

PROVISION FOR DISABLED PERSONS (NBR Part 5) :

- IT MUST BE NOTED THAT:
- THIS IS A MINOR ADDITION AND ALTERATION TO A BUILDING. RETROFITTING THIS BUILDING TO SUIT THE NEW STANDARDS WOULD CHANGE THE NATURE OF THIS APPLICATION TO MAJOR ADDITIONS & ALTERATIONS AND WOULD MAKE THESE: LABORIOUS, OUTSIDE OF THE BUDGET, AND THAT WAS ORIGINALLY BUILT BETWEEN 1988 AND 2003. THE ORIGINALLY WAS MOST LIKELY PRIOR TO ACT 10/17/77, WHILE THE ADDITION (2003) WAS PRIOR TO THE CURRENT STANDARDS FOR PROVISION FOR DISABLED PERSONS (PART 5 & 1 OF SANS 10400).
 - THE STANDARDS ARE NOT RETROSPECTIVE IN NATURE.
 - ANNEX B11 OF SANS 10400-4 (2016), WHICH IS STILL RELEVANT, IS CLEAR THAT THE OWNER & MUNICIPALITY MUST "all have to consider what they are trying to achieve with the Regulations and the user should be tempered by the knowledge of what is reasonable and practical to require of an existing building. THIS INCLUDES "It is obvious that a pragmatic and essentially practical approach is necessary. In terms of the functional regulations every attempt shall be made to ensure the safety and health of the occupants of the building, but this should be within the context of what might be practical and economically sound in an old building. If an owner or entrepreneur cannot offer a building to suit his purpose at a cost which will enable him to have a reasonable economic return, he will probably not alter the building at all. This could lead to the perpetuation of a situation which might be dangerous but one which is in compliance with old by-law and is thus perfectly legal. Such a situation could often be considerably improved by making certain changes that are practical and economically sound even though they would not provide the same standard as would be expected in a new building"
 - THE OCCUPANCY CLASSIFICATION OF THE SITE, WHILE NOT EXEMPT IN TERMS OF THE REGULATION PART 5, REQUIRES THAT THE OWNER MUST GIVE ENTRY TO THE SITE IN TERMS OF HEALTH & SAFETY UNDER THE GENERAL SAFETY REGULATIONS (Admittance of persons 2(1) & (2)) FOR ACT 85 OF 1993 (occupational health & safety act). THIS SITE USAGE ALSO IS SUCH THAT THE A WHEELCHAIR BOUND PERSON COULD NOT ACCESS THE PLANT / FACTORY AREAS, WITHIN WHICH THE LABORATORY IS SITUATED AND IN FACT WOULD ENDANGER OTHER PERSONS (INCLUDING THE H & S OFFICERS) IN THE FACTORY.
- WITH THIS IN MIND THE MAIN OFFICE AREA, SITUATED OUTSIDE THE FACTORY AREA HAS PROVISION FOR DISABLED PERSONS. THIS WOULD ALLOW FOR:
- THE SAFETY OF PERSONS WORKING IN THE FACTORY (INCLUDING THE LABORATORY).
 - THE SAFETY OF ANY HEALTH & SAFETY OFFICERS PERFORMING THEIR LIFE SAVING DUTIES WITHIN THE FACTORY AREA AND
 - ALLOWING FOR ANY STAFF THAT BECOME DISABLED TO BE RELOCATED TO THE MAIN OFFICE TO CONTINUE WORKING FOR AED.

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REFERENCE DRAWING

GENERAL NOTES :

