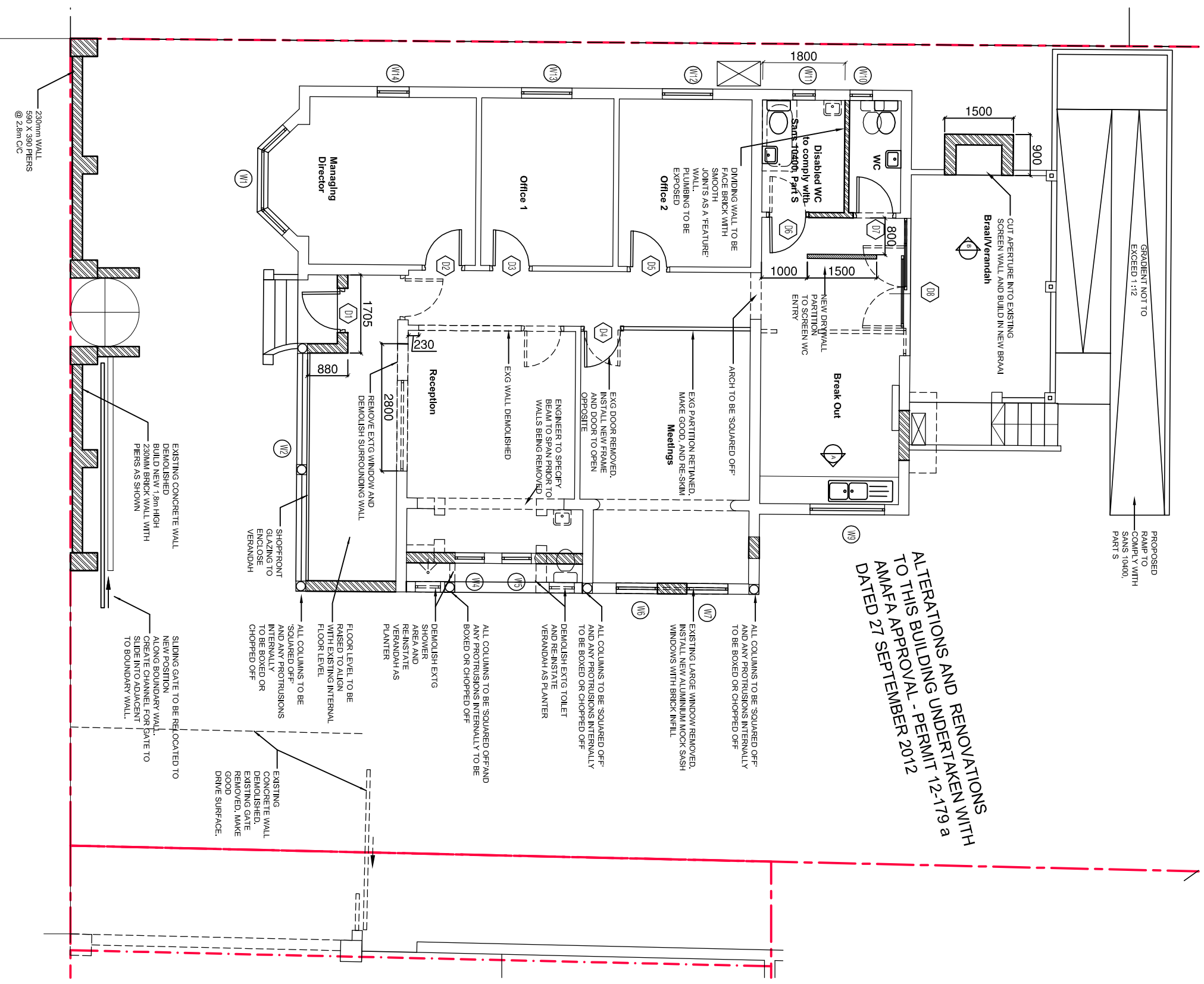


GRADIENT NOT TO EXCEED 1:12
 PROPOSED RAMP TO COMPLY WITH SANS 10400 PART 5

ALTERATIONS AND RENOVATIONS
 TO THIS BUILDING - PERMIT 12-179 a
 AMAFA APPROVAL - DATED 27 SEPTEMBER 2012



GENERAL SPECIFICATION AND NOTES:

