

PROPOSED ADDITIONS & ALTERATIONS TO 4 MORRIS HODSON AVENUE, GLENWOOD

PHOTOGRAPHIC & MOTIVATIONAL REPORT

Contents

| | |
|---|------|
| 1. Brief summary of work and rationale. | Pg.1 |
| 2. Photographs. | Pg.2 |
| 3. Previously approved plans. | Pg.6 |

Introduction:

Urban Platform Architects + Planners were appointed to undertake the proposed additions and alterations to 4 Morris Hodson Avenue.

The client wishes to the owner wishes to create a second bathroom in the form of an en-suite so that their children may adequately have their privacy and avoid clashing during the early morning school rush. Furthermore, the clients have decided to refurbish their existing kitchen internally and create a more open-space layout between the kitchen to create a more exquisite dining.

Two kitchen windows shall be replaced with a new window (w04) to maximise natural lighting and provide extra ventilation within the space. Furthermore, the third Kitchen window shall be with new to match existing (w05). The internal layout shall be reconfigured to create a more modern and exquisite dining room and experience. To achieve this, kitchen layouts will reconfigure and the wall between the dining and kitchen shall be removed per the structural engineer's confirmation.

The proposed new bathroom/ensuite shall consist of a simple addition to the existing bedroom. Such addition does not alienate or cause disarray with the current façade or architectural style. The finishes shall aim to match the existing.

We have aimed to ensure that the proposal does protrude or disturb the architectural style. Furthermore, the proposals are not visible from the main Morris Hodson Avenue and road side.

We therefore hope the AMAFA Committee may duly consider this application favourable.



Figure 1. Image illustrates the Front Façade and entrance on Morris Hodson Avenue.

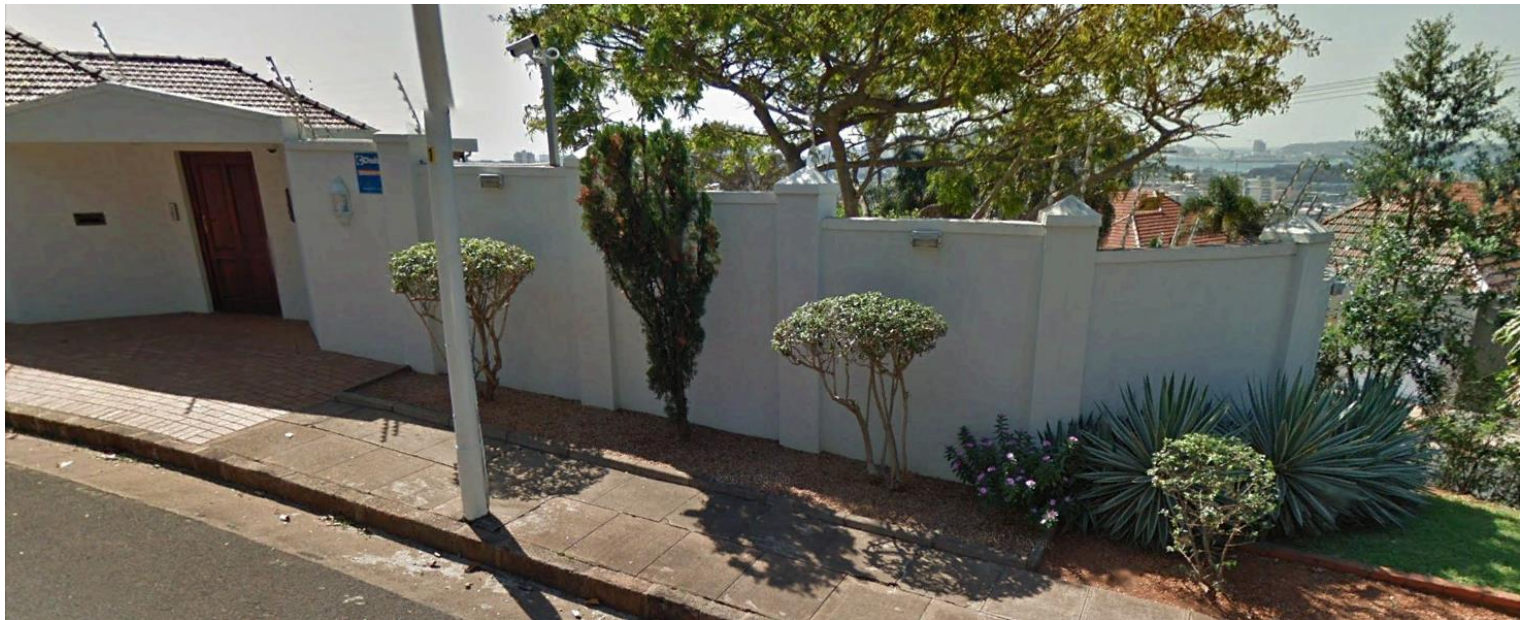


Figure 2. Image illustrates the Front Façade and partial façade side façade at the intersection of Morris Hodson Avenue and Sir Duncan Road.



Figure 3. Image illustrates the Rear Façades on Sir Duncan Road. Lush vegetation blocks the properties boundary.



Figure 4a. Illustration depicts the internal kitchen which shall be reconfigured as well as the two windows that shall be replace with new window w04 per the window schedule.



Figure 4b. Illustration depicts the internal kitchen which shall be reconfigured as well as the two windows that shall be replaced with new window w04 per the window schedule. Further illustrates the wall that shall be demolished to create the open plan space



Figure 5. Image shows the internal wall to be removed in order to create the open plan layout.



Figure 6. Image shows the north facing façade including the two kitchen windows that shall be replaced with new window w05 per the schedule.



Figure 7. Image shows the South facing façade including the kitchen window that shall be replaced with new window w05 per the schedule.



Figure 8. Illustration depicts the east facing façade whereby the proposed new bathroom/ensuite shall be situated.

PREVIOUSLY APPROVED PLANS

(IN ORDER OF APPROVAL DATES OVER
THE YEARS)