

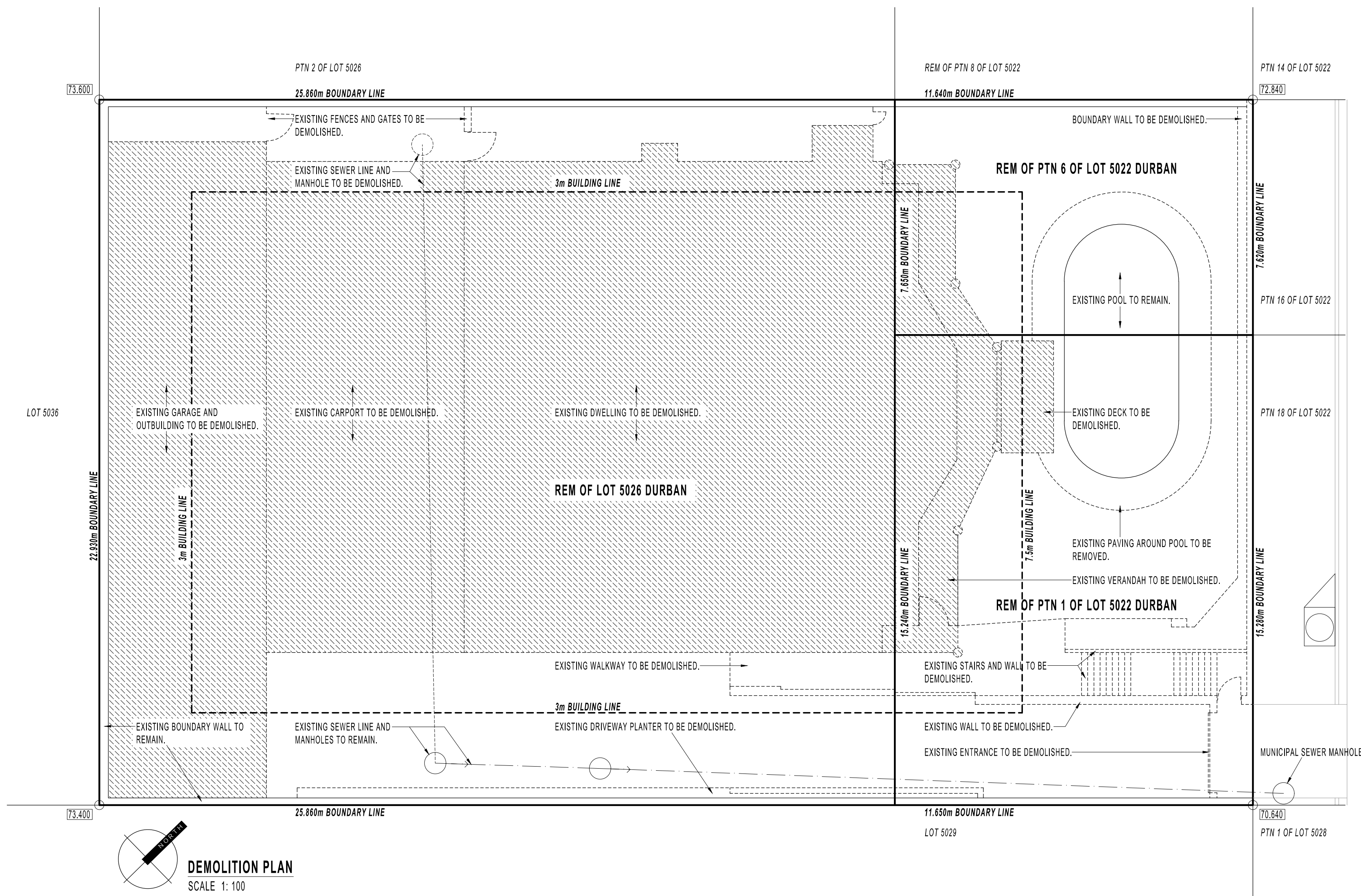
TITLE: AMAFA APPLICATION FOR THE DEMOLITION OF A RESIDENTIAL DWELLING OVER 60 YEARS

LOCATION: 469 Dinu Zulu (Berea) Road, Durban

REF.: 0487-02-ANX-04

DATE: 09 July 2021

ANNEXURE D - PROPOSED DEMOLITION AND BUILDING PLANS



- NOTES**
1. ALL LEVELS AND DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO COMMENCING ANY WORK. DISCREPANCIES ARE TO BE VERIFIED WITH THE ARCHITECT IMMEDIATELY, PRIOR TO THE COMMENCEMENT OF ANY WORK.
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 3. ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS AND RELEVANT LOCAL AUTHORITY BY-LAWS.
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ARCHITECT

REG. NO.

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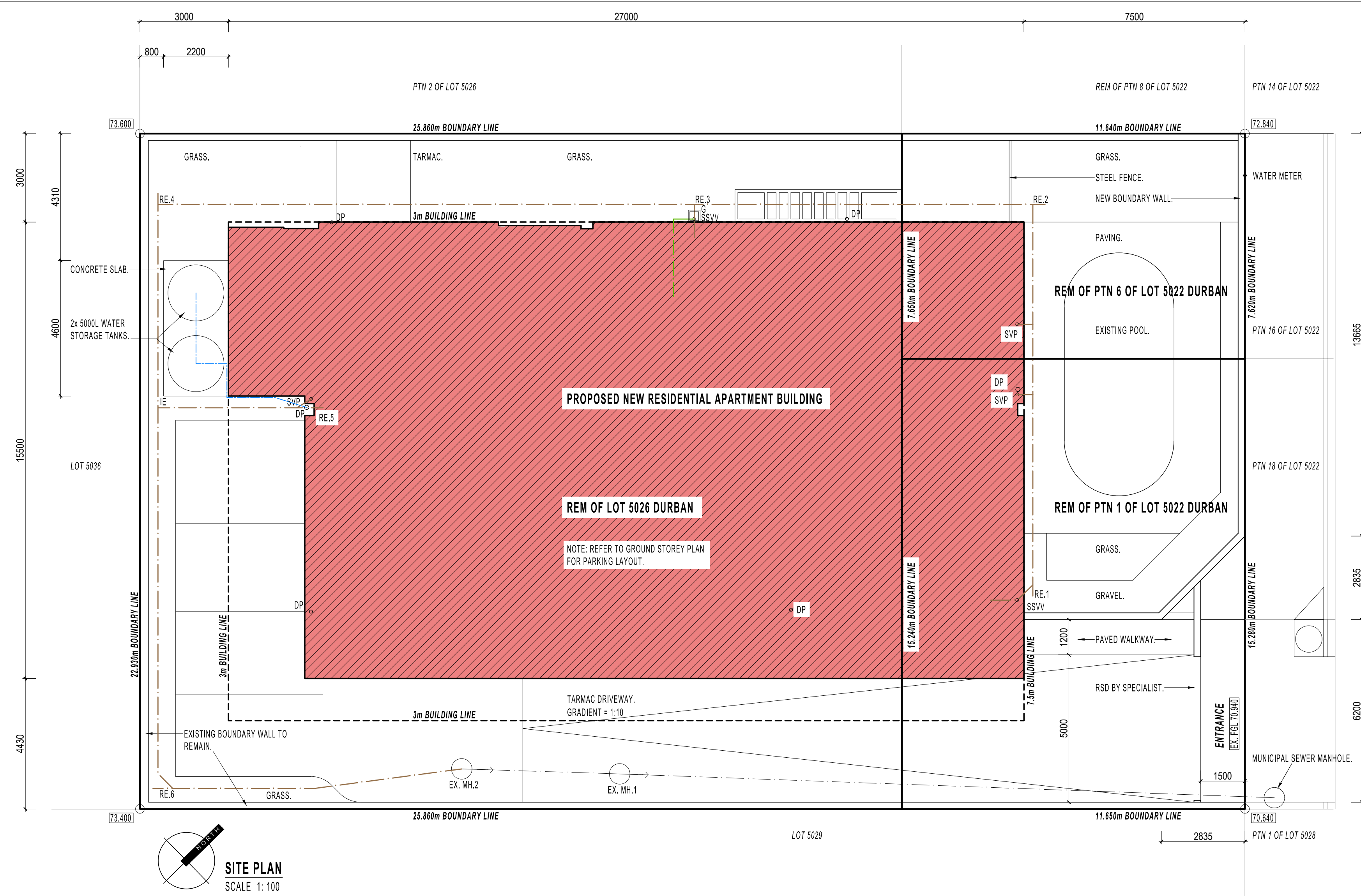
PROPOSED NEW RESIDENTIAL APARTMENTS FOR
 K.M.A. INVESTMENTS CC, ON REM OF LOT 5026,
 REM OF PTN 6 OF LOT 5022 AND REM OF PTN 1 OF
 LOT 5022 OF DURBAN, LOCATED AT 469 DINU ZULU
 ROAD, DURBAN.