- Existing building to be renovated. Contractor to inspect entire structure prior to the commencement of works and note any rot, borer, structural instability to the owner prior to commencement of work.
- Quote to allow for any and all remedial action required to ensure a sound structure upon completion.
- ROOF:
 - Existing ties and battens to be retained.
 - All trusses and rafters to be checked for signs of rot or borer. Sections to be replaced as necessary.
 - Allow for 50mm Isotile insulation to be laid over ceilings in office area.
 - Repair and / or replace any damaged fascias and barge.
 - Existing F/C gutters and mops to be retained, repainted and replaced. Any broken pieces to be replaced as required.
- CEILING:
 - Existing ceilings internally to be retained. Allow for nail heads etc., to be made good and skimmed over to create flush ceiling.
 - Cover strips to be fixed back as necessary.
 - Ceilings to be painted white.
- WALLS:
 - All internal walls to be patched and skimmed after electrical and other chasing completed.
 - External walls to be checked for loose plaster, which is to be hacked off and re-plastered as necessary. Facebrick areas to be plastered and painted.
- WINDOWS:
 - All existing windows to be removed. Brick up piers as required to create apertures for new windows.
 - All reveals and cills to be made good with new plaster as required.
- DOORS:
 - All existing internal doors and frames to be removed.
 - Fanlights over doors to be removed. Insert new lintels as required to standard door head height (2100mm) and brick up over.
 - Insert new timber jamb liners with architrave and hang new doors and ironmongery boards.
 - Breakout and toiletsto have epoxy flooring.
 - External verandah and lobby to be tiled.
 - Skirting in Offices to be 95x19 pencil rounded
 - Tiled areas to have 100mm tiled skirting.
- PLANTER:
 - Planter to be created in front of proposed reception area windows after existing WC and Shower demolished.
 - Planter to have 2 no 38mm Ø pipes inserted through the wall to act as weep holes. Line planter with Derigum CG4 torch on membrane to ensure no moisture transfer into office.

FIRE NOTES

- The proposed development will comply in all respects to SANS 10400-T:2011. Where any deviations occur these will be discussed and highlighted with the relevant authority.
- Safety distances to comply with T4.2.
- Different occupancies to comply with T4.3.
- Division areas to comply with T4.4.
- General fire performance in respect to elements and components to comply with T4.5.
- Occupancy and division separating elements to comply with T4.6.
- Fire stability of structural elements or components to comply with T4.7.
- All tenancy separating elements to comply with T4.8 and T4.9.
- All openings between divisions and tenancy to comply with T4.10.
- Rooft assemblies and coverings to comply with T4.12.
- All ceilings to comply with T4.13.
- All floor coverings to comply with T4.14.
- All internal finishes to comply with T4.15.
- Provision of all escape routes to comply with T4.16.
- All exit doors to comply with T4.17.
- All emergency routes where required to comply with T4.19.
- Dimensions and components of escapes routes to comply with T4.20.
- Width of all escape routes to comply with T4.21.
- Basements, where applicable to comply with T4.22.
- Stairways and other changes of levels along escape routes to comply with T4.23.
- Ventilation of stairways in an emergency route to comply with T4.24.
- Pressurization of emergency routes and components to comply with T4.25.
- All openings in floors to comply with T4.26.
- Lobbies, foyers and vestibules to comply with T4.28.
- All markings and sign postings to comply with T4.29.
- Lighting of feeder and emergency routes to comply with T4.30.
- Fire detection and alarm systems to comply with T4.31.
- Provision of fire fighting equipment to comply with T4.32.
- Water reticulation for firefighting purposes to comply with T4.33 and all requirements in Part IV.
- All hose reels to comply with T4.34.
- All hydrants to comply with T4.35.
- Portable fire extinguishers to comply with T4.37.
- All services in structural or separating elements to comply with T4.41.
- Smoke control to comply with T4.42.
- The design of airconditioning and ventilation systems to comply with T4.43.
- Access to buildings for fire fighting and rescue purposes to comply with T4.54.
- Presumed the resistance of building materials and components to comply with T4.55.

OWNER:	RATE NO:	CODE:
ARCHITECT:		
PROJECT:		
SITE ADDRESS:		
12 Blythwood Road, Umhlobo		
Lot 7702, Durban		
DATE	CREATED	DATE
04-03-14	JK	12-03-14
DATE	APPROVED	DATE
04-03-14	JK	12-03-14
SCALE:		
1:1		
PROJECT:		
Conversion on dwelling to offices and businesses for Paul Henderson Rigging Services		
ARCHITECTURE CONSTRUCTION PROJECT MANAGEMENT		
Kemble 82 Thames Drive Westville 3629		
T: +27 31 266 4879 F: +27 86 953 4250		
E: jayson@workspacesolution.co.za		
WWW: workspacesolution.co.za		
DRAWING TITLE:	DRAWING NO:	REVISION:
GROUND STOREY PLAN	WS005-01-202-S	00