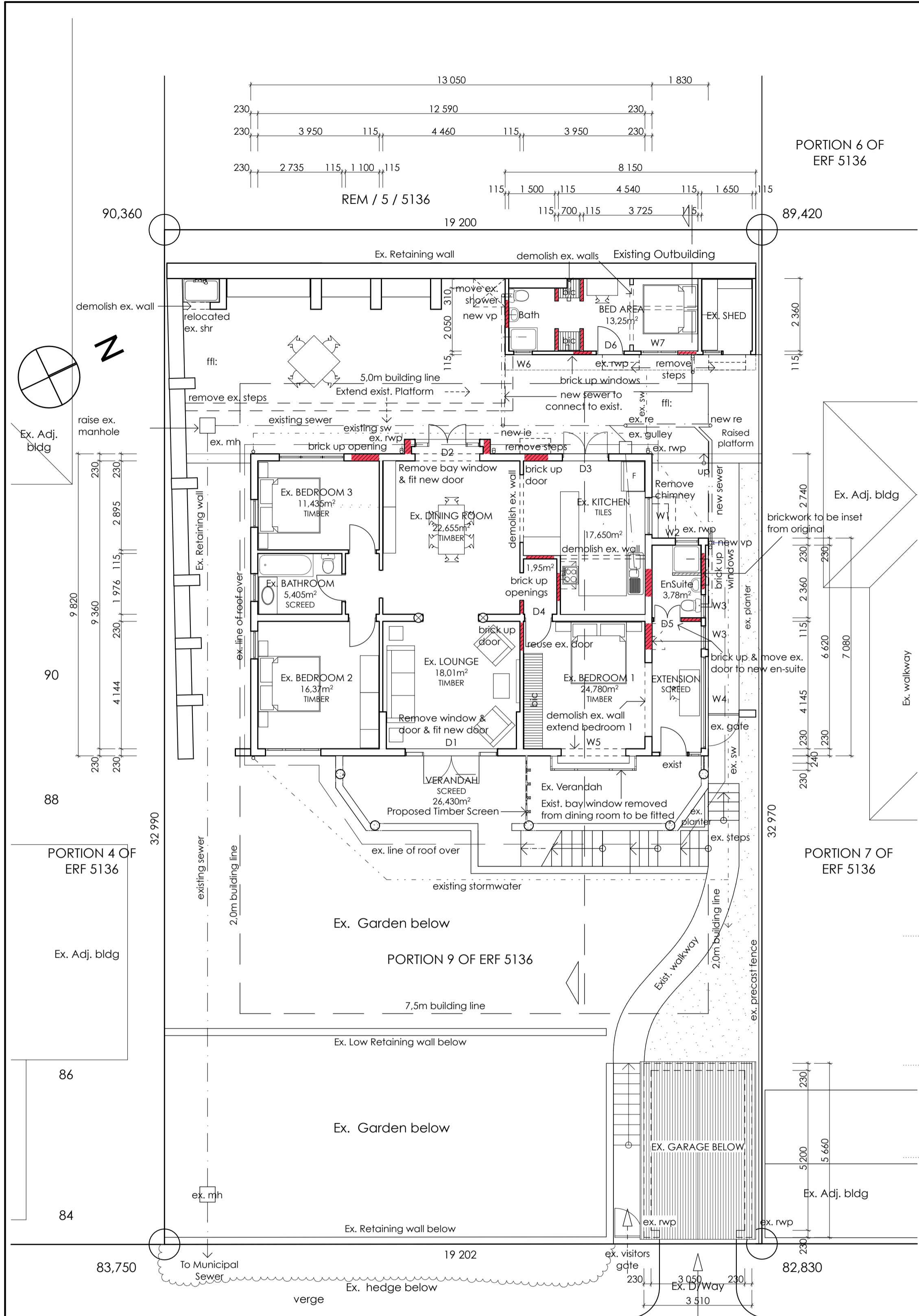


THIS DRAWING IS COPYRIGHT RICHARD STRETTON. ALL BUILDING WORK TO COMPLY WITH SANS 10400. ALL DIMENSIONS TO BE CHECKED ON SITE. ANY DISCREPANCIES TO BE CHECKED WITH THE ARCHITECT / ENGINEER BEFORE COMMENCING WORK. WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.



