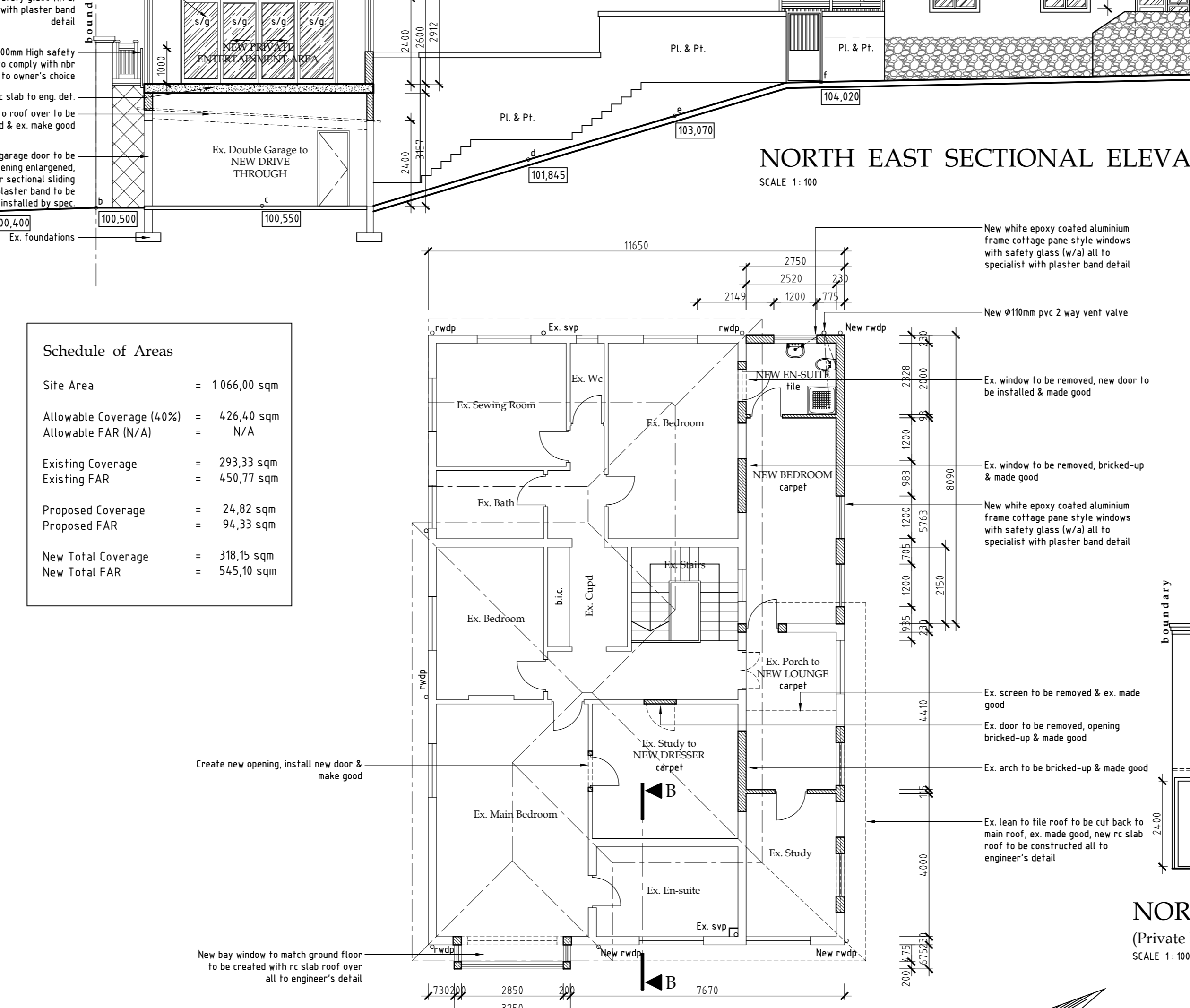
N.W. ELEVATION (New Garage)
SCALE 1:100