PROJECT TITLE
DEMOLITION PLAN

DRAWING TITLE
 S. COLEMAN
 APPROVED
 S. COLEMAN
 AUTHOR

A1
 JULY 2021
 SHEET SIZE DATE

DRAWING INFORMATION
0487-02 - ARCH - 005 - S - 00
 DRAWING NUMBER STATUS REVISION



SCHEDULE OF AREAS (m ²)	
ZONING :	GENERAL RESIDENTIAL 1
BUILDING LINES:	
FRONT :	7.5m
SIDE AND REAR :	3m
HEIGHT :	N/A
SITE AREA :	858
FAR PERMITTED (1.12) :	1 029
FAR EXISTING (0.65) :	561
FAR TO BE DEMOLISHED (0.65) :	561
FAR PROPOSED (1.12) :	962
FAR TOTAL (1.12) :	962
COVERAGE PERMITTED (50%) :	429
COVERAGE EXISTING (53%) :	457
COVERAGE TO BE DEMOLISHED (53%) :	457
COVERAGE PROPOSED (46%) :	392
COVERAGE TOTAL (46%) :	392
PARKING REQUIREMENTS:	
TOTAL UNITS PROPOSED :	7 UNITS
BAYS REQUIRED PER UNIT (2 BEDROOMS) :	1.5 BAYS
TOTAL BAYS REQUIRED :	10.5 BAYS
TOTAL BAYS PROPOSED :	11 BAYS

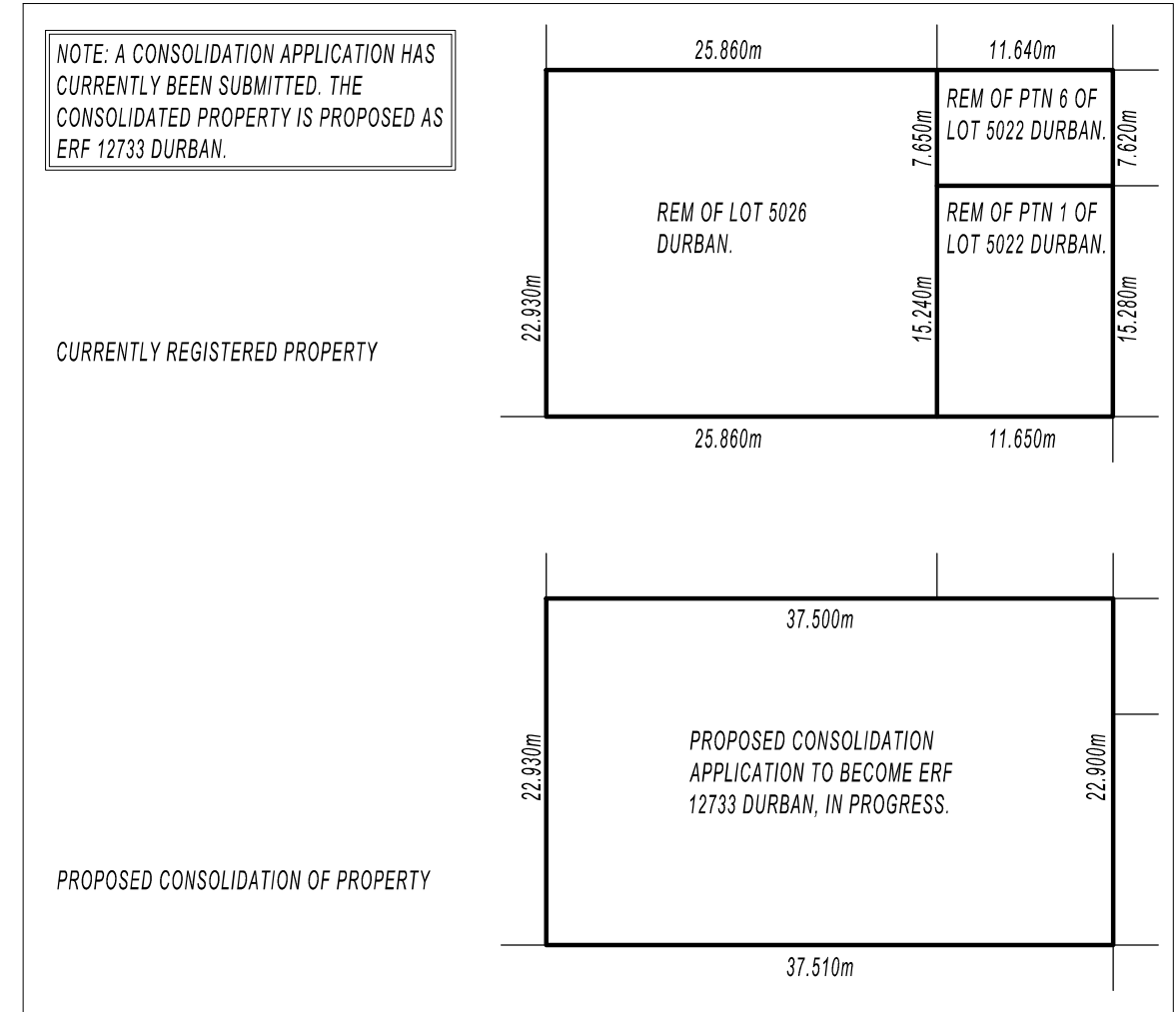
STORMWATER DISPOSAL (m²):

EXISTING HARDENED AREA CURRENTLY DISCHARGING TO STREET :	783
TOTAL HARDENED AREA OF NEW PROPOSAL :	666
PORTION OF NEW PROPOSAL HARDENED AREA CONNECTED TO WATER STORAGE TANKS :	174
BALANCE OF NEW PROPOSAL HARDENED AREA DISCHARGING TO STREET :	492

MOTIVATION:
THE EXISTING SITE CURRENTLY HAS 783m² OF HARDENED AREA WHICH DISCHARGES ONTO THE STREET.

THE NEW PROPOSAL INTRODUCES MORE GARDEN AREA, REDUCING THE HARDENED AREA TO 666m². IN ADDITION, WATER STORAGE TANKS HAVE BEEN INCORPORATED TO COLLECT 174m² OF ROOF AREA.

EXCLUDING ANY OVERFLOW FROM THE WATER STORAGE TANKS, THE REMAINING HARDENED AREA NOW DISCHARGING TO THE STREET WILL BE REDUCED TO 492m², A REDUCTION OF 37% OVER THAT OF THE EXISTING.



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SITE PLAN
SCALE 1: 100

- GENERAL NOTES**
- ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE.
 - ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY AND PRIOR TO THE COMMENCEMENT OF ANY BUILDING OPERATIONS.
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, SCHEDULES AND SPECIFICATIONS RELATED TO THIS PROJECT AS WELL AS ALL ENGINEERS' DRAWINGS.
 - DRAWINGS ARE NOT TO BE SCALED, USE FIGURED DIMENSIONS.
 - ALL BUILDING WORK AND MATERIALS ARE TO COMPLY WITH THE LOCAL AUTHORITIES REQUIREMENTS AND ARE TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS.
 - UNLESS OTHERWISE STATED, ANY PRODUCTS SPECIFIED BY TRADE NAME ARE TO BE INSTALLED STRICTLY IN ACCORDANCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
 - ALL SLABS, BEAMS, COLUMNS, FOUNDATIONS, STRUCTURAL STEEL, STRUCTURAL WALLS, RETAINING WALLS AS WELL AS ANY OTHER STRUCTURAL ELEMENTS ARE TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
 - ALL STORMWATER DESIGN TO BE IN ACCORDANCE WITH THE ENGINEER'S DESIGN AND DETAIL AND TO THE ENGINEER'S APPROVAL.

- LINTELS AND BEAMS**
- PRE-CAST PRE-STRESSED CONCRETE LINTELS SHALL BE BUILT ABOVE EVERY WINDOW AND DOOR OPENING UNLESS OTHERWISE SPECIFIED.
 - ALL LINTELS SHALL BE DETAILED, INSPECTED AND CERTIFIED BY A COMPETENT PERSON (STRUCTURES).
 - PRE-CAST LINTELS SHALL BE PROPPED IN THE CENTRE FOR 7 DAYS.
 - BRICK COURSING ABOVE LINTELS SHALL COMPLY WITH SANS 10400-K.
 - ALL IN-SITU REINFORCED CONCRETE BEAMS TO STRUCTURAL ENGINEER'S DESIGN, DETAIL AND SPECIFICATION.

- STRUCTURAL STEEL**
- ALL STEEL COLUMNS, BEAMS, PURLINS & GIRTS TO STRUCTURAL ENGINEER'S DETAILS.
 - PAINTING OF STEEL TO STRUCTURAL ENGINEER'S SPECIFICATIONS.

- ROOF**
- THE ENTIRE ROOF STRUCTURE IS TO BE DESIGNED AND CERTIFIED BY A PROFESSIONAL STRUCTURAL ENGINEER.
 - ROOFS TO COMPLY WITH SANS 10400-L.

- EARTHWORKS AND EXCAVATIONS**
- ALL LEVELS ARE TO BE AS PER ARCHITECTS/ ENGINEER'S DRAWINGS, AND TO BE APPROVED BY ARCHITECT.
 - ALL GENERAL EXCAVATION WORK, INCLUDING CUT AND FILL, IS TO BE AS PER ENGINEER'S DRAWINGS.
 - ALL FOUNDATION EXCAVATIONS TO BE AS PER STRUCTURAL ENGINEER'S DESIGN AND TO STRUCTURAL ENGINEER'S APPROVAL.
 - TRENCHES FOR ALL PIPES, DRAINS, CABLES ETC. SHALL BE EXCAVATED TO A MINIMUM DEPTH BELOW FINISHED GROUND LEVEL SPECIFIED BY THE ENGINEER.

- FOUNDATIONS**
- ALL FOUNDATIONS ARE TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO STRUCTURAL ENGINEER'S APPROVAL.

- FLOOR SLABS AND SURFACE BEDS**
- ALL CONCRETE FLOOR SLABS AND SURFACE BEDS ARE TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
 - ALL CONSTRUCTION, MOVEMENT AND CONTROL JOINTS ARE TO BE IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
 - SURFACE BEDS SHALL BE REINFORCED CONCRETE SURFACE BEDS ON MINIMUM 250 MICRON, SABS APPROVED, POLYETHYLENE DAMP PROOF MEMBRANE (DPM) SHEETING, TO BE LAID ON A BLINDING LAYER ON WELL COMPACTED SOIL. ALL IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN AND DETAIL AND TO THE STRUCTURAL ENGINEER'S APPROVAL.
 - JOINTS IN THE DAMP PROOF MEMBRANE SHALL OVERLAP MINIMUM 100mm AND BE SEALED. THE EDGES OF THE DAMP PROOF MEMBRANE MUST BE TURNED UP AROUND THE PERIMETER OF THE SLAB.
 - SURFACE BEDS ARE TO BE STEPPED DOWN AT THRESHOLDS, 250 MICRON PVC SHEETING TO BE TURNED UP AND DRESSED INTO THE EXTERNAL WALLS UNDER THE BRICKGRIP DPC. THE SOIL SHALL BE TREATED AND CERTIFIED BY A SOIL POISONING SPECIALIST USING APPROVED SOIL POISONING IN ACCORDANCE WITH THE RECOMMENDATIONS OF SANS 10124.