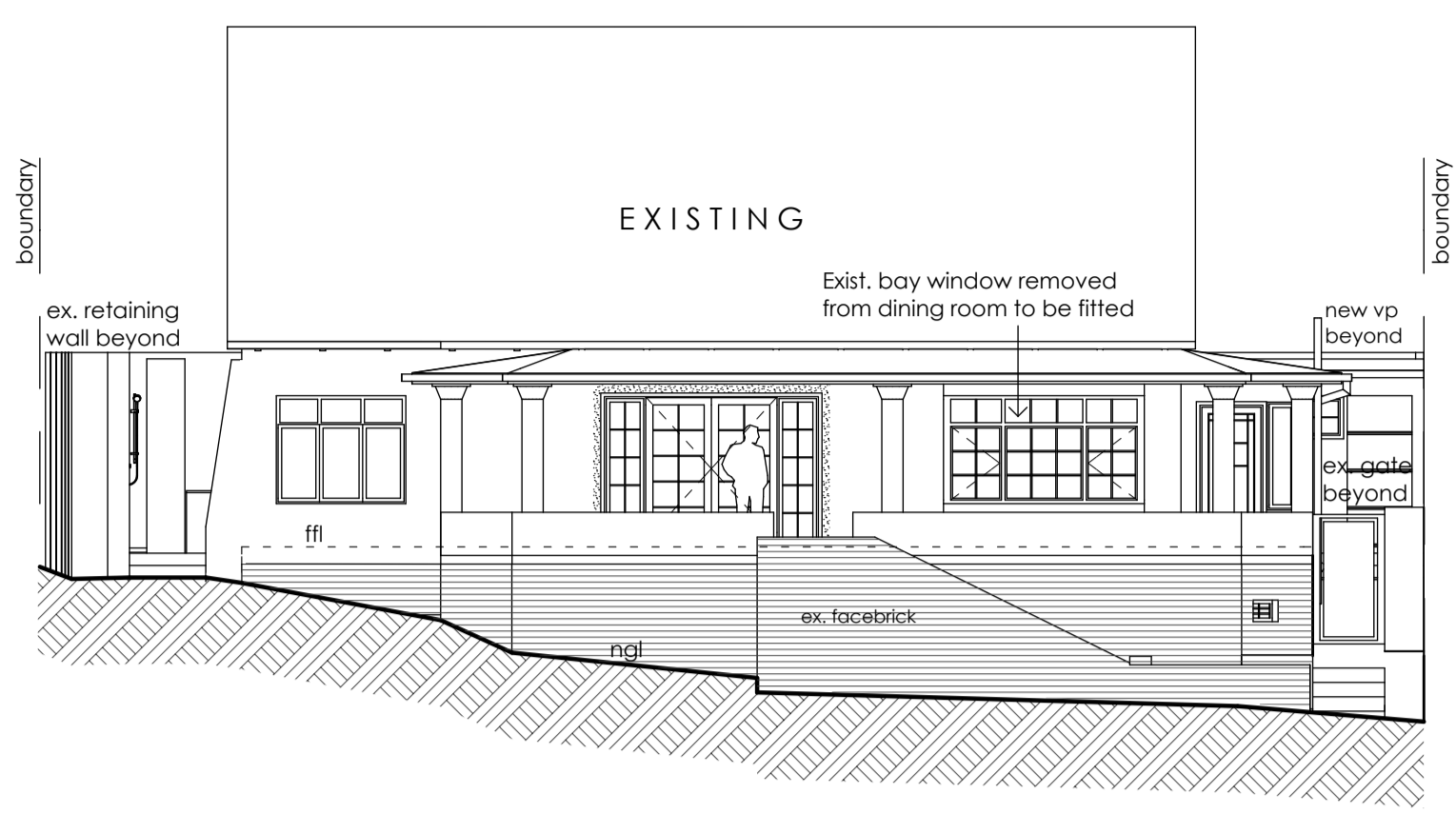
**GROUND FLOOR PLAN  
SITE PLAN**

1:100

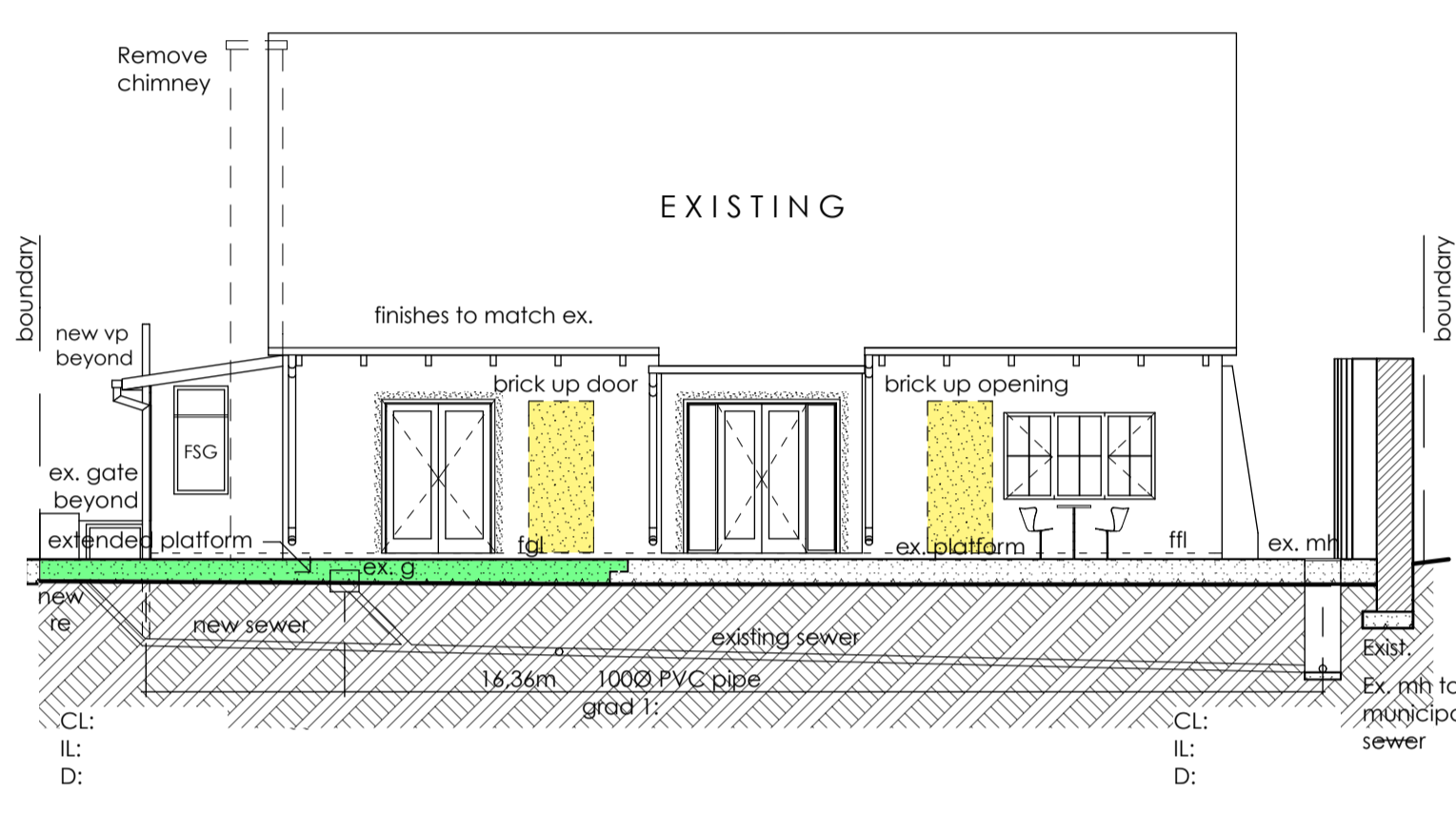