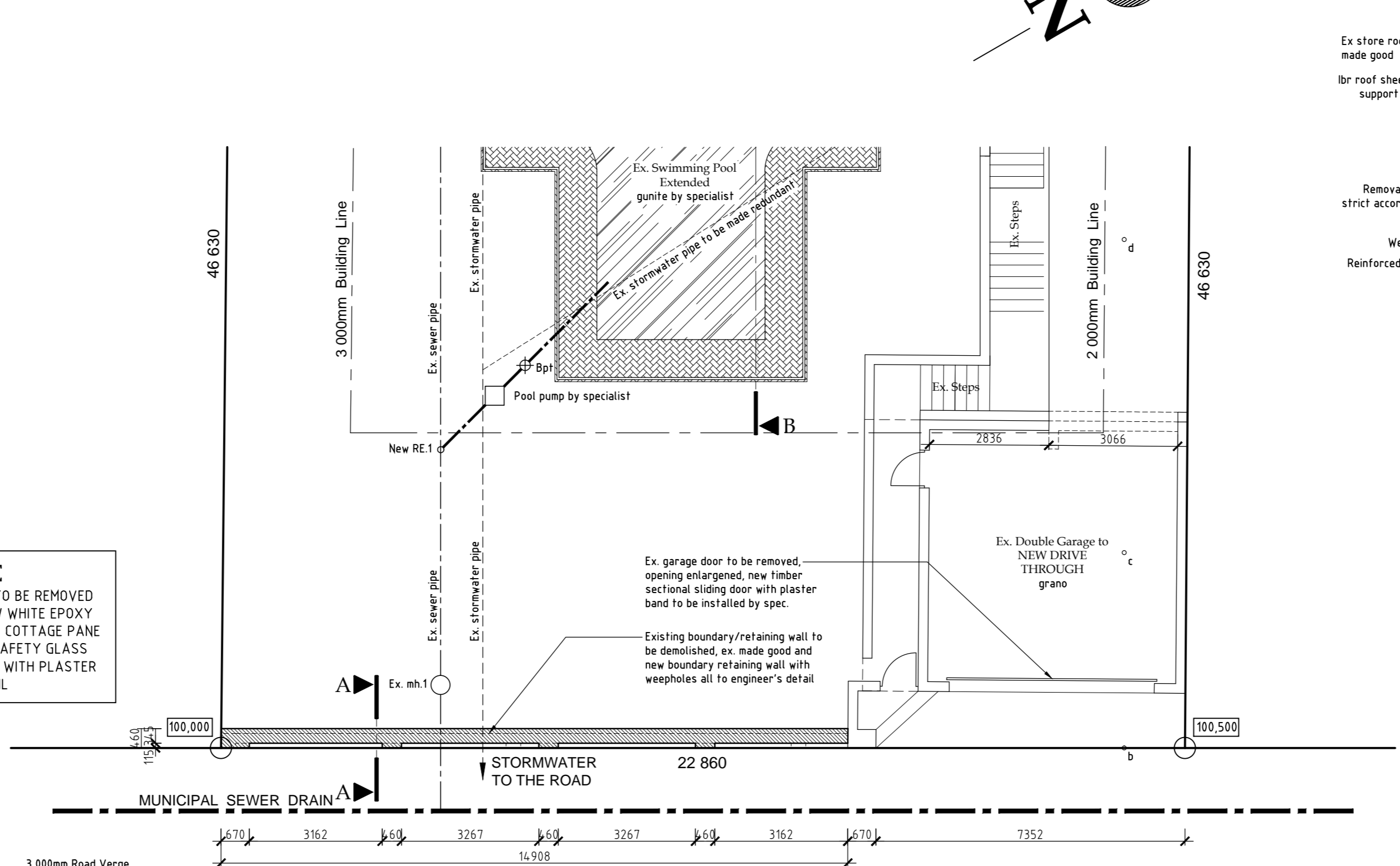
NORTH EAST SECTIONAL ELEVATION
SCALE 1:100



