

Anton: These two proposed residential sites are owned by Assmang Mine (Pty) Ltd. The consultant project managing all applications is Erioloba Consuting. Please direct your price estimate for these two sites to:

Khumani Housing Development Company

Private Bag X503

Kathu

8446

Attention: Ernst Drewes

Email: Ernst.Drewes@nwu.ac.za

(Extracts from the Environmental Issues Determination Report compiled by Fox Corporate Services on behalf of the Assmang's Khumani Housing Developments, October 2011.)

PROJECT OBEJECTIVES

The main objective of the proposed residential developments in Kuruman, is to provide approximately 130 new houses and related infrastructure for mine employees residing in Kuruman, Ward 1, Ga-Segonyana Municipality. The increase of the mining sector activities and the subsequent growth of the required residential market pose a current challenge to both the mining and public sector in the provision of adequate local infrastructure and residential land uses.

3. Location

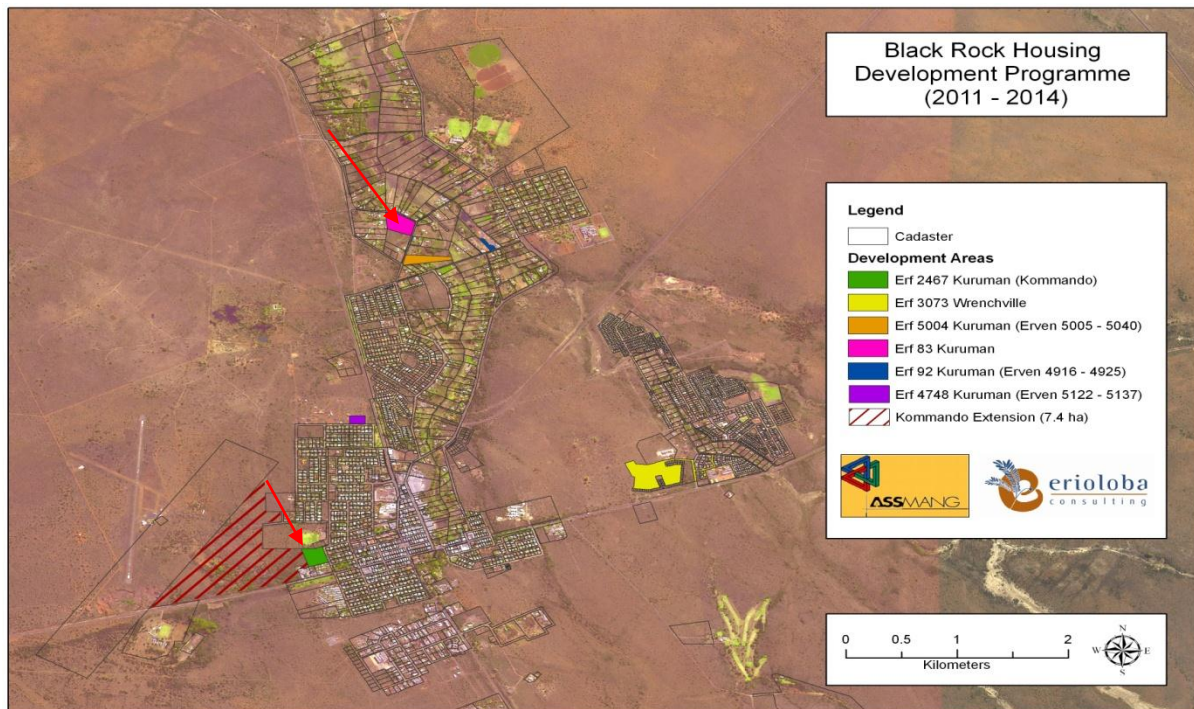
Kuruman is located within Ward One of the Ga-Segonyana Local Municipal jurisdiction, which forms part of the John Taolo Gaetsewe District. Situated in the north-eastern parts of the Northern Cape Province, Kuruman is some 236 km per road north-west from the provincial capital, Kimberley.

3.1 Description of Location

On the Spatial Development Framework (SDF) of July 2008 of the Ga-Segonyana Local Municipality the area is described on p42 as follows: **Kuruman: Existing Residential Areas:** *“The town consists out of a number of residential areas that were formed around the major access roads (N14 and Daniëlskuil/ Hotazel road) and the Kuruman River. The largest portions thereof are low density areas with smaller pockets of Cluster homes found throughout the area. The agricultural plots alongside the Kuruman River are characteristic of Kuruman and stretches from Seodin Road in a northerly and westerly direction.”*

The four proposed residential development sites are located on properties within the existing Town Planning Scheme, exact locations of the sites assessed by FCS are listed as Site A/B/C and D respectively, and are described individually in the sections below.

Study areas requiring Archaeological investigations are described as site A and site C in the report.



Location description of study area: Site A, (Erf No. 83, Cnr/of Cillier and Strydom Avenues)

Site A, Erf No. 83, is situated on a portion of land on the corner of Cillier and Strydom Avenues, in the north-eastern section of Kuruman, Ga-Segonyana Municipality, John Taolo Gaetsewe District, Northern Cape.

Since access to the locked site was not possible, the Agricultural-zoned property was plotted at the following GPS co-ordinates, from a position along the northern boundary fence in Strydom Avenue : **S 27° 25' 2.1" E 23° 26' 02"** (refer to Annexure A (1), Photo series, Photo No's. 5 to 11).

Erf 83 is approximately 3,9662 Hectares in size, with an existing residential structure, concrete ruins, outer buildings, fruit orchards, and a boundary fence noted as visible infrastructure. The old homestead is not currently occupied and the overall appearance of the property is derelict and unattended.