**WALL KEY**

	EXISTING WALL - EXTERNAL
	EXISTING WALL - INTERNAL
	NEW WALL - EXTERNAL
	NEW WALL - INTERNAL

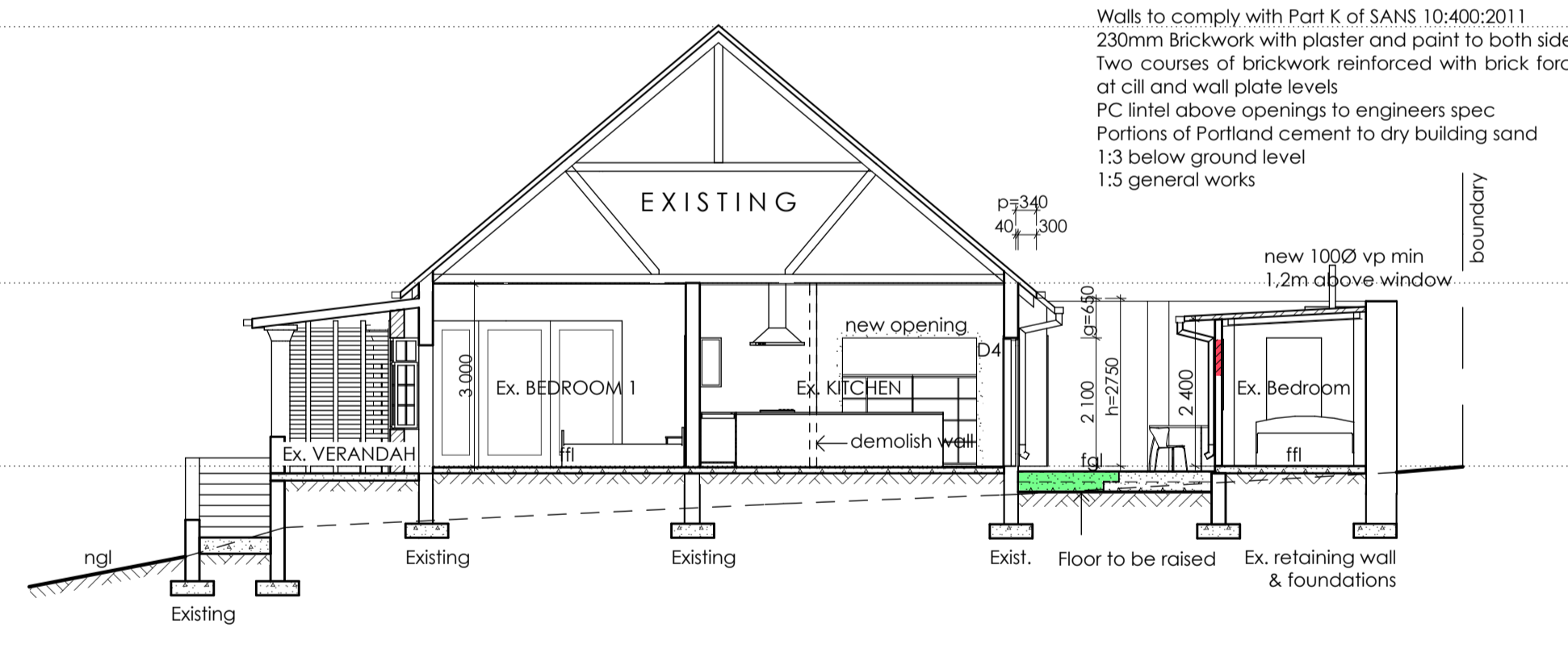
	RAIN WATER PIPE
	VENT PIPE
	GULLY
	RODDING EYE
	INSPECTION EYE
	STORM WATER
	SEWER LINE
	New Plaster & Paint
	New Concrete