SITE & GROUND FLOOR PLANS
SCALE 1:100



FIRST FLOOR PLAN
SCALE 1:100



BASEMENT PLAN
SCALE 1:100

Schedule of Areas

Site Area	=	1 066.00 sqm
Allowable Coverage (4.0%)	=	426.40 sqm
Allowable FAR (N/A)	=	N/A
Existing Coverage	=	293.33 sqm
Existing FAR	=	4.50, 77 sqm
Proposed Coverage	=	24.82 sqm
Proposed FAR	=	74.33 sqm
New Total Coverage	=	318.15 sqm
New Total FAR	=	545.10 sqm

NOTE
ALL EXISTING WINDOWS TO BE REMOVED AND REPLACED WITH NEW WHITE EPOXY COATED ALUMINUM FRAME COTTAGE PANE STYLE WINDOWS WITH SAFETY GLASS (W/AI) ALL TO SPECIALIST WITH PLASTER BAND DETAIL.

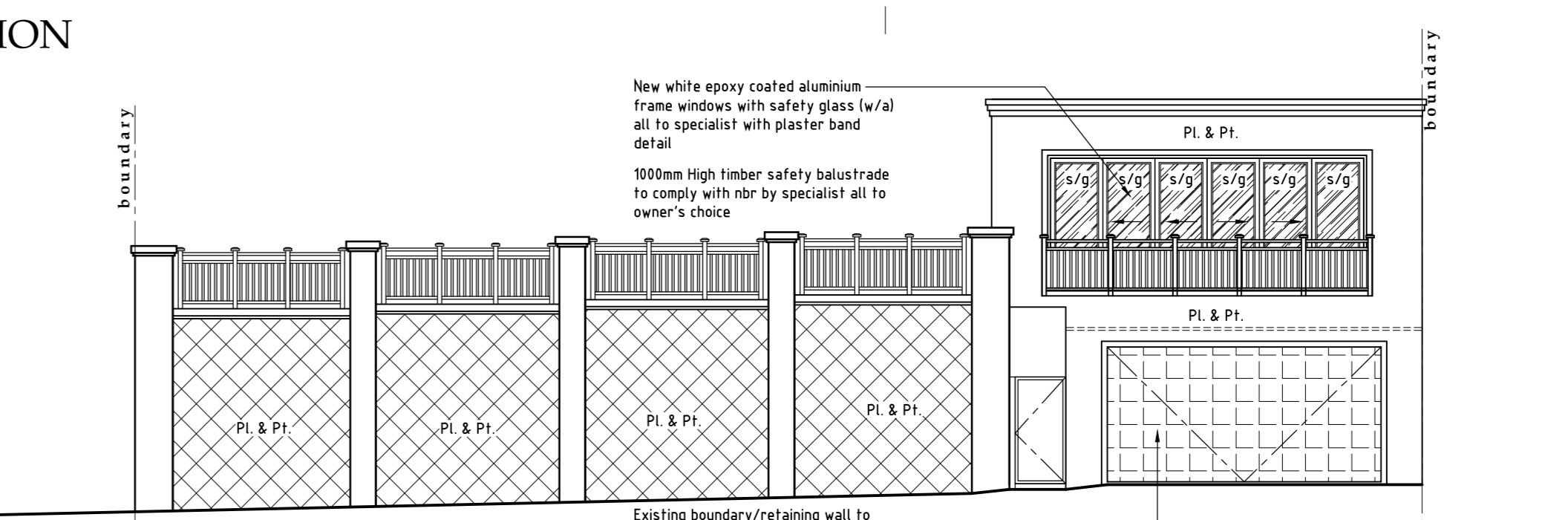
GENERAL NOTES

- READ FIGURED DIMENSIONS IN PREFERENCE TO SCALING
- DRAWINGS PREPARED ON SURFACE EXAMINATION
- FINAL LEVELS, DEPTHS OF EXCAVATION (IF ANY) HEIGHTS OF PLINTHS (WHERE APPLICABLE), STEPS & FALLS TO BE DETERMINED ON SITE BY CONTRACTOR
- D.P.C UNDER ALL SILLS & EXTERNAL WALLS
- ALL SLABS, FOUNDATIONS, RETAINING WALLS & ANY OTHER STRUCTURAL ELEMENTS ARE TO BE TO ENGINEER'S DETAIL
- ALL ROOMS ARE FOR THE INTENTION AS STATED ON PLAN
- ALL BUILDING WORKS TO COMPLY WITH LOCAL AUTHORITY BY-LAWS AS WELL AS THE NATIONAL BUILDING REGULATIONS
- ALL GLAZING TO COMPLY WITH PART 9 OF AS/NZS 1163
- ALL STRUCTURAL WORK TO BE TO ENGINEER'S DETAIL