- All work to comply with the National Building Regulations and the related SANS 10400 series of documents.
- Boundary markers to be located and exposed before work on site commences.
- Contractor to check all dimensions and levels (schedules and details) before the relevant work is placed in hand and report any discrepancies to the designer/owner.
- All within dimensions to be taken in preference to scaling.
- All reinforced concrete, slabs, foundations, columns, beams, stairs, structural steel work and retaining walls are to be built strictly in accordance with professional engineers detail and under his supervision.
- Contractor to ensure that no changes in levels are made over local authority furnished information has been given in writing by the local authority.
- Any discrepancies and omissions are to be brought to the designers/owners attention immediately.
- The contractor is to inspect the official approved copies of the drawings to ensure that all amendments / deviations have been taken into account.
- The attention of the owner is drawn to the fact that changes to the plan and specification after official approval is likely to invalidate that approval.
- All N.B.R.L. & S.A.B.S. standards and specifications are to be adhered to on a minimum standard.
- All exposed roof timbers to be sealed.
- Profile metal roof sheeting to match existing on timber purlins and rafters in compliance with SANS 10400 K.
- All joints / overlaps of new & existing sheeting to be rendered waterproof.
- Three 5mm x 5mm fascia boards.
- P.v.c. rain water goods to be provided.
- 60mm thick polystyrene or polyisocyanurate board insulation, fixed below purlins between rafters to be finished as a ceiling.
- Fl. lintols above all openings.
- Brickwork to match existing.
- 2 course brickwork @ window sill level to be reinforced with brickwork.
- Every course brickwork above lintols to be reinforced with brickwork.
- Every third course of brickwork to be reinforced with brickwork in solid cement mortar joints.
- 200mm brickforce in internal walls.
- 100mm brickforce in external walls.
- 375 mic. dac. to be provided to walls of slab level, under all cills and to parapets.
- Aluminium windows to be used.
- C/S to match existing.
- 65 thick conc. surface bed reinforced with B.R.C. mesh on D.P.M. on a clean sand bed.
- Sub floor ground to be poisoned.
- Depth of foundations to engineer's details.
- Provide 1:2 to all levels & intersections of sewer line.
- All sanitary fittings to be trapped in accordance with SANS 10400-P.
- All WC cisterns to have overflows that lead to the outside and in visible positions.
- As a minimum standard, splashback tiles to be provided above all hand wash basins, baths & sinks.
- All foundations, walls, columns, beams, stairs and structural aspects of the building to be to the engineer's design and detailing.
- Glazing to comply with SANS 10400-K.
- Artificial lighting by elect. eng.
- Ventilation & air-conditioning, including fresh air makeup and smoke control to mechanical engineer's detail.
- No provision for disabled persons are made in this addition & alteration. See detailed note & Existing Provision.

PLAN SHOWING ENVELOP IN TERMS OF NBR-XA STOREY 1 & 2 (1:250)

GLAZING SCHEDULE: ALL GLAZING TO COMPLY TO SANS 10400-N:2010. ALL GLAZING ARE TO BE SUPPORTED ON ALL SIDES, SAFETY GLAZING TO COMPLY WITH THE REQUIREMENTS OF SANS 1263-1

NO.	TYPE	SIZE	GLAZING MATERIAL	GLASS FINISH	FRAME	FRAME FINISH	FINISH
1	DOUBLE DOOR - B1	1700 x 2100 (1.53m ²)	4mm TOUGHENED SAFETY GLASS	CLEAR	ALUMINIUM	ANODIZED	AS SUPPLIED
2	SINGLE DOOR - D	800 x 2100 (1.68m ²)	4mm TOUGHENED SAFETY GLASS	CLEAR	ALUMINIUM	ANODIZED	AS SUPPLIED
3	W1	600 x 850 (0.51m ²)	3mm MONOLITHIC ANNEALED	CLEAR	ALUMINIUM	ANODIZED	AS SUPPLIED
4	W2	2620 x 1100 (2.88m ²)	3mm MONOLITHIC ANNEALED	CLEAR	ALUMINIUM	ANODIZED	AS SUPPLIED
5	W3	1100 x 900 (0.99m ²)	3mm MONOLITHIC ANNEALED	CLEAR	ALUMINIUM	ANODIZED	AS SUPPLIED
6	W4	600 x 1600 (0.96m ²)	3mm MONOLITHIC ANNEALED	CLEAR	ALUMINIUM	ANODIZED	AS SUPPLIED

SCHEDULE OF AREAS

DESCRIPTION	AREA (m ²)
LAND USE MANAGEMENT CONTROLS	
GENERAL INDUSTRY	2890 & 7.5
HEIGHT	2870
PERMISSIBLE COVERAGE	75%
PERMISSIBLE FLOOR AREA RATIO	NOT APPLICABLE
PERMISSIBLE FLOOR AREA RATIO	NOT APPLICABLE
SITE AREA	21814.00m²
EXISTING LABORATORY STOREY 1	193.66m ²
EXISTING LABORATORY STOREY 2	584.14m ²
TOTAL EXISTING AREA, LABORATORY	377.79m ²
PROPOSED STOREY 1 ADDITIONS TO LABORATORY	26.17m ²
PROPOSED STOREY 2 ADDITIONS TO LABORATORY	35.84m ²
PROPOSED EXTERNAL STAIR TO LABORATORY	14.00m ²
TOTAL ADDITION AREA TO LABORATORY	76.01m ²
STORY 1 EXIST. + PROPOSED	219.83m²
STORY 2 EXIST. + PROPOSED	619.98m²
TOTAL LABORATORY AREA (exist + prop. include stair)	839.81m²
PARKING	
STORY 1 EXIST. + PROPOSED	219.78m ²
STORY 2 EXIST. + PROPOSED	219.78m ²
TOTAL LABORATORY AREA (exist + prop. include stair)	439.56m²
PARKING REQUIREMENT FOR 7m²	1
NEW PARKING PROVIDED	1

REV.	DESCRIPTION	DR.	APP.	DATE
A3	NEW GROUND FLOOR WINDOWS ADDED	VB	CB	22/11/2022
A2	FINISHES ADDED	VB	CB	15/11/2022
A1	ISSUED FOR MUNICIPAL APPLICATION	VB	CB	25/10/2022