- STORMWATER**
- STORMWATER LAYOUT TO BUILDING AND SITE TO BE DESIGNED BY ENGINEER, AND TO COMPLY WITH NBR SANS 10400 PART R.
 - REFER TO ENGINEER'S STORMWATER MANAGEMENT PLAN.

- BRICKWORK GENERAL**
- ON-SITE MATERIAL STORAGE, MORTAR MIXES, PLASTER MIXES AND LAYING PRACTICE SHALL BE AS PER COROBRIK CONSTRUCTION GUIDE AND SPECIFICATIONS.
 - ALL BRICKWORK SHALL BE PLUMB & TRUE & CORRECTLY BONDED.
 - ALL BRICKWORK TO HAVE EXPANSION JOINTS TO STRUCTURAL ENGINEERS SPECIFICATION, UNLESS OTHERWISE SPECIFIED.
 - ALL BRICKWORK TO BE CONNECTED WITH GALVANISED MILD STEEL HOOP IRON TIES AT EVERY 3RD COURSE AT POLYSULPHIDE JOINTS.
 - THE OUTER FACE OF THE INNER SKIN OF BRICKWORK SHALL BE BAGGED AND PAINTED WITH A MINIMUM OF 2 COATS OF BITUMASTIC PAINT.
 - ALL BRICKWORK SHALL BE LAID ON A FULL MORTAR BED OF UNIFORM THICKNESS. PERP JOINTS SHALL BE FULL AND ACROSS THE ENTIRE WIDTH OF THE WALL LEAF.
 - BRICKWORK SHALL NOT BE LAID TO A HEIGHT ABOVE 1300mm IN A DAY.
 - DAMP PROOF MATERIALS SHALL COMPLY WITH THE RELEVANT SANS SPECIFICATIONS.
 - EMBOSSED 375 MICRON BRICKGRIP DPC SHALL BE PROVIDED AT THE TOP OF THE GROUND FLOOR SLAB AND SHALL BE SANDWICHED IN WET MORTAR AND EXTEND SLIGHTLY BEYOND THE OUTSIDE MASONRY UNIT SURFACE, AND OVER THE FULL WIDTH OF THE WALL.
 - ALL DPC'S SHALL BE LAPPED BY A MINIMUM OF 150mm AT ENDS, ANGLES, JUNCTIONS AND WHEREVER RELEVANT, AND SEALED AND SHALL BE PLACED IN ALL EXTERNAL WALLS TO A MINIMUM HEIGHT OF 150mm ABOVE GROUND LEVEL, AND UNDER WINDOW SILLS.
 - FOR ALL CAVITY WALLS, A STEPPED DPC SHALL BE USED AT FLOOR LEVEL WITH THE SLOPE FROM INSIDE TO OUTSIDE.
 - FOR ALL CAVITY WALLS WITH A FACEBRICK EXTERNAL SKIN, WEEP HOLES SHALL BE FORMED BY OPEN PERP JOINTS AT 600-1000mm CENTRES AT THE BASE OF THE WALL TO PREVENT ANY MOISTURE BUILD-UP.
 - BRICKFORCE SHALL BE USED AT EVERY 3rd COURSE ABOVE FLOOR LEVEL FOR IMPERIAL BRICKWORK. ALL TO ENG'S DETAILS.
 - BRICKFORCE SHALL BE USED AT EVERY 2nd COURSE ABOVE FLOOR LEVEL FOR COROMAXI 90 NFP, ALL TO ENG'S DETAILS.
 - BRICKFORCE SHALL BE USED AT EVERY 3rd COURSE ABOVE FLOOR LEVEL FOR COROMAXI 190mm, ALL TO ENG'S DETAILS.
 - BRICKFORCE SHALL BE USED AT EVERY 3rd COURSE ABOVE FLOOR LEVEL FOR CAVITY WALLS, ALL TO ENG'S DETAILS.
 - BRICKFORCE SHALL BE USED AT EVERY COURSE ABOVE ALL DOORS AND WINDOWS FOR FOUR COURSES AND AT WINDOW SILL LEVEL WHERE POSSIBLE.

- GLASS**
- ALL GLASS TO BE FREE FROM DEFECTS, AND FIXED IN ACCORDANCE WITH SANS 10400-N STANDARDS.
 - ALL GLASS THICKNESS TO COMPLY WITH SANS 10400-N.

- DRAINAGE NOTES**
- ALL DRAINAGE WORK AND MATERIALS ARE TO COMPLY WITH THE LOCAL AUTHORITY REQUIREMENTS IN ACCORDANCE WITH THE SANS 10400 NATIONAL BUILDING REGULATIONS PART P.
 - ALL SEWER RETICULATION, SEPTIC TANKS, SOAKPITS, MANHOLES ETC. ARE TO BE TO ENGINEER'S DESIGN, DETAIL AND SPECIFICATION.
 - PROVIDE DEEP SEAL TRAPS TO ALL FITMENTS.
 - INSPECTION EYES (IE'S) TO BE PROVIDED TO ALL BENDS AND JUNCTIONS OF ALL SOIL AND WASTE PIPES.
 - ALL INSPECTION EYES ARE TO BE ACCESSIBLE AT ALL TIMES; INSPECTION EYES IN PAVED AREAS ARE TO HAVE MARKED COVERS AT GROUND LEVEL.
 - PROVIDE 100mmØ AND 50mmØ TWO WAY VENT VALVES WHERE POSSIBLE.
 - WASTE & SOIL PIPES TO BE 50mm DIAMETER; ALL SOIL PIPES TO BE A MINIMUM OF 100mmØ.
 - WALLS AND FOUNDATIONS ARE TO BRIDGE OVER ALL PIPES.
 - REMOVABLE ACCESS PANELS ARE TO BE PROVIDED TO ALL DUCTS; FITTINGS ARE TO BE FULLY ACCESSIBLE.
 - ACCESS IS TO BE PROVIDED 150mm ABOVE GROUND LEVEL AT THE FOOT OF ALL SOIL STACKS.
 - PROVIDE HOT AND COLD WATER TO ALL WASH HAND BASINS (WHB'S), SINKS, PREP BOWLS, SHOWERS AND BATHS, UNLESS OTHERWISE STATED.
 - WASTE & SOIL PIPES ARE TO CONNECT SEPARATELY TO STACK.
 - ALL PIPES UNDER BUILDING TO BE ENCASED IN CONCRETE, INSPECTED AND APPROVED BY THE ENGINEER.
 - THE HEAD OF THE DRAIN RUN SHALL BE A MINIMUM OF 450mm BELOW FINISHED GROUND LEVEL (FGL) AND/OR NATURAL GROUND LEVEL (NGL) AND SHALL OTHERWISE BE IN ACCORDANCE WITH THE LEVELS SHOWN ON THE DRAWINGS.
 - DRAINAGE SHALL BE SINGLE STUB STACK SYSTEM WITH VENT AND ACCESSIBLE SLOW BEND AT FOOT OF STACK.
 - STANDARD PRECAST CONCRETE INSPECTION EYE COVERS SHALL BE PROVIDED OVER ALL RODDING EYES (RES) AND INSPECTION EYES (IES) UNDER ALL PAVED AREAS.
 - WASTE AND SOIL PIPES SIZES SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY BUILDING BY-LAWS.

- MECHANICAL VENTILATION & ARTIFICIAL LIGHTING**
- MECHANICAL VENTILATION :
WHERE NOT VENTILATED DIRECTLY TO OPEN AIR, TO BE MECHANICALLY VENTED WITH FRESH AIR AT A MINIMUM RATE OF 7.5 l/s PER PERSON, WITH A VELOCITY NOT EXCEEDING 0.5 m/s OR LESS THAN 0.2 m/s. ARTIFICIAL LIGHTING TO BE MINIMUM 500 LUX.

- PAINT**
- ALL PAINTS, STAINS, VARNISHES, ETC. TO BE OF AN APPROVED MANUFACTURER, AND USED IN STRICT ACCORDANCE TO THE MANUFACTURER'S INSTRUCTIONS.

- FIRE NOTES**
- THE PROPOSED DEVELOPMENT WILL COMPLY IN ALL RESPECTS TO SANS 10400-T.2011, WHERE ANY DEVIATIONS OCCUR THESE WILL BE DISCUSSED AND HIGHLIGHTED WITH THE RELEVANT AUTHORITY.
 - SAFETY DISTANCES TO COMPLY WITH T4.2.
 - DIFFERENT OCCUPANCIES TO COMPLY WITH T4.3.
 - DIVISION AREAS TO COMPLY WITH T4.4.
 - GENERAL FIRE PERFORMANCE IN RESPECT TO ELEMENTS AND COMPONENTS TO COMPLY WITH T4.5.
 - OCCUPANCY AND DIVISION SEPARATING ELEMENTS TO COMPLY WITH T4.6.
 - FIRE STABILITY OF STRUCTURAL ELEMENTS OR COMPONENTS TO COMPLY WITH T4.7.
 - ALL TENANCY SEPARATING ELEMENTS TO COMPLY WITH T4.8 AND T4.9.
 - ALL OPENINGS BETWEEN DIVISIONS AND TENANTS TO COMPLY WITH T4.10.
 - ROOF ASSEMBLIES AND COVERINGS TO COMPLY WITH T4.12.
 - ALL CEILINGS TO COMPLY WITH T4.13. CEILINGS TO BE NON-COMBUSTIBLE.
 - ALL FLOOR COVERINGS TO COMPLY WITH T4.14.
 - ALL INTERNAL FINISHES TO COMPLY WITH T4.15.
 - PROVISION OF ALL ESCAPE ROUTES TO COMPLY WITH T4.16.
 - ALL EXIT DOORS TO COMPLY WITH T4.17.
 - DIMENSIONS AND COMPONENTS OF ESCAPES ROUTES TO COMPLY WITH T4.20.
 - WIDTH OF ALL ESCAPE ROUTES TO COMPLY WITH T4.21.
 - ALL OPENINGS IN FLOORS TO COMPLY WITH T4.26.
 - ALL MARKINGS AND SIGN POSTINGS TO COMPLY WITH T4.29.
 - PROVISION OF FIRE FIGHTING EQUIPMENT TO COMPLY WITH T4.32.
 - WATER RETICULATION FOR FIRE FIGHTING PURPOSES TO COMPLY WITH T4.33 AND ALL REQUIREMENTS IN PART W.
 - ALL HOSE REELS TO COMPLY WITH T4.34.
 - ALL HYDRANTS TO COMPLY WITH T4.35.
 - PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH T4.37.
 - FIRE STOPPING OF INACCESSIBLE CONCEALED SPACES TO COMPLY WITH T4.39.
 - ALL SERVICES IN STRUCTURAL OR SEPARATING ELEMENTS TO COMPLY WITH T4.41.
 - SMOKE CONTROL TO COMPLY WITH T4.42.
 - THE DESIGN OF AIRCONDITIONING AND VENTILATION SYSTEMS TO COMPLY WITH T4.43.
 - SIGNAGE FOR DANGEROUS GOODS TO COMPLY WITH SANS 10263-0
 - ACCESS TO BUILDINGS FOR FIRE FIGHTING AND RESCUE PURPOSES TO COMPLY WITH T4.54
 - PRESUMED FIRE RESISTANCE OF BUILDING MATERIALS AND COMPONENTS TO COMPLY WITH T4.55.
 - EMERGENCY LIGHTING TO BE PROVIDED.