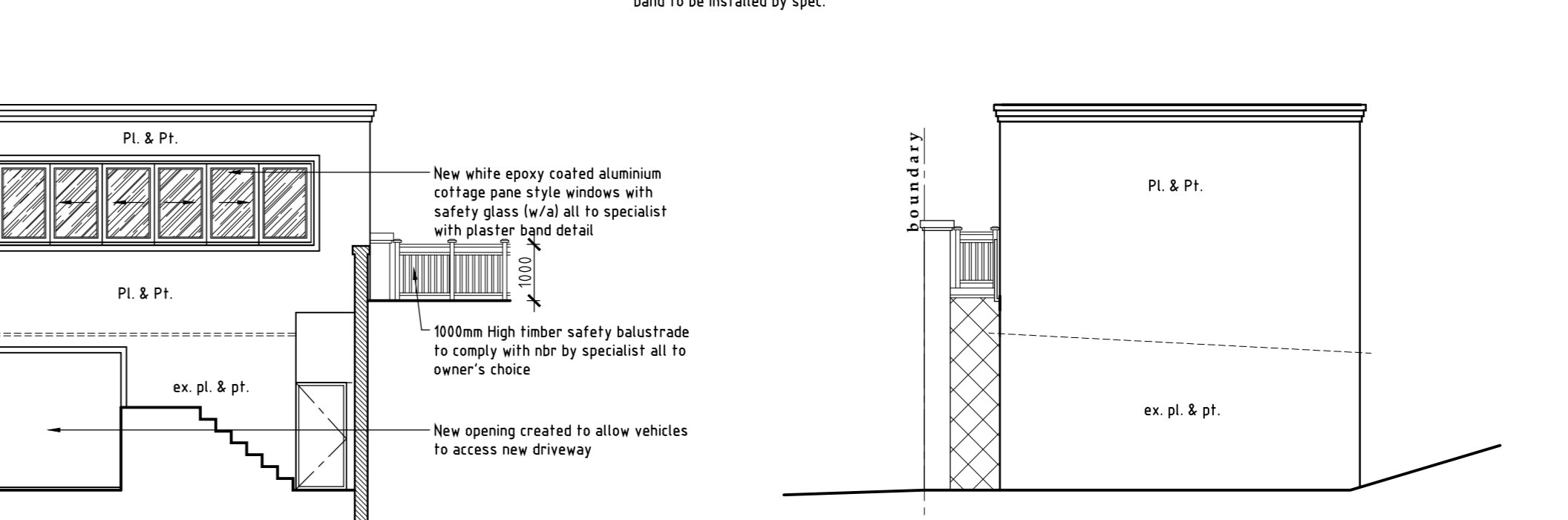
NO CONSTRUCTION IS TO OCCUR UNTIL PLANS HAVE LOCAL AUTHORITY APPROVAL. THE AUTHOR WILL NOT BE HELD LIABLE FOR ANY UNAUTHORIZED BUILDING COMMENCEMENT

POOL NOTES:

1. EARTH LEAKAGE RELAY TO BE STOPPED IN ELECTRICAL CIRCUIT.
2. ALL ELECTRICAL EQUIPMENT TO BE ADEQUATELY EARTHED.
3. PUMP CHAMBER TO BE SECURELY LOCKED.
4. PRECAUTIONS TO BE TAKEN WITH REGARDS TO CONDENSATION.
5. ELECTRICAL EQUIPMENT TO BE SILENCE & PROTECTED WITH PRECAUTIONS TAKEN WITH REGARDS TO CONDENSATION.
6. WASTE WATER TO BE DISCHARGED INTO NEW SEWER DRAIN VIA SPT.
7. SOIL TO BE USED AS FILL ON SITE.
8. POOL AREA TO BE FINISHED IN ACCORDANCE TO SABS-04/01-1997 PART DD.
9. POOL TO ENGINEER'S DETAIL.