OWNER SIGN: *[Signature]* DATE: 23 November 2022

OWNER NAME: Mr. S. BUDEN SINGH FOR AECI Speciality Chemicals
OWNER TEL: 031 4618680

AUTHOR SIGN: *[Signature]*
AUTHOR NAME: V. BOODU
SACAP #: 70050
AUTHOR TEL: 0833895923

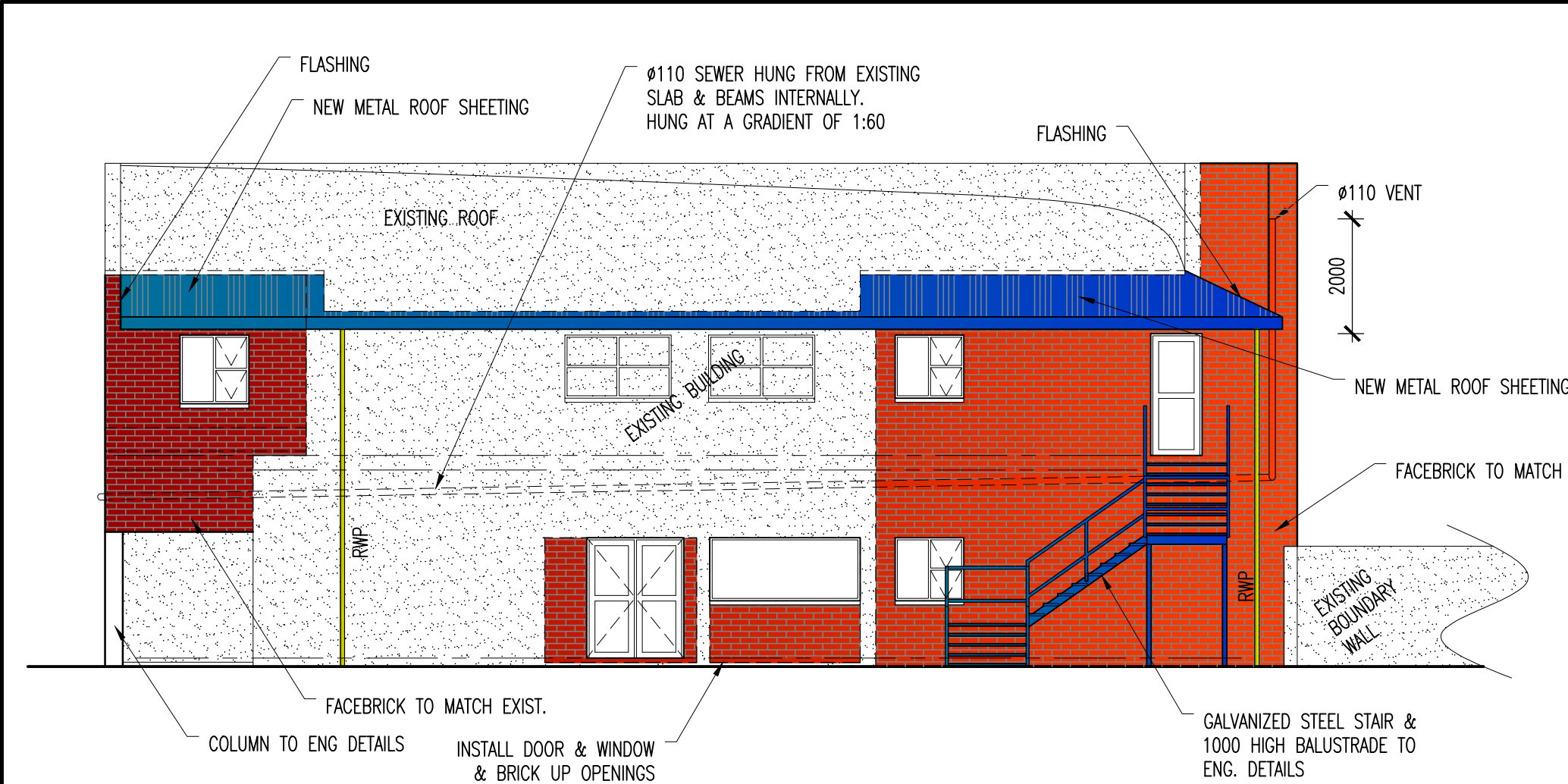
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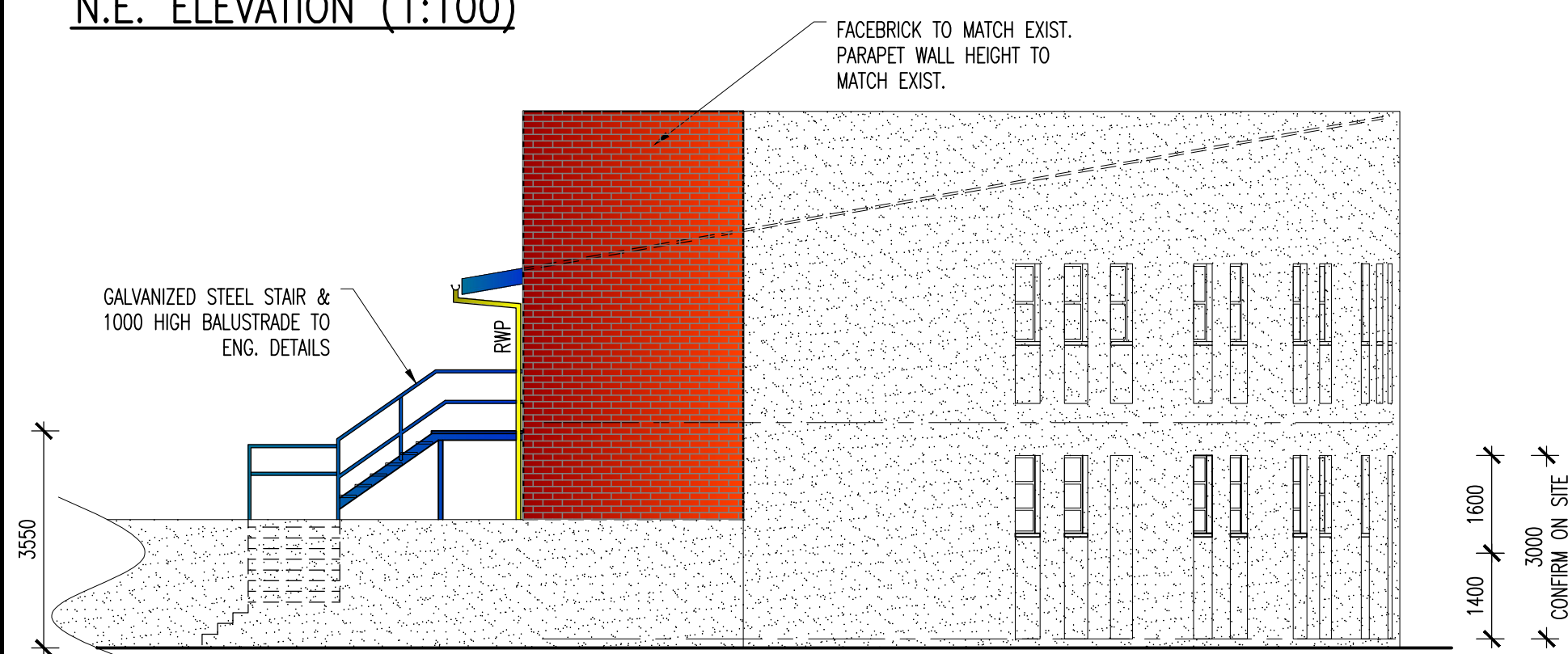
CLIENT: AECI SPECIALITY CHEMICALS
PROJECT DESCRIPTION & ADDRESS: ADDITIONS & ALTERATION TO LABORATORY BUILDING AT 323 CHAMBERLAIN ROAD.