DATE: _____ DESCRIPTION: _____ NUMBER: _____

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ARCHITECT: _____ REG. NO. _____

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ARCHITECT

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PROJECT TITLE

SITE PLAN
SCHEDULE OF AREAS
GENERAL NOTES

DRAWING TITLE

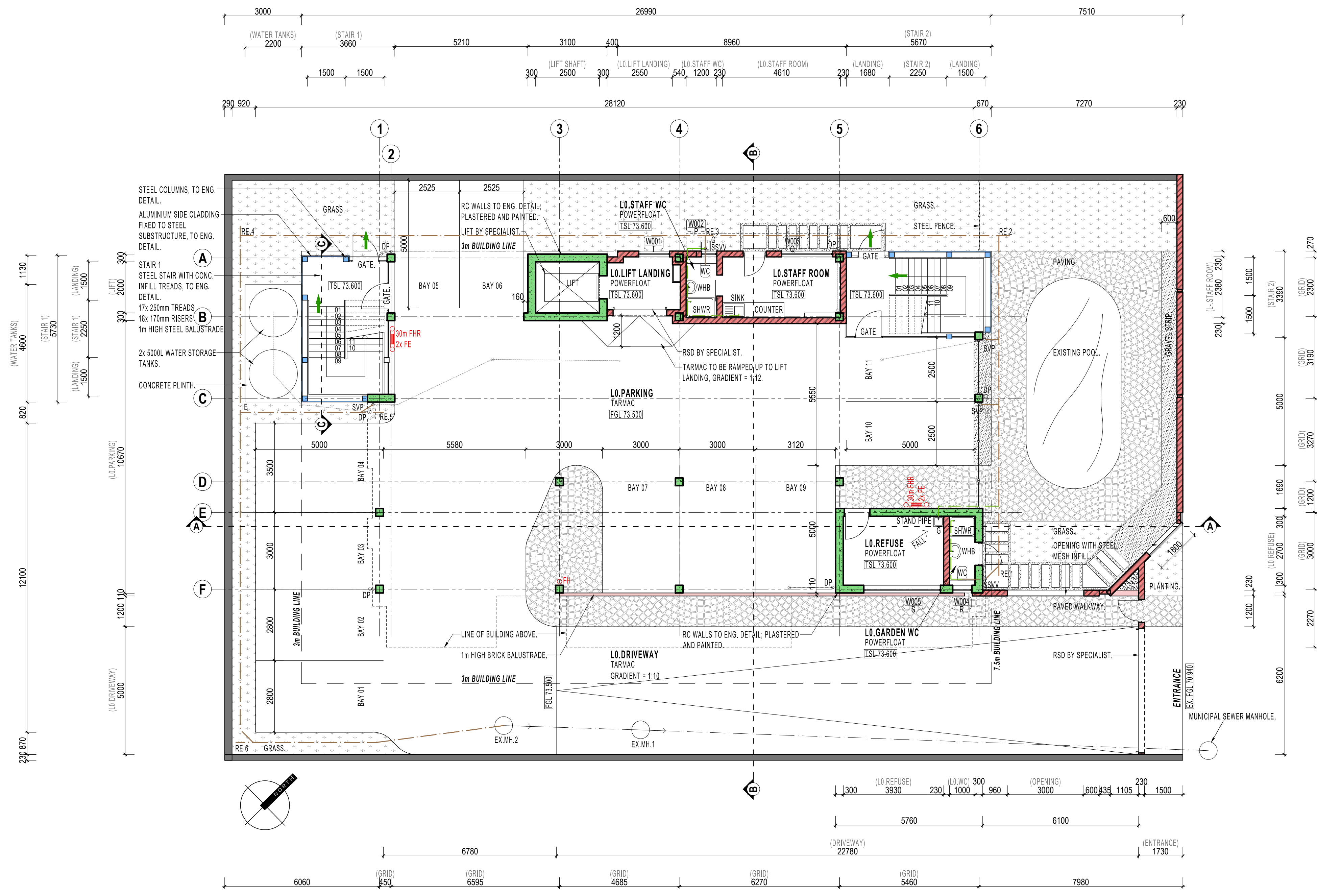
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PLAN - GROUND STOREY
SCALE 1: 100