Located approximately 2.2km from the CBD (1320m), adjacent and surrounding agricultural and residential properties are accessed via the R31 running north from Kuruman, Thompson Street in the west, Strydom Avenue in the north, and Cillier Avenue on the eastern side.

Topography

The topography of the eastern portion of the property is relatively flat, with a substantial decline at the position where the Kuruman Western irrigation canal runs through the property. The altitude recorded from the position in Strydom Avenue was 1307/8 m, with the visually lower level of the portion of the property located west of the irrigation canal. Refer to Annexure A(1), Photo series, Photo No's: 9-10. As indicated in the section above, the CBD of Kuruman is located at an altitude of approximately 1320 m above sea level. The topography of the area west of the irrigation canal

suggests that the area may form part of a watercourse/catchment area/drainage canal/flood plain or wetland.

Surrounding and adjacent land uses

Site A is surrounded by Residential 1 and Agricultural land uses. Properties located south-east, south, south-west, west and north-west of Erf 83 practise agricultural activities including but not limited to;

- Stock farming (cattle, sheep, goats & pigs);
- Equestrian stables and infrastructure;
- Cultivated plantations; and
- Small scale Poultry farming.

The surrounding residential properties are well established, low density developments, most of which form part of the agricultural properties and land activities.



Additional site photos of ruins:





Location description of study area: Site C (Erf No. 2467), Skool Street

Site C, is located in the south-western section of Kuruman, north of the N14 exit to Kathu and in Skool Street. In close proximity to the CBD, the property, previously known as the Kuruman Commando Offices, is approximately 2. ha in size, with a developed north-eastern section, as described in the photo series in *Annexure A(3)*, *photo's no.'s 2 to 6 and 17 to 19*.

The remaining portion of the site, extends westwards and is in a pristine condition, with a large number of Camel Thorn *Acacia erioloba* trees noted throughout the proposed development residential site.

The site is accessed via Skool Street, located along the eastern boundary, and through two exiting access gates. (Refer to *Annexure A(3)*, photo no. 9 and 11). The northern boundary is adjacent to an old community grave yard and a school sports field. The western boundary borders on Commonage Land and the Kuruman Cemetery, approximately 800m from the site. Residential III land use exists along the southern boundary, with Skool Street and Residential I land uses along the eastern boundary.

The existing infrastructure comprises of the old Commando Office building with ablutions, a steel structure used for storage, a maintained garden, power and tele-communication lines and a gravel parking area. The site is surrounded by a high, secure boundary fence.

The GPS co-ordinate plotted from the centre point of the study area is recorded as:







S 27° 27' 48.3" E 23° 25' 35.0" (refer to Annexure A (3), Photo series)

Topography

The topography of the study varies from the recorded 1319m elevation in the centre-western section, to an increased 1325m along the eastern boundary. The northern portion of the site appears to be relatively flat, with the eastern and south-eastern section sloping west. Rock piles were noted in the south-eastern corner of the site. (*these may have been disposed of by the southern residential development*).

PHOTO SERIES

ERF 2467, SKOOL STREET, KURUMAN, GA-SEGONYANA : OLD COMMANDO OFFICES

No.	Description	No.	Description
1.		2.	
<p>Position: the following photographs were taken from a position in the centre of the current parking area located in front of the existing Kommando offices. GPS co-ordinates: S 27°27' 46.7" E 23° 25' 35.4"</p> <p>Direction: North</p>		<p>Direction: north-east</p> <p>Description: part of the northern boundary of the study area. The area is already disturbed and currently utilised for parking.</p>	
3.		4.	
<p>Direction: East</p> <p>Description: A view of the access to the study area which exists in Skool Street, and along the north-eastern boundary of the fenced study area. The old Protect Camel Thorn <i>erioloba</i> tree should not be disturbed by the proposed development.</p>		<p>Direction: south-east</p> <p>Description: view of the existing old Commando Offices.</p>	
5.		6.	
<p>Direction: south</p> <p>Description: Old Oak tree and a view of the</p>		<p>Direction: south-west</p> <p>Description: view of the boundary of the</p>	

Recommendations recorded in the Environmental Issues Determination Report compiled by FCS;

The National Heritage Resources Act, (NHRA) (Act No. 25 of 1999), protects heritage resources which include archaeological and paleontological objects/sites older than 100 years, graves older than 60 years, structures older than 60 years, as well as intangible values attached to places. The Act requires that anyone intending to disturb, destroy or damage such sites/places, objects and/or structures may not do so without a permit from the relevant heritage resources authority. This means that a Heritage Impact Assessment should be performed, resulting in a specialist report as required by the relevant heritage resources authority/ies to assess whether authorisation may be granted for the disturbance or alteration, or destruction of heritage resources.

In addition to guidelines provided by the National Heritage Resources Act (Act No. 25 of 1999), a set of criteria based on Deacon (nd) and Whitelaw (1997) for assessing archaeological significance has been developed for Northern Cape settings (Morris 2000a). These criteria include estimation of landform potential (in terms of its capacity to contain archaeological traces) and assessing the value of any archaeological traces.

The Northern Cape has a wealth of pre-colonial archaeological sites (Beaumont & Morris 1990; Morris & Beaumont 2004). Archaeological sites in the region include the world renowned long-sequence Wonderwerk Cave and the major Tswana town and Pre-colonial stone-walled settlements at Dithakong.

Where archaeological sites and paleontological remains are concerned, SAHRA at national level acts on an agency basis for the Provincial Heritage Resources Agency (PHRA) in the Northern Cape. Ngwao Bošwa ya Kapa Bokone (the PHRA in the Northern Cape) is responsible for the built environment and other colonial era heritage and contemporary cultural values.