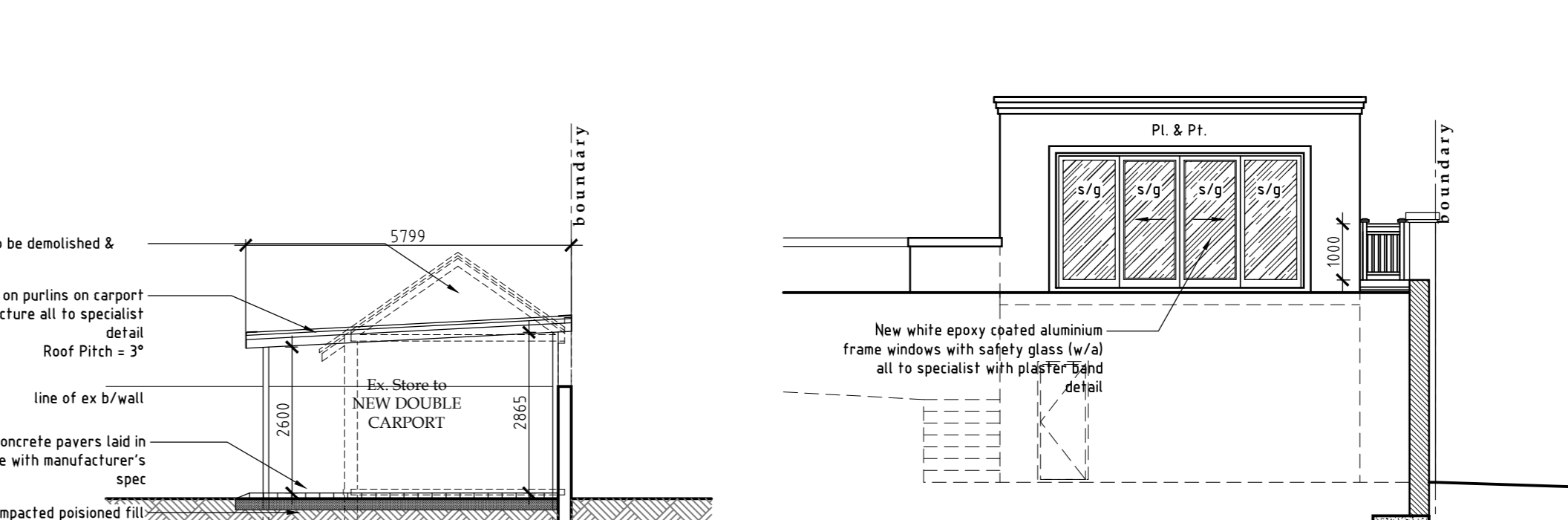


SOUTH EAST ELEVATION
SCALE 1:100

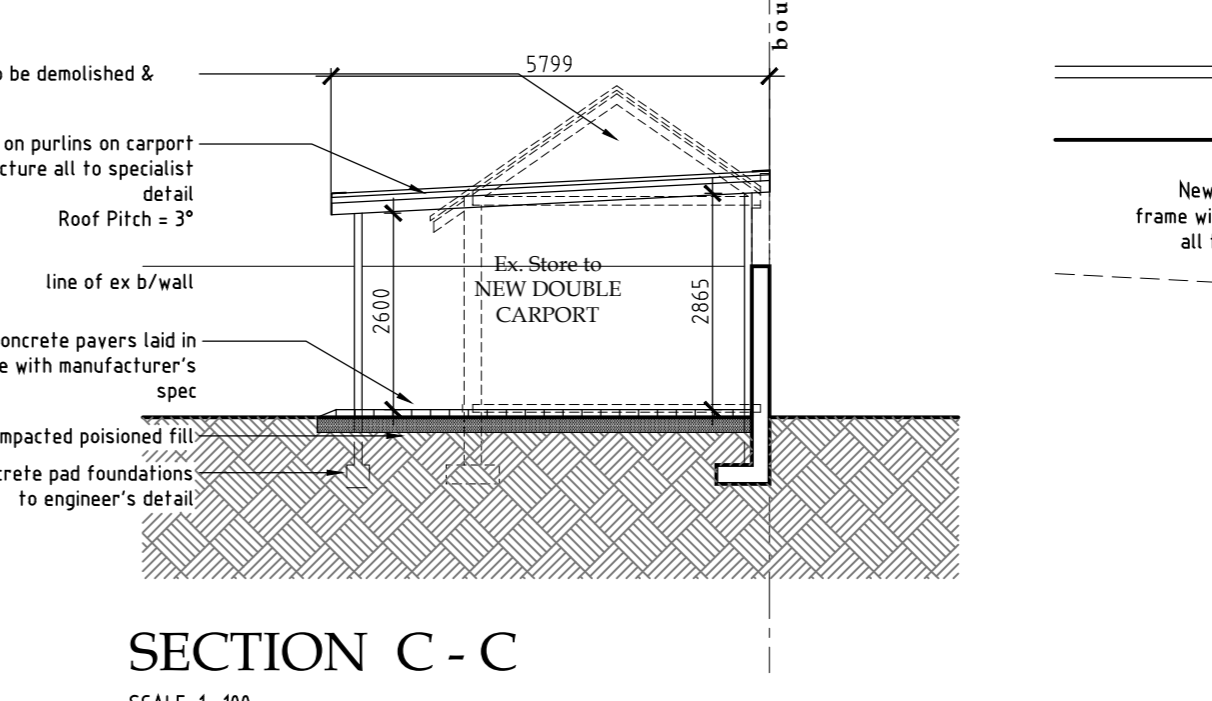


NORTH WEST ELEVATION (Private Entertainment Area)
SCALE 1:100

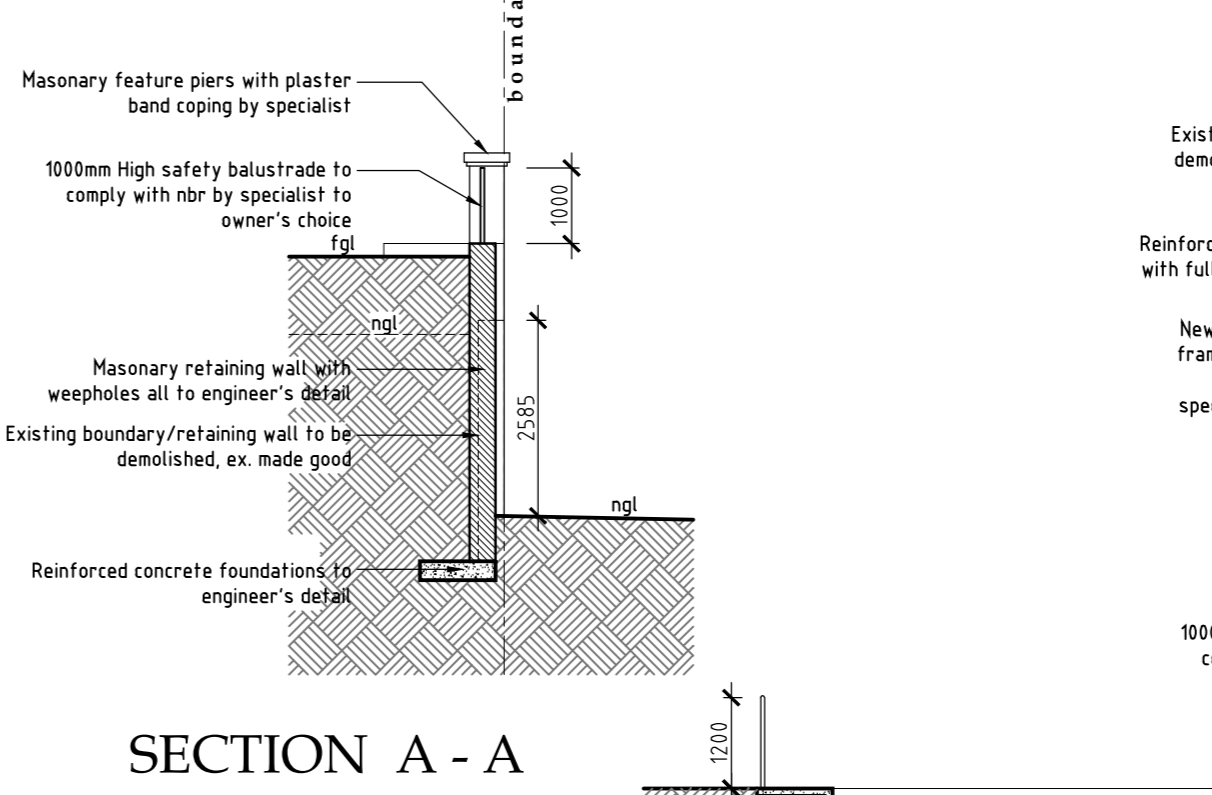
NORTH EAST ELEVATION (Private Entertainment Area)
SCALE 1:100



