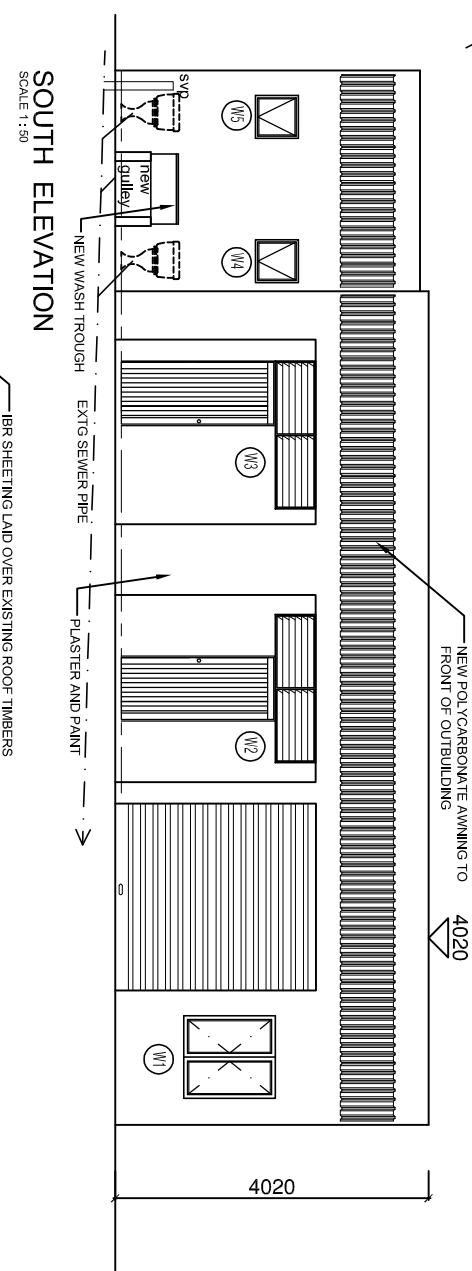
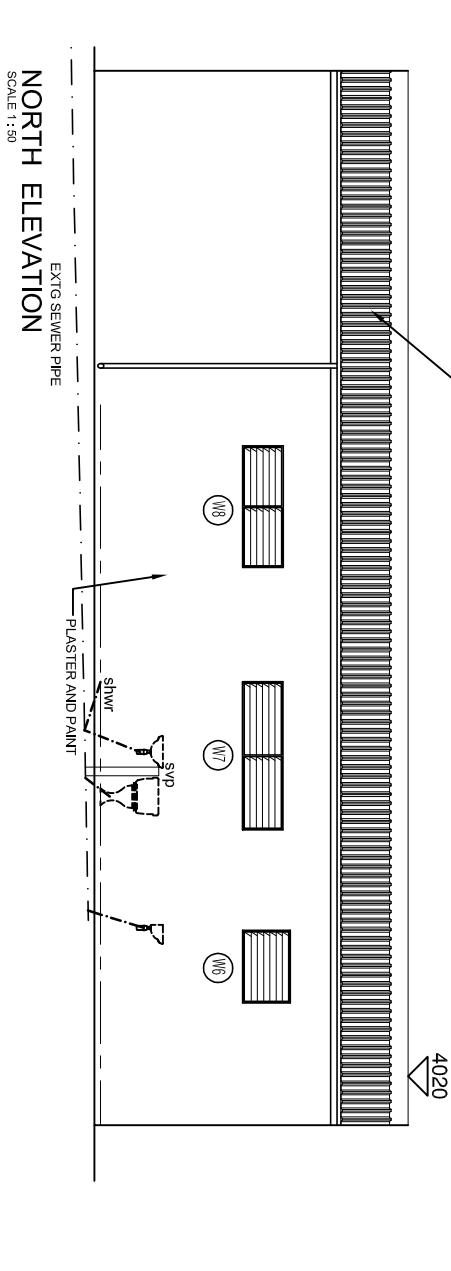