DWG TITLE: BUILDING DETAILS

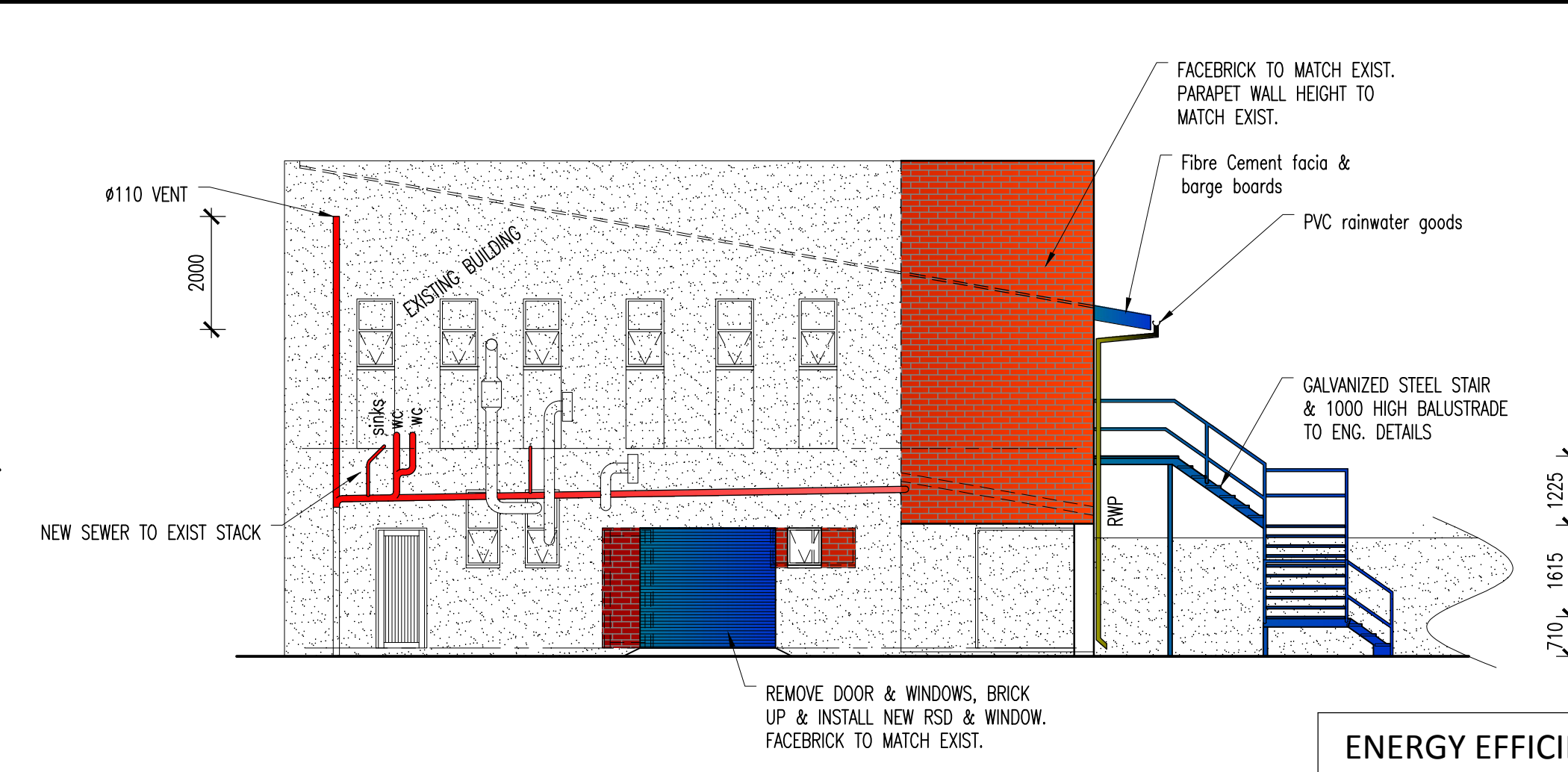
SCALE: 1:250
DRAWING NO.: 20545-4801
REV: A3