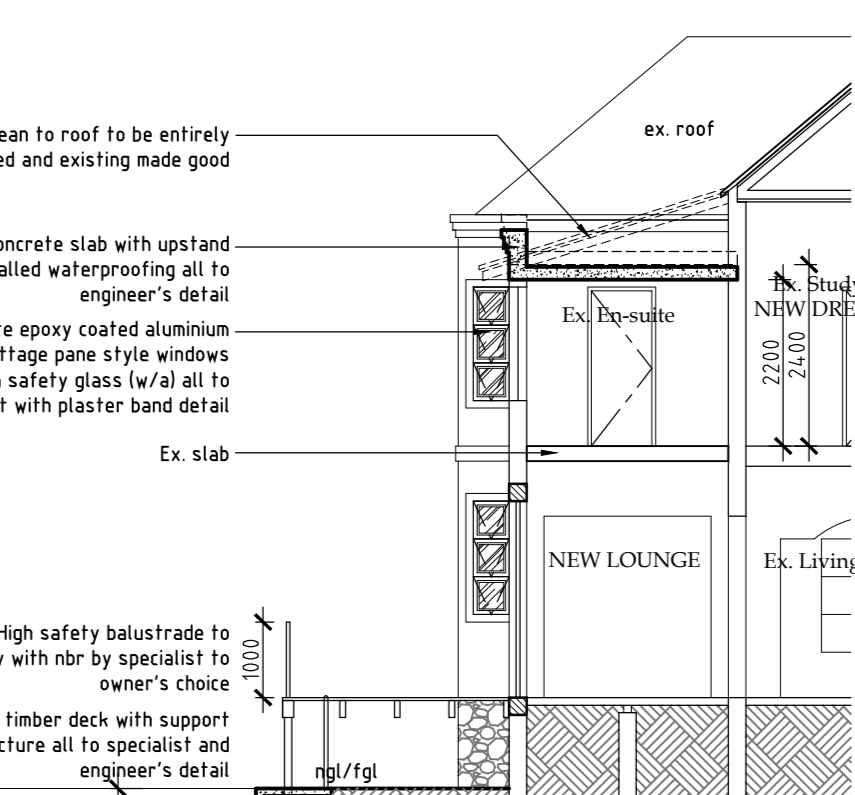
SOUTH WEST ELEVATION (Private Entertainment Area)
SCALE 1:100



SECTION C - C
SCALE 1:100



SECTION A - A
SCALE 1:100



SECTION B - B
SCALE 1:100

OWNER: (MS. N. PANDAY)
AUTHOR: (MR. N. LAKRAJ)
TEL: 083 309 3110
TEL: 084 362 9555

Subject: SUBMISSION DRAWING
Date: 06 OCTOBER 2010 Scale: 1:100
Proposed: ADDITIONS & ALTERATIONS TO EXISTING DWELLING
Celestial Description: ERF 5155 DURBAN
Street Address: 23 WOODLANDS ROAD
Owner/s: Ms. N. PANDAY



Drawing Number: 2010/10/06 SD01
Drawn By: Nishesh Lakraj