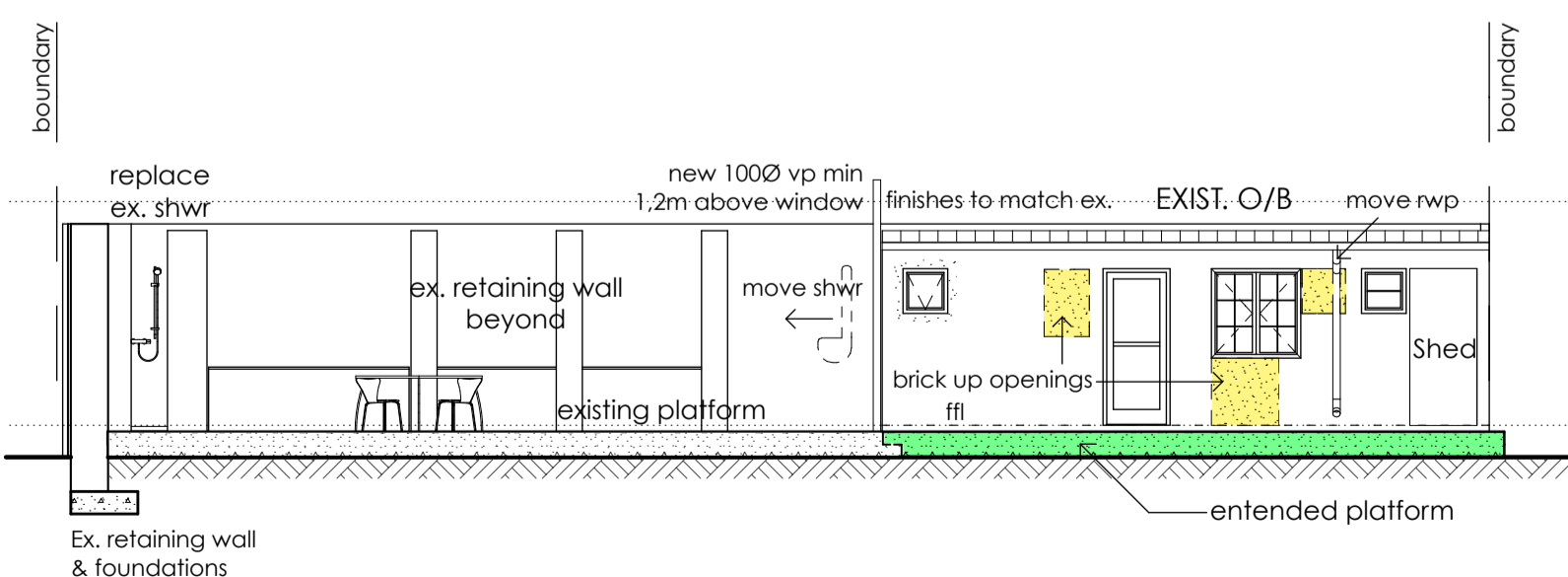
**SOUTH EAST ELEVATION 1:100**



**NORTH WEST ELEVATION 1:100**



**SECTION A - A 1:100**



**SOUTH EAST ELEVATION - O/BLDG 1:100**

**SCHEDULE OF AREAS**

SITE AREA	633,730	m <sup>2</sup>
EXISTING COVERAGE	209,750	m <sup>2</sup>
PROPOSED COVERAGE	Nil	
TOTAL	209,750	m <sup>2</sup>
EXISTING F.A.R	123,940	m <sup>2</sup>
PROPOSED F.A.R	Nil	
TOTAL	123,940	m <sup>2</sup>

**ENERGY EFFICIENCY**

**MAIN DWELLING**

NETT FLOOR AREA	100,260	m <sup>2</sup>
15% OF NETT FLOOR AREA	15,040	m <sup>2</sup>
WINDOW AREA	24,435	m <sup>2</sup>