N.E. ELEVATION (1:100)



N.W. ELEVATION (1:100)



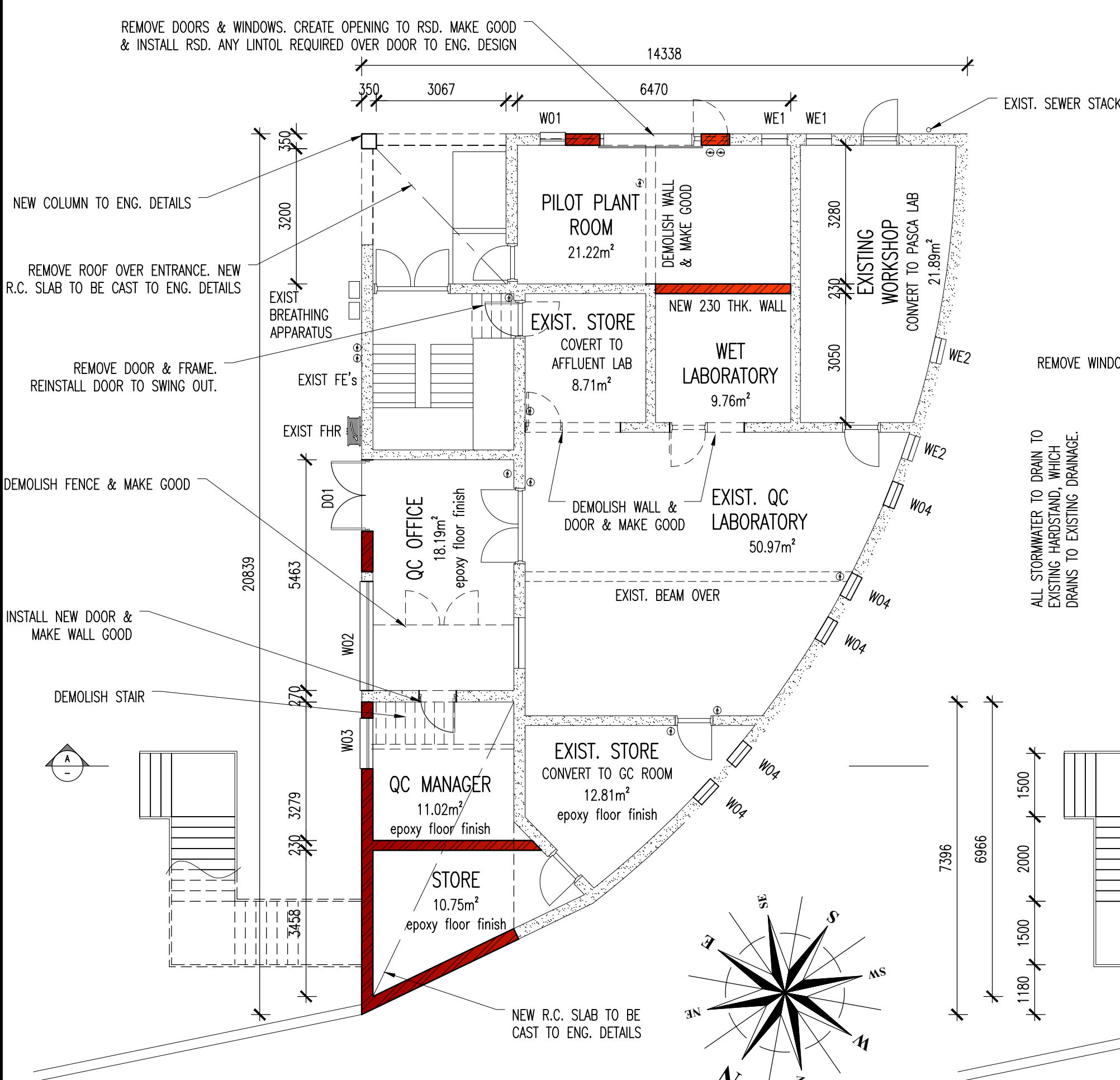
S.E. ELEVATION (1:100)