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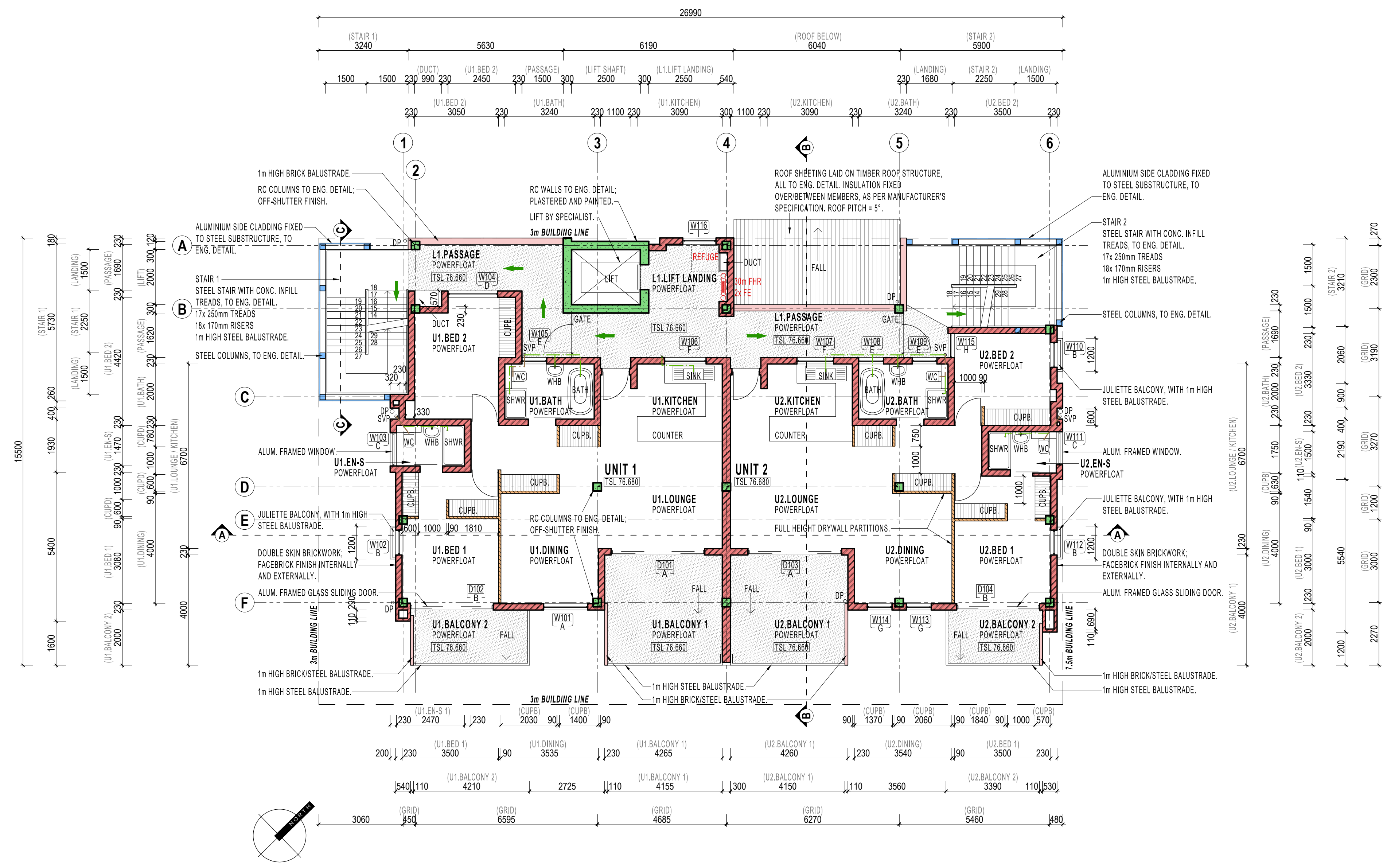
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PLAN - 1st STOREY
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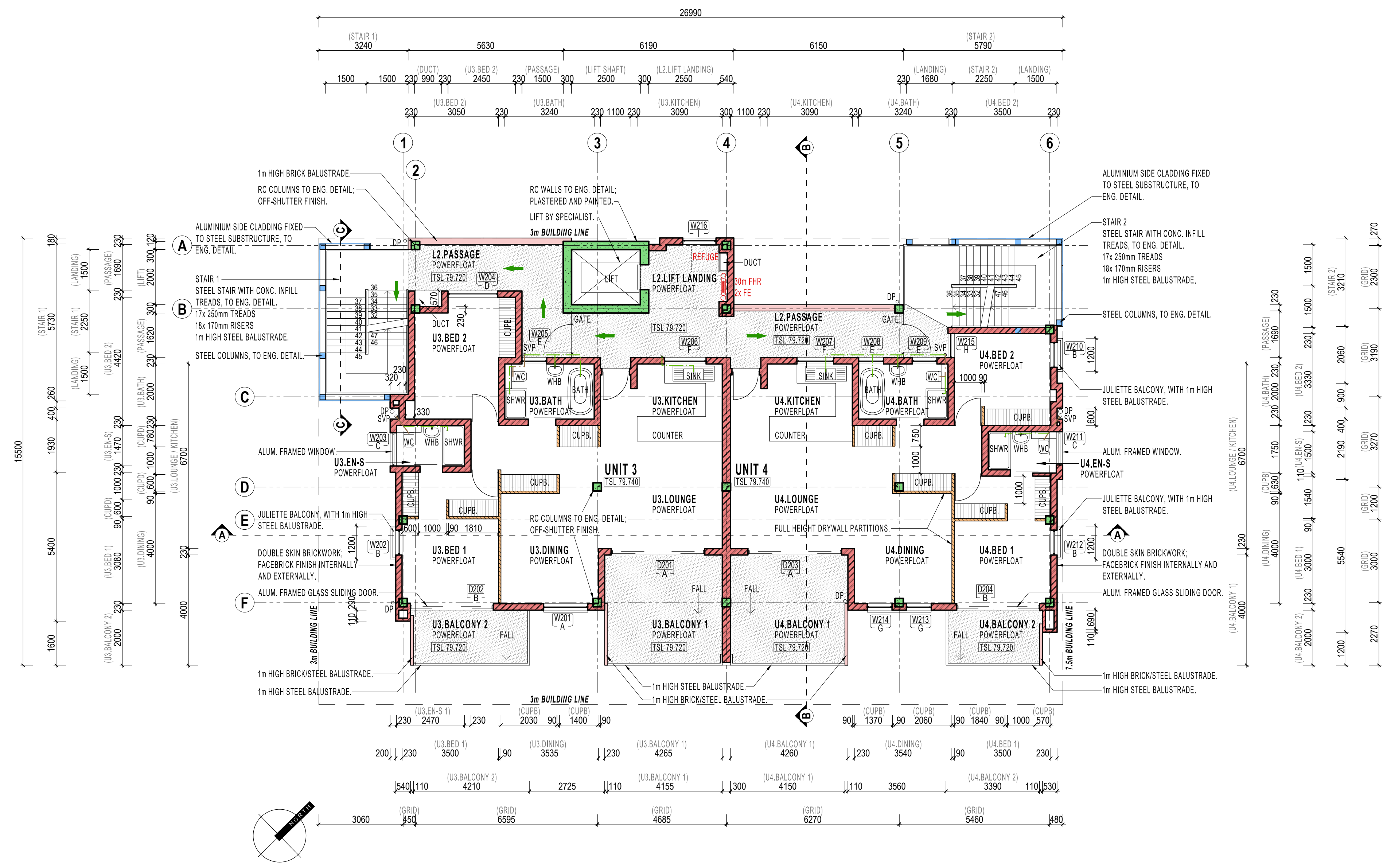
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PLAN - 2nd STOREY
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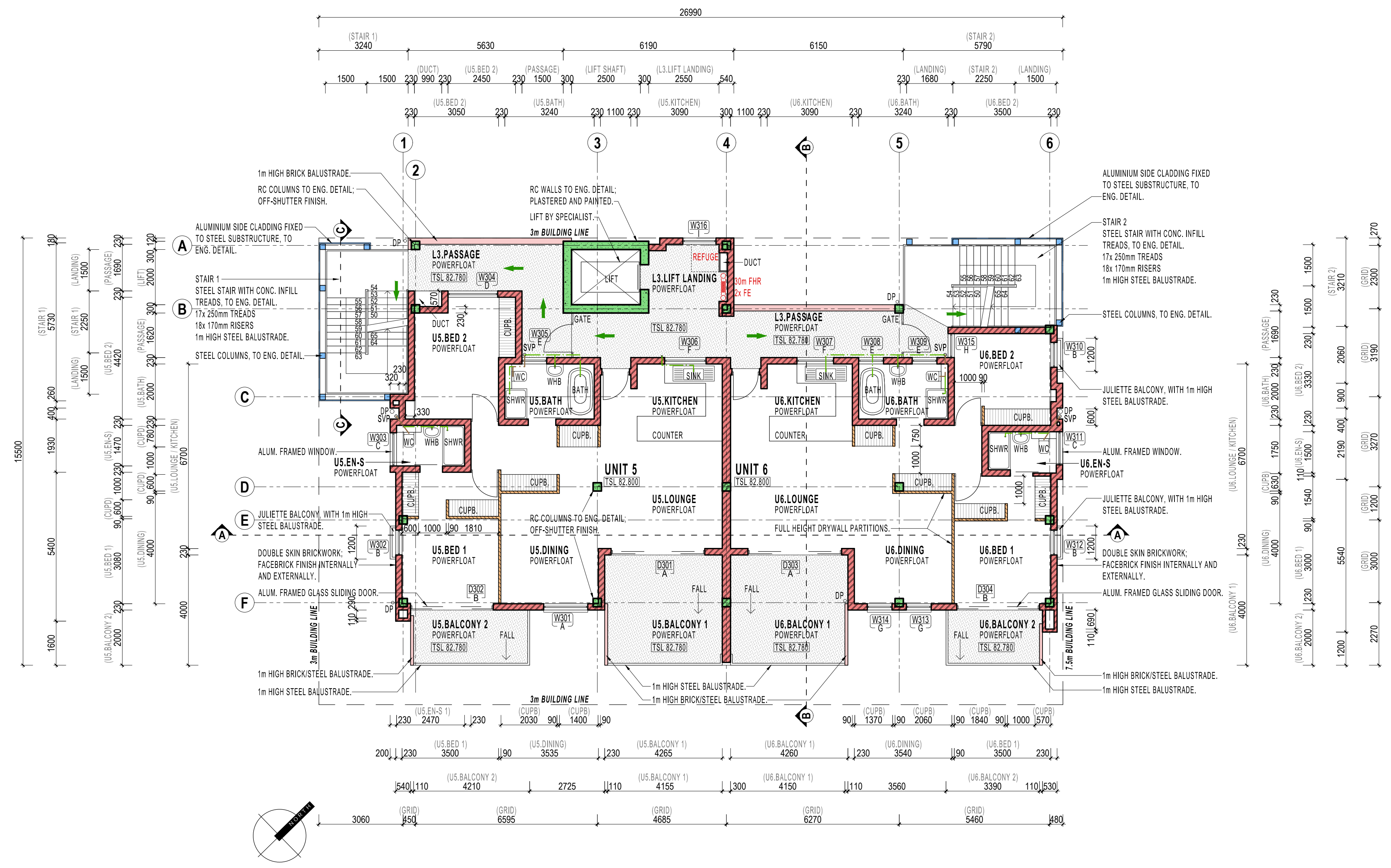
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0487-02 - ARCH - 102 - S - 00

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PLAN - 3rd STOREY
SCALE: 1:100

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PROPOSED NEW RESIDENTIAL APARTMENTS FOR
 K.M.A. INVESTMENTS CC, ON REM OF LOT 5026,
 REM OF PTN 6 OF LOT 5022 AND REM OF PTN 1 OF
 LOT 5022 OF DURBAN, LOCATED AT 469 DINU ZULU
 ROAD, DURBAN.