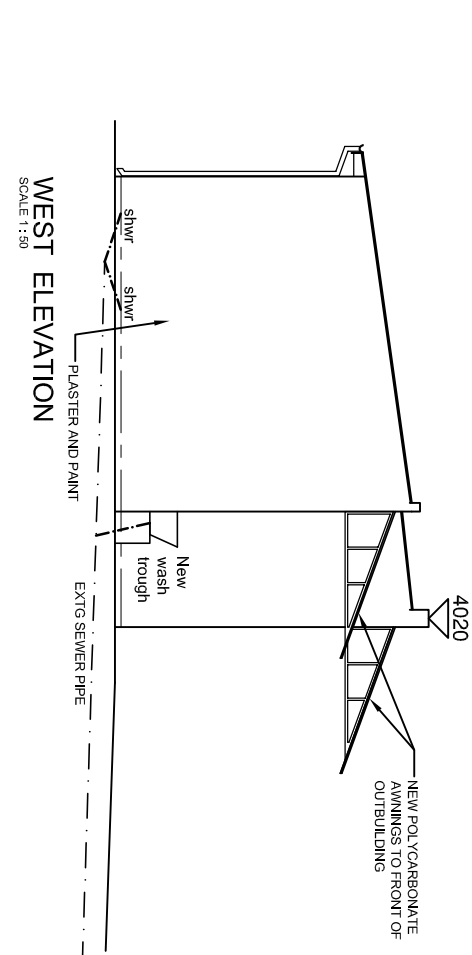
**GROUND STOREY PLAN**  
SCALE 1:50



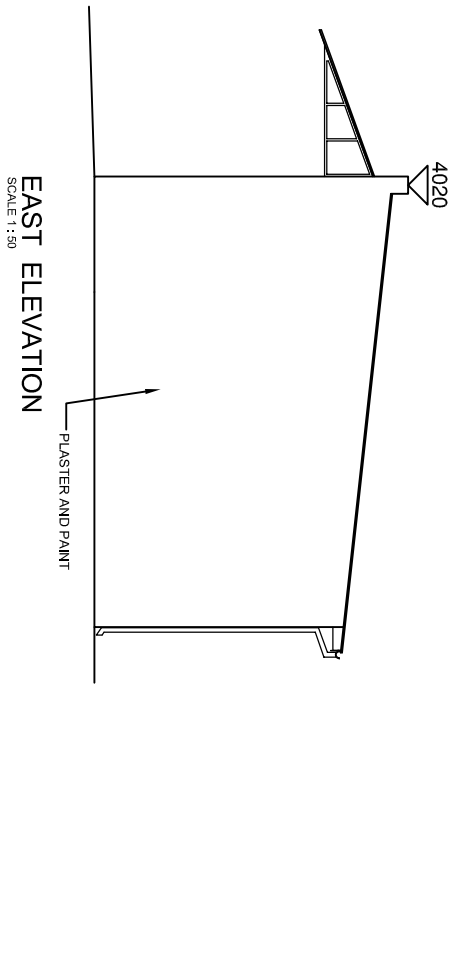
**SOUTH ELEVATION**  
SCALE 1:50



**NORTH ELEVATION**  
SCALE 1:50



**WEST ELEVATION**  
SCALE 1:50



**EAST ELEVATION**  
SCALE 1:50

**GENERAL SPECIFICATION AND NOTES:**

- Existing building to be renovated. Contractor to inspect entire structure prior to the commencement of works and note any rot, borer, structural instability to the owner prior to commencement of work.
- Quote to allow for any and all remedial action required to ensure a sound structure upon completion.
- ROOF:** Existing tiles and battens to be retained.
- All trusses and rafters to be checked for signs of rot or borer. Sections to be replaced as necessary.
- Allow for 50mm isolate insulation to be laid over ceilings in office area.
- Repair and / or replace any damaged fascias and barge.
- Existing F/C gutters and w/dps to be retained, repainted and replaced. Any broken pieces to be replaced as required.
- CEILING:** Existing ceilings internally to be retained. Allow for nail heads etc. to be made good and skinned with fibre mesh ceiling.
- Over surfaces to be fixed base, as necessary.
- Ceilings to be painted white.
- WALLS:** All internal walls to be patched and skimmed after electrical and other chasing completed.
- External walls to be checked for loose plaster, which is to be hacked off and re-plastered as necessary. Facebrick areas to be plastered and painted.
- WINDOWS:** All existing windows to be removed. Brick up piers as required to create apertures for new windows.
- All reveals and cills to be made good with new plaster as required.
- DOORS:** All existing internal doors and frames to be removed.
- Facilitate new doors to be removed. Insert new finish as required to standard door head height (2100mm) and brick up over.
- Insert new timber jamb fins with architrave and hang new doors and trim/mongery.
- FLOORING:** Existing timber flooring to be made good in MD office and checked elsewhere once all existing finishes are tiled.
- Repair damaged / missing floor boards with shutter ply to match thickness.
- Office areas and passage to be finished with new timber/laminate over the 18kg boards.
- Breakout and toiletists have epoxy flooring.
- External verandah and lobby to be tiled.
- Sliding in Offices to be 6x119 perical rounded tiled areas to have 100mm tiles skirting.
- PLANTER:** Planter to be created in front of proposed reception area windows after existing WC and Shower demolished.
- Planter to have 2 no 38mm Ø pipes inserted through the wall to act as weep holes. Line planter with Darpigum CG4 torch on membrane to ensure no moisture transfer into office.

OWNER:						
VOL:	RATE NO:					
ARCHITECT:	CODE:					
NO	DATE	BY	REMARK			
1	12-03-14	JA	ISSUED FOR TENDER			
PROJECT: Conversion on dwelling to offices and businesses for Paul Henderson Rigging Services						
SITE ADDRESS: 12 Birchwood Road, Umbilo Lot 7702, Durban						
DRAWN	DATE	CHECKED	DATE	APPROVED	DATE	SCALE
SNLS	04-03-14	JA	12-03-14	JA	12-03-14	SHOWN
<b>WORKSPACE SOLUTION</b>						
ARCHITECTURE • CONSTRUCTION • PROJECT MANAGEMENT						
Kemble 82 Thames Drive Westville 3629 T: +27 31 266 4879 F: +27 86 953 4290 E: jayson@workspaceolution.co.za W: workspaceolution.co.za						
DRAWING TITLE:	OUT BUILDING					REVISION:
DRAWING NO:	WS005-01-205-S					00