- INTERNAL FINISHES:
- Epoxy floor finish to all ground floor areas unless otherwise stated.
 - Provide powerskirting to all rooms.
 - Highly reflective paint to all walls to Electrical Eng. details.
 - Internal doors to be hollow core masonite in timber frames.
 - Any counters / work surfaces and cupboards are to owners layout. Working surfaces to be constructed of brick & epoxy coated, concrete (or similar approved).

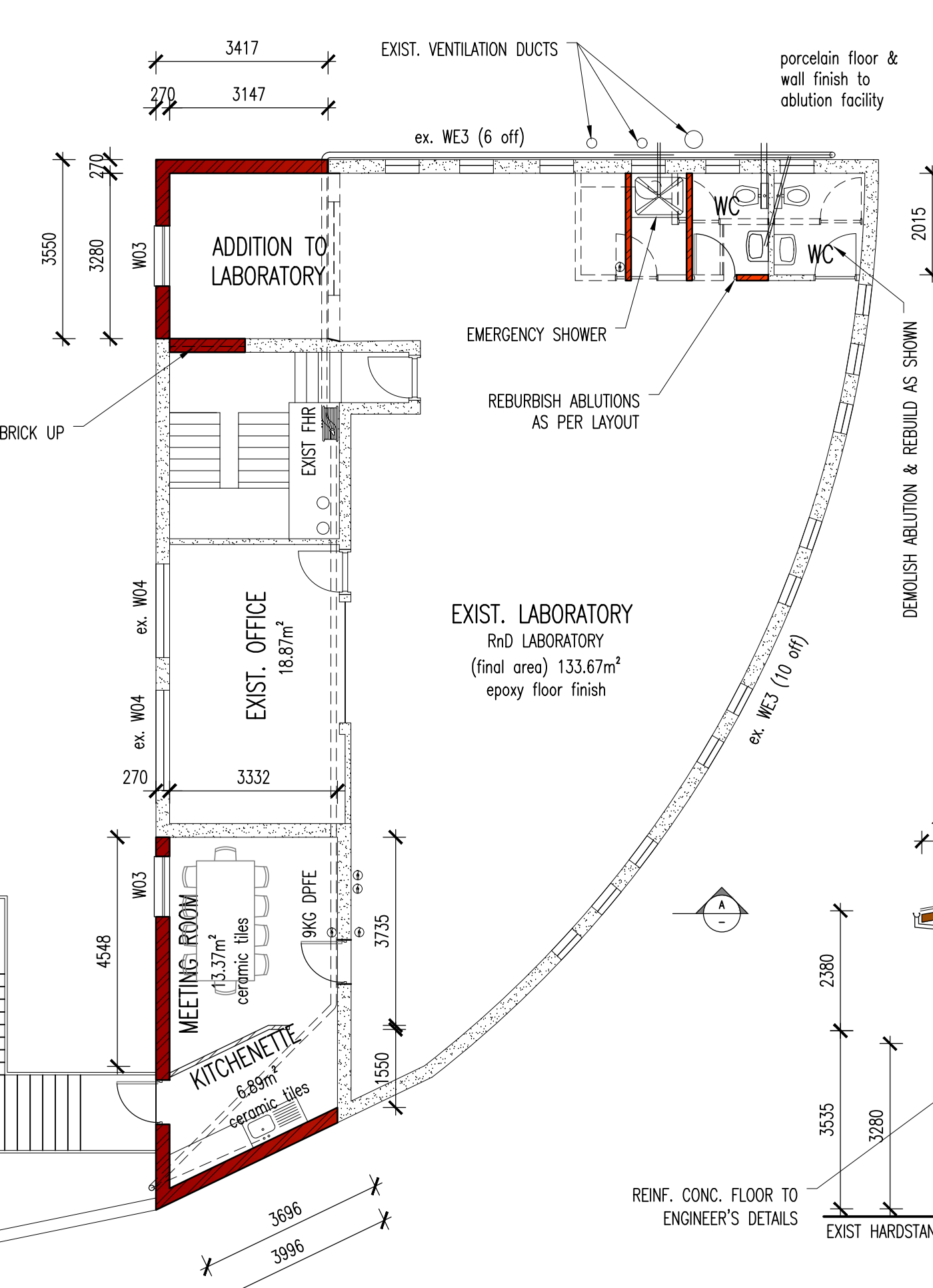
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REFERENCE DRAWING