PROJECT TITLE
PLAN - 3rd STOREY

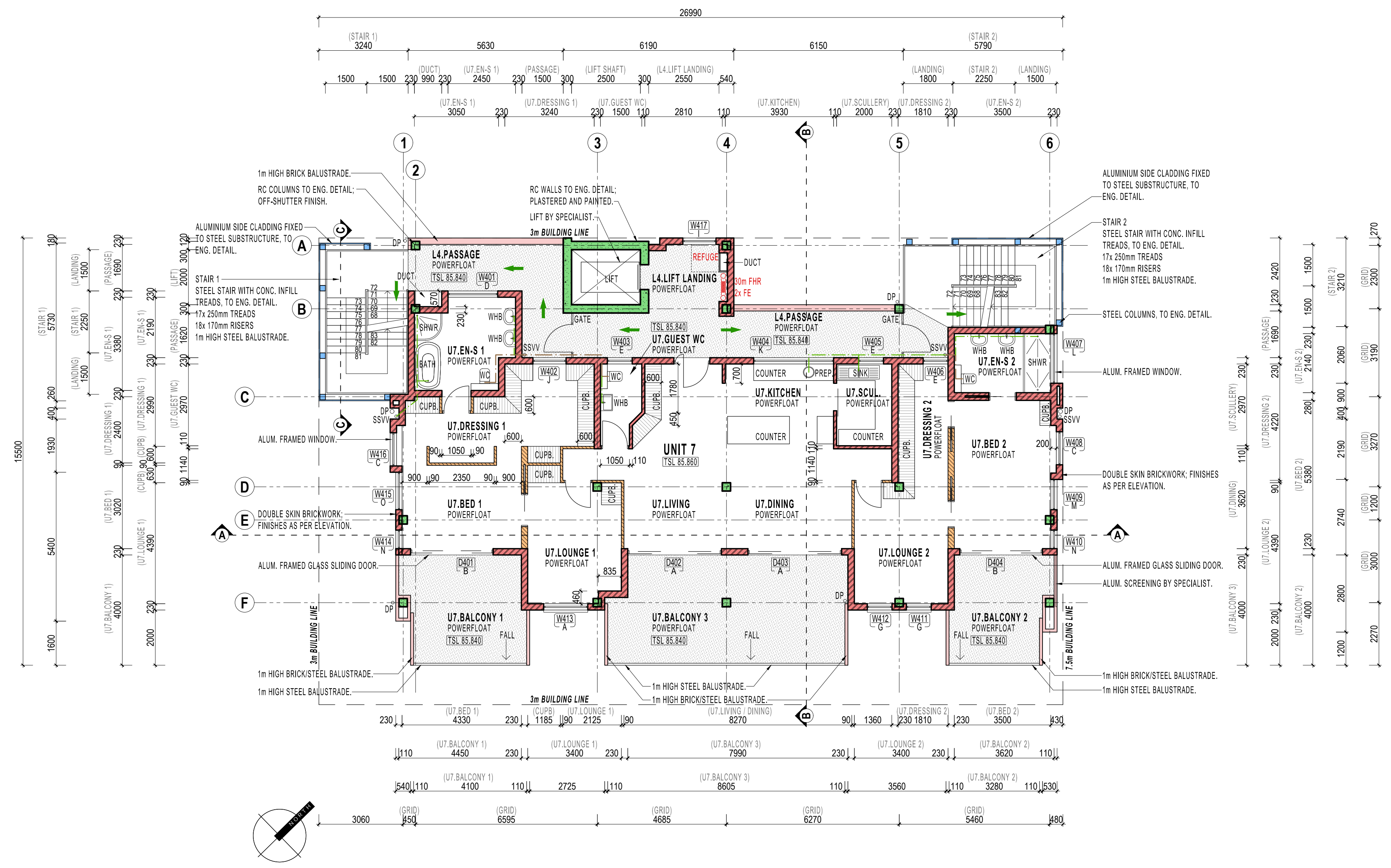
DRAWING TITLE
S. COLEMAN

APPROVED
S. COLEMAN
 AUTHOR

SHEET SIZE
A1
 DATE
JULY 2021

DRAWING INFORMATION
0487-02 - ARCH - 103 - S - 00

- NOTES**
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PLAN - 4th STOREY
SCALE 1: 100

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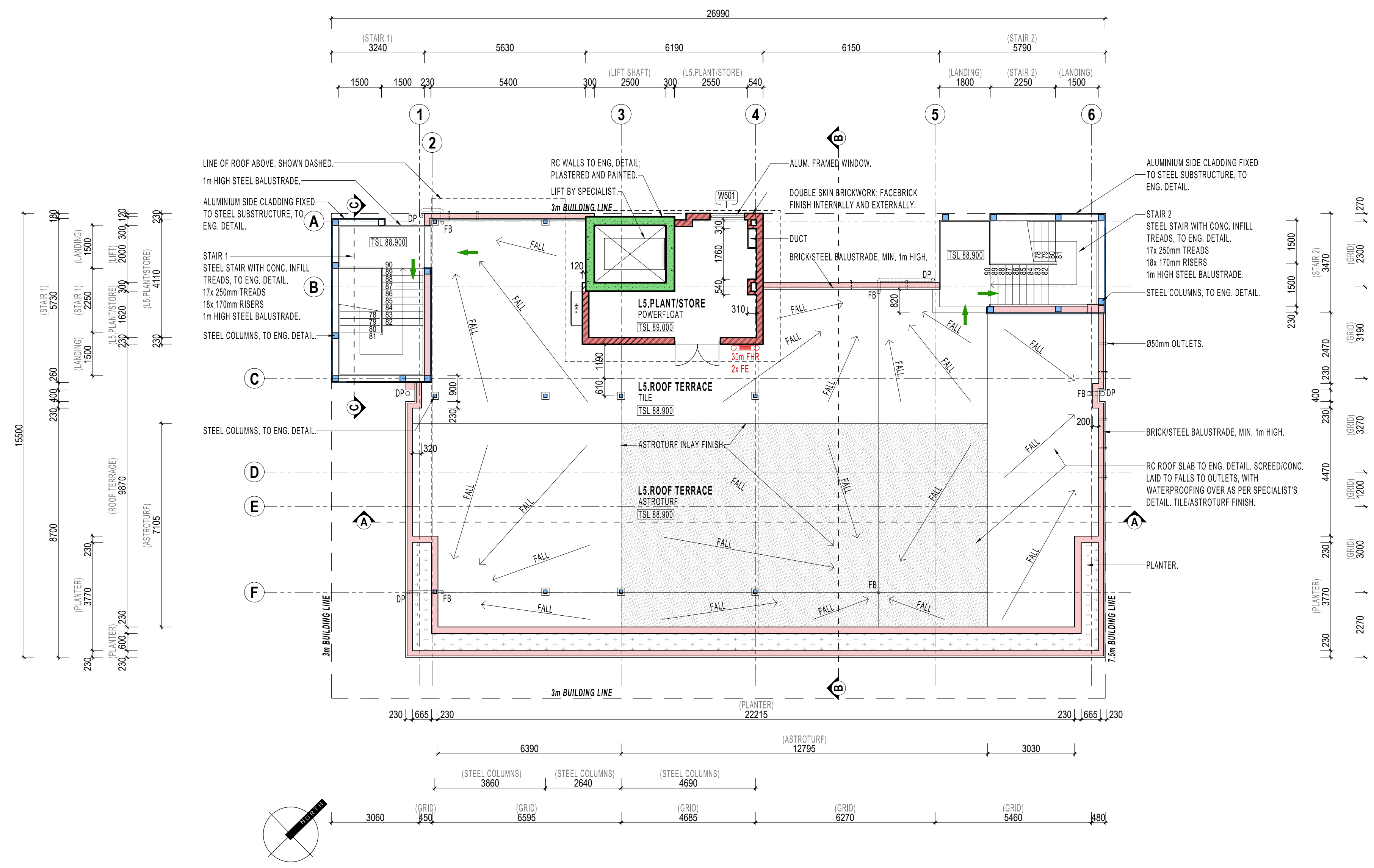
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 ROAD, DURBAN.

PROJECT TITLE
PLAN - 4th STOREY

DRAWING TITLE		S. COLEMAN	
APPROVED		S. COLEMAN	
AUTHOR		A1	
DATE		JULY 2021	
DRAWING INFORMATION			
DRAWING NUMBER		0487-02 - ARCH - 104 - S - 00	
DESIGN	ISSUANCE	STATUS	REVISION

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PLAN - ROOF DECK (5th STOREY)
SCALE 1: 100

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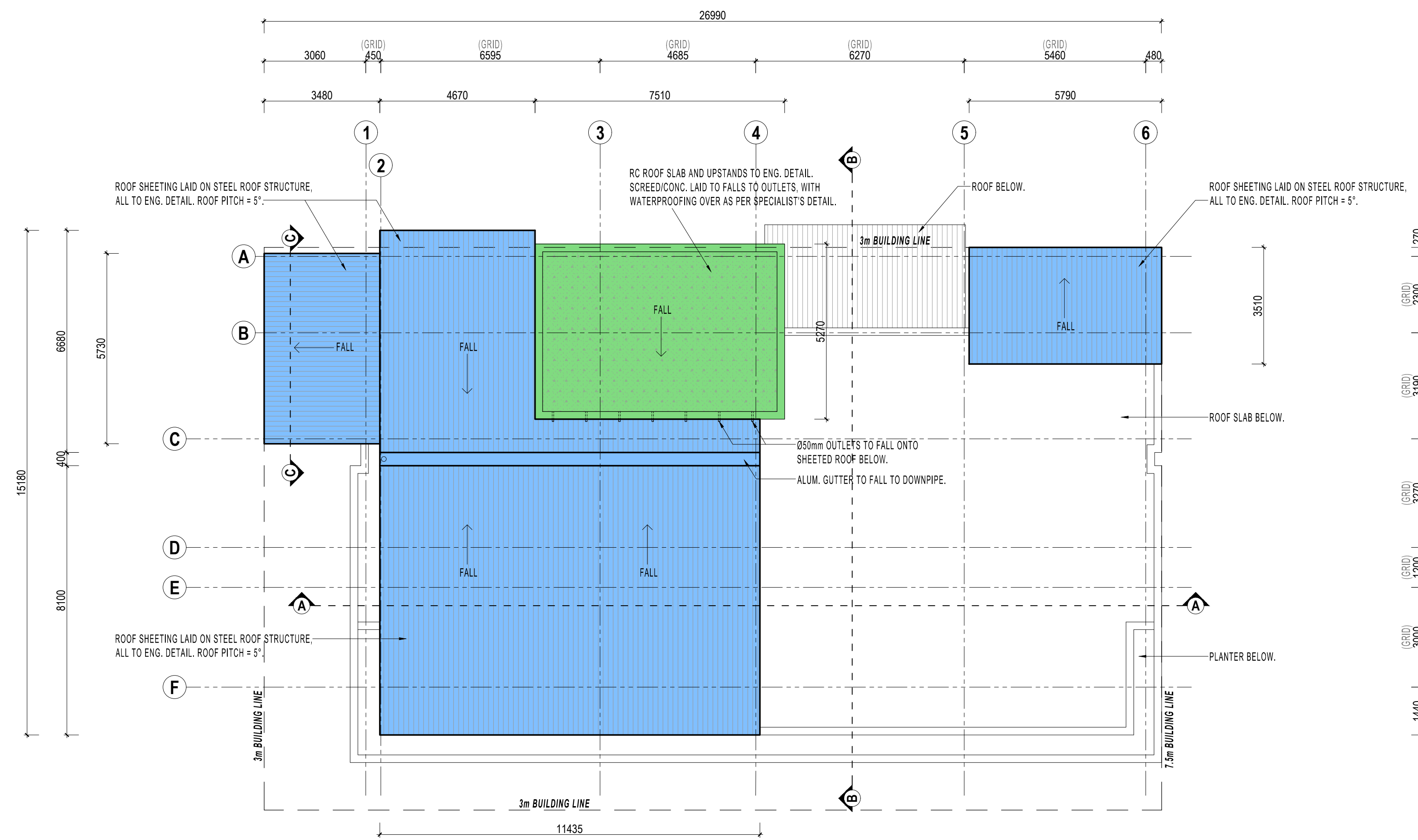
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 ROAD, DURBAN.

CLIENT

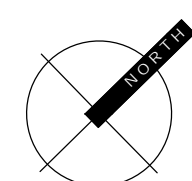
PROJECT TITLE
PLAN - ROOF DECK (5th STOREY)

DRAWING INFORMATION

DRAWING NUMBER	0487-02 - ARCH - 105 - S - 00
STATUS	ISSUED FOR SUBMISSION
REVISION	



ROOF PLAN
SCALE: 1: 100



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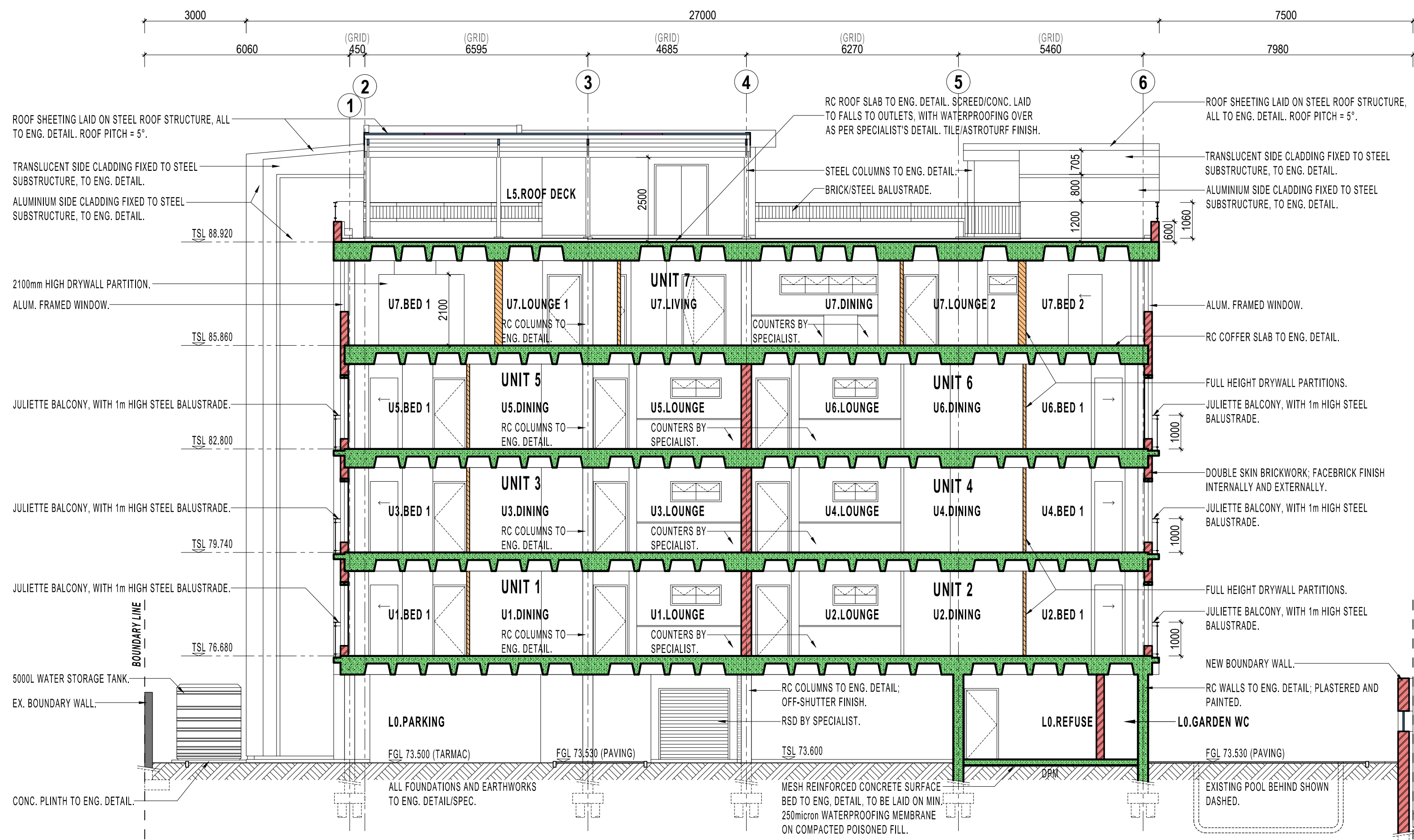
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 ROAD, DURBAN.

PROJECT TITLE
ROOF PLAN

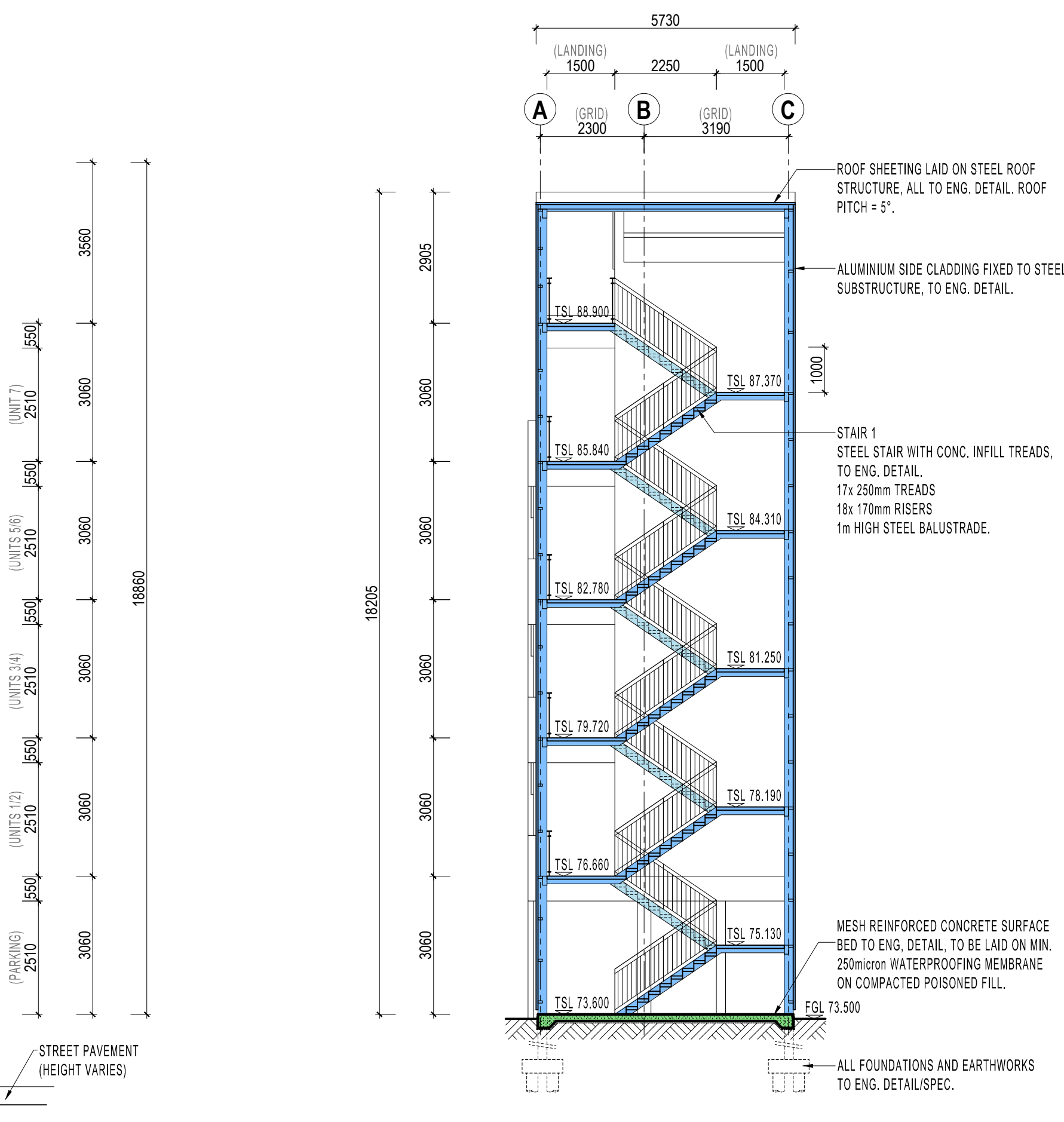
DRAWING TITLE
 S. COLEMAN
 APPROVED

AUTHOR
 S. COLEMAN
 A1 JULY 2021

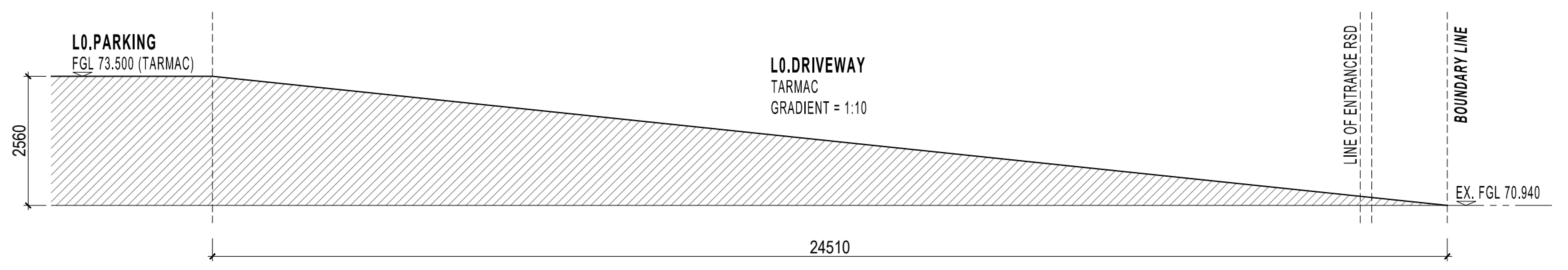
DRAWING INFORMATION
0487-02 - ARCH - 106 - S - 00



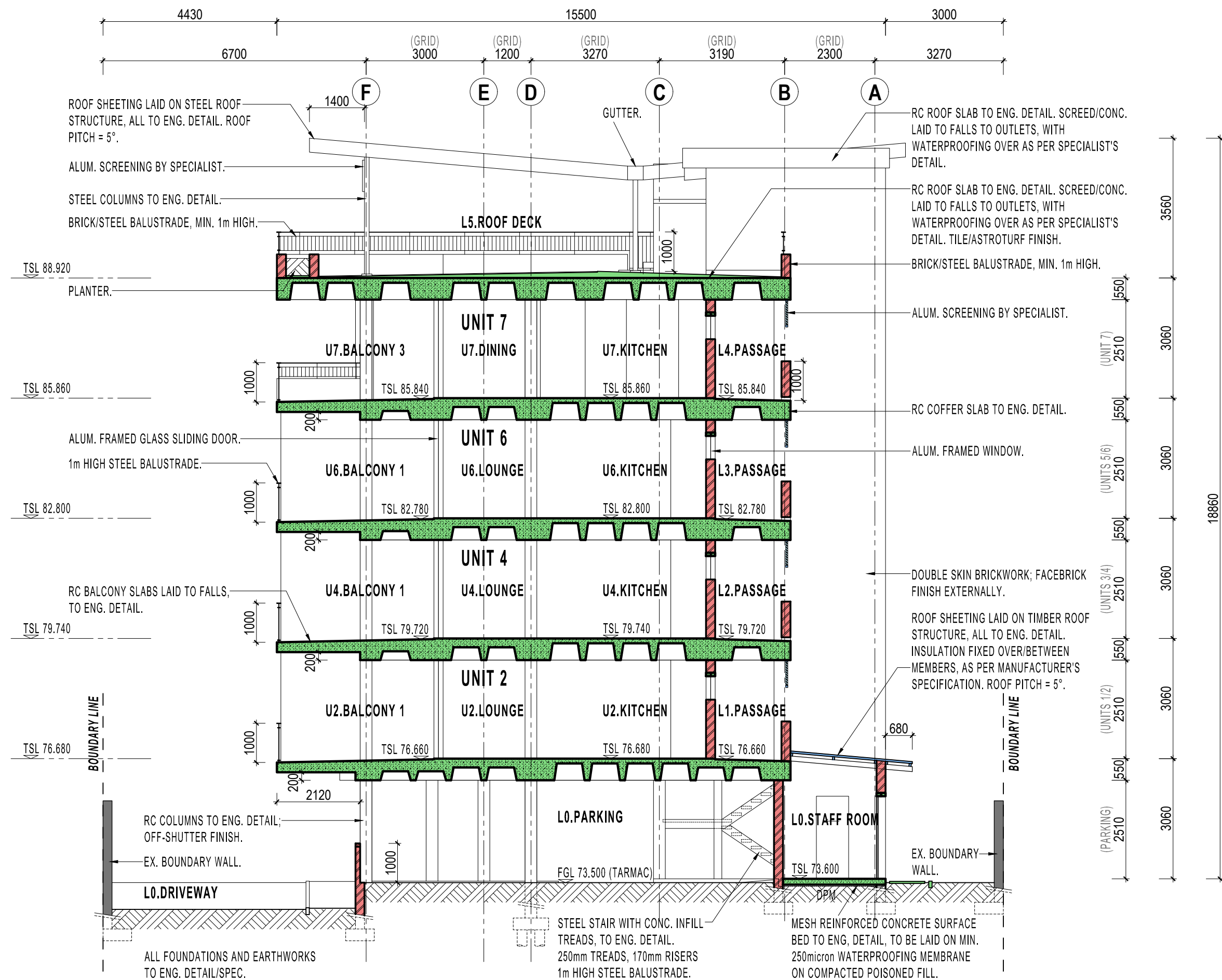
SECTION A-A
SCALE 1: 100



SECTION C-C
SCALE 1: 100



DRIVEWAY SECTION
SCALE 1: 100



SECTION B-B
SCALE 1: 100

- NOTES**
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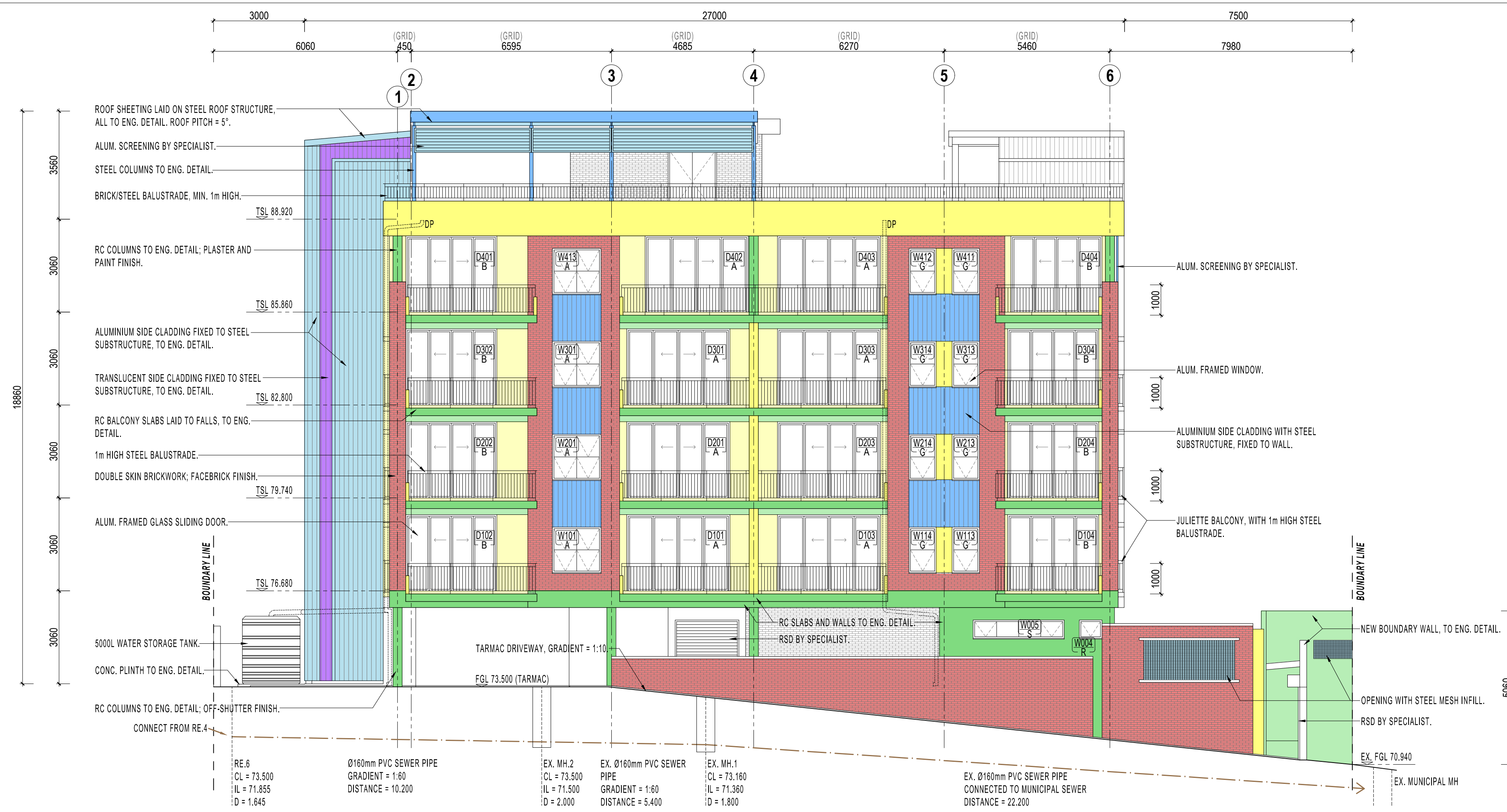
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 ROAD, DURBAN.

PROJECT TITLE: _____
 SECTION A-A
 SECTION B-B
 SECTION C-C
 DRIVEWAY SECTION

DRAWING TITLE: _____
 S. COLEMAN
 APPROVED: _____
 S. COLEMAN
 AUTHOR: _____
 A1
 JULY 2021
 DATE

DRAWING INFORMATION
0487-02 - ARCH - 200 - S - 00
 DRAWING NUMBER STATUS REVISION
 0487-02 - SUBMISSION 1 ORDER 2 PRELIMINARY 3 CONSULTATION 4 AS BUILT



ELEVATION - SOUTH-EAST
SCALE 1: 100



ELEVATION - NORTH-WEST
SCALE 1: 100

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 ROAD, DURBAN.

CLIENT

PROJECT TITLE

**ELEVATION - SOUTH-EAST
 ELEVATION - NORTH-WEST**

DRAWING TITLE

S. COLEMAN

APPROVED

S. COLEMAN

AUTHOR

A1

JULY 2021

DATE

DRAWING INFORMATION

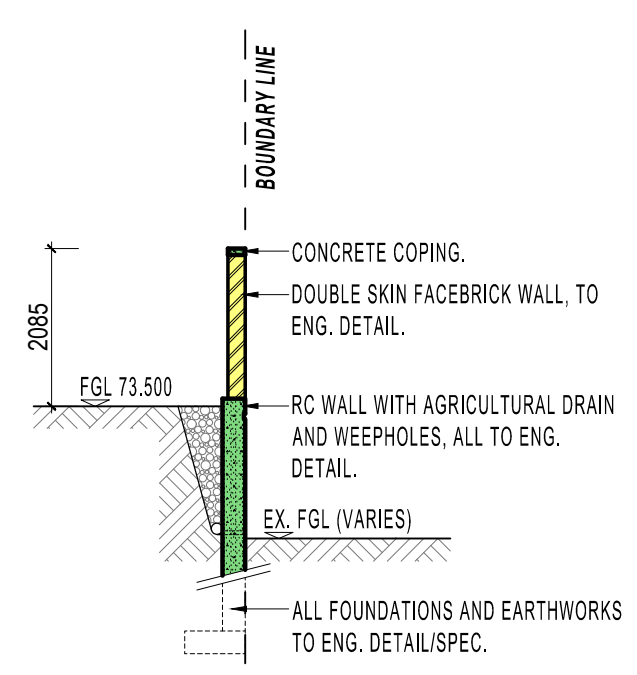
0487-02 - ARCH - 300 - S - 00

DRAWING NUMBER STATUS REVISION