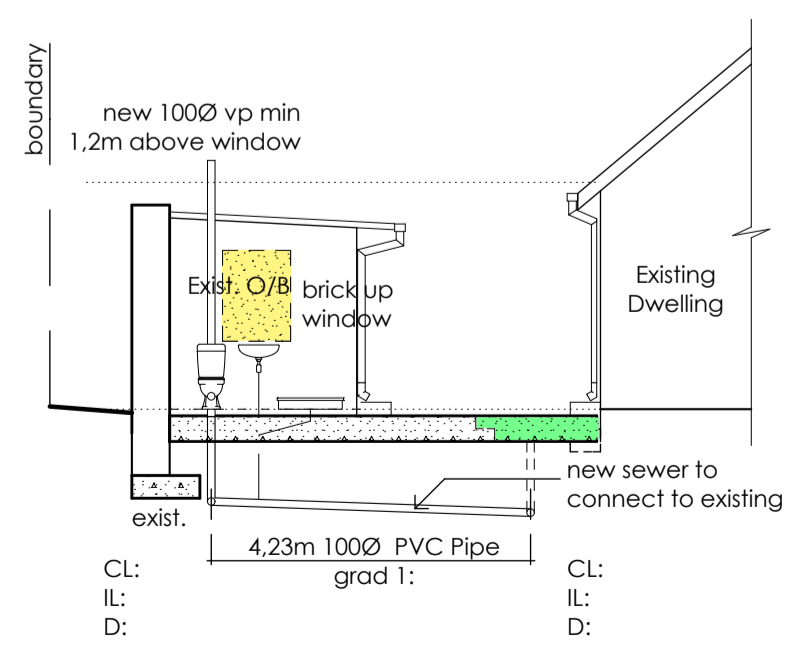
NETT FLOOR AREA INCLUDES LOUNGE, DINING, KITCHEN, BEDROOM3, BEDROOM 1 & BEDROOM 1 EXTENSION.  
WINDOW AREA IS **MORE** THAN 15% OF NETT FLOOR AREA THEREFORE CALCULATIONS IN TERMS OF SANS 204 **ARE** REQUIRED.

**OUTBUILDING**

NETT FLOOR AREA	13,250	m <sup>2</sup>
15% OF NETT FLOOR AREA	2,000	m <sup>2</sup>
WINDOW AREA	1,920	m <sup>2</sup>

NETT FLOOR AREA INCLUDES LIVING QUARTERS.  
WINDOW AREA IS **LESS** THAN 15% OF NETT FLOOR AREA THEREFORE CALCULATIONS IN TERMS OF SANS 204 **NOT** REQUIRED.

Drainage to comply with Part P of SANS 10400:2011  
Any damaged fittings to be replaced  
Sewer connection to be exposed prior to excavation  
IE's to oil bends and junctions  
Soil pipes to be 110Ø PVC and waste pipes to be 50Ø PVC  
Gully surrounds - 150mm and manhole covers 0,75mm above ground level  
Rainwater pipes to discharge into dish gulleys  
Storm water to connect to existing



**SEWER SECTION - O/BLDG 1:100**

**ALTERATIONS TO EXISTING DWELLING**

PROJECT:	HOUSE NICHOLSON
PROJECT NO:	A197
DRAWING TITLE:	PLAN, SECTIONS & ELEVATIONS
DRAWING:	AMF001
SCALE:	1:100 @ A1
DATE:	2013/10/31
AUTHOR:	S.M.
PROPERTY:	Portion 9 of Erf 5136 4 Shirley Road, Berea South
OWNER:	J NICHOLSON
ENGINEER:	
OWNER SIGNATURE:	
ARCHITECTS SIGNATURE:	
R. STRETTON PR ARCH 21/042	
FOR OFFICE USE:	Archives/Plans/Sever/Drawings/11 ARCHITECTURE/197 HOUSE NICHOLSON/ DRAWING/21_3_BMS/ARCH/ARCH/AD/197 House Nicholson 4.dwg Thursday 31 October 2013