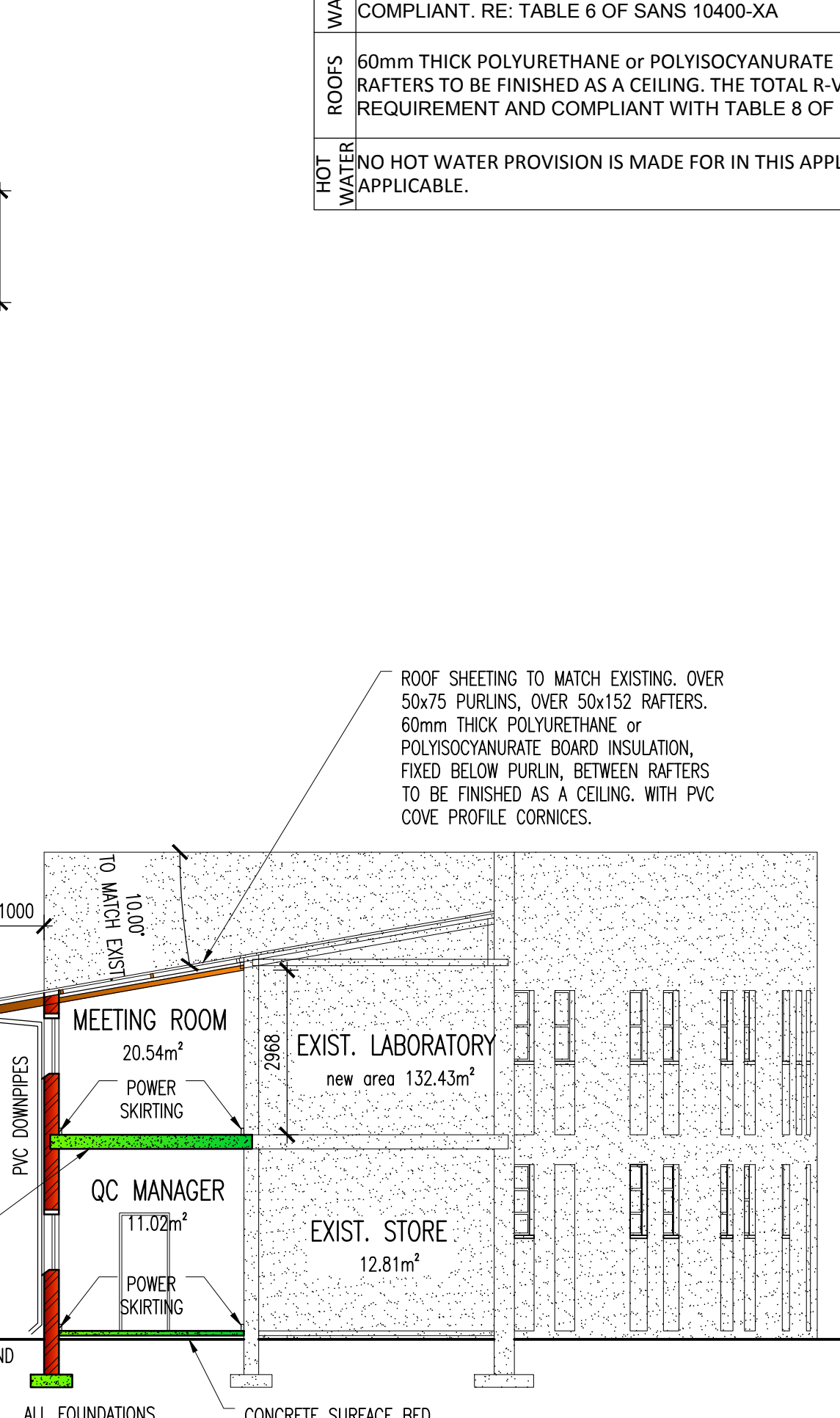
ENERGY EFFICIENCY (fenestration/net floor area), LIGHTING AND VENTILATION					
ROOM	AREA	FENESTRATION	# OFF	AREA	TOTAL AREA
EXISTING WORKSHOP CONVERT TO PASCA LAB	21.890m ²	D01	1	3.570m ²	3.57m ²
WET LABORATORY	9.760m ²	W01	1	0.390m ²	0.39m ²
EXIST. STORE CONVERT TO AFFLUENT LAB	8.790m ²	W02	1	2.882m ²	2.88m ²
EXIST. QC LABORATORY	50.970m ²	W03	1	1.320m ²	1.32m ²
QC OFFICE	18.190m ²	W04	5	0.960m ²	4.80m ²
QC MANAGER	11.020m ²	WE1	2	0.800m ²	1.60m ²
STORE CONVERT TO GC ROOM	12.810m ²	WE02	2	0.960m ²	1.92m ²
STORE	10.750m ²				
TOTAL	144.180m ²				16.482m ²
NET FLOOR AREA TO FENESTRATION AREA %					11.43%
5.66% IS <20% AND THEREFORE ANY SOLUTION FOR U-VALUE & SHGC (WITH OR WITHOUT SHADING FOR ALL ORIENTATIONS IS APPLICABLE IN TERMS OF SANS 10400-XA 5.3 (2021 EDITION 2)					
EXISTING LABORATORY WITH ADDITIONS	133.670m ²	W03	2	1.320m ²	2.64m ²
EXIST. OFFICE	18.870m ²	WE3	16	0.720m ²	11.52m ²
MEETING ROOM	13.370m ²	WE4	2	2.040m ²	4.08m ²
KITCHENETTE	6.890m ²	D02	1	1.890m ²	1.89m ²
ABLUTIONS	8.920m ²				
TOTAL	181.72				20.130m ²
NET FLOOR AREA TO FENESTRATION AREA %					11.08%
10.78% IS <20% AND THEREFORE ANY SOLUTION FOR U-VALUE & SHGC (WITH OR WITHOUT SHADING FOR ALL ORIENTATIONS IS APPLICABLE IN TERMS OF SANS 10400-XA 5.3 (2021 EDITION 2)					
THE CLAY BRICK WALL WOULD HAVE A CAVITY. PROVIDING A R-VALUE OF > 0.6 m ² .KW AND IS THEREFORE COMPLIANT. RE: TABLE 6 OF SANS 10400-XA					
ROOFS	60mm THICK POLYURETHANE or POLYISOCYANURATE BOARD INSULATION, FIXED BELOW PURLIN, BETWEEN RAFTERS TO BE FINISHED AS A CEILING. THE TOTAL R-VALUE WOULD BE GREATER THAN THE 2.7m ² .K/W REQUIREMENT AND COMPLIANT WITH TABLE 8 OF SANS 10400-XA.				
HOT WATER	NO HOT WATER PROVISION IS MADE FOR IN THIS APPLICATION. THIS REQUIREMENT IS THEREFORE NOT APPLICABLE.				



STOREY 1 FLOOR PLAN (1:100)



STOREY 2 FLOOR PLAN (1:100)



SECTION A-A (1:100)

REV	DESCRIPTION	DR.	APP.	DATE
A3	NEW GROUND FLOOR WINDOWS ADDED	VB	CvB	22/11/2022
A2	FINISHES ADDED	VB	CvB	15/11/2022
A1	ISSUED FOR MUNICIPAL APPLICATION	VB	CvB	25/10/2022

INITIALS	SIGN	DATE
DESIGNED VB		-
DRAWN VB		-
PROJECT ENG. AK		-
APPROVED CvB		-
OWNER SIGN: <i>[Signature]</i>		DATE: 23 November 2022
OWNER NAME: Mr. S BUDEN SINGH FOR AECI Speciality Chemicals		
OWNER TEL: 031 4618680		
AUTHOR SIGN: <i>[Signature]</i>		
AUTHOR NAME: V. BOODU		
SACAP #: T0050		
AUTHOR TEL: 0833895923		



CLIENT: **AECI**
PROJECT DESCRIPTION & ADDRESS: ADDITIONS & ALTERATION TO LABORATORY BUILDING AT 323 CHAMBERLAIN ROAD. ERF 217 WENTWORTH

DWG TITLE	SCALE	REV
BUILDING DETAILS	1:100	A3
DRAWING NO. 20545-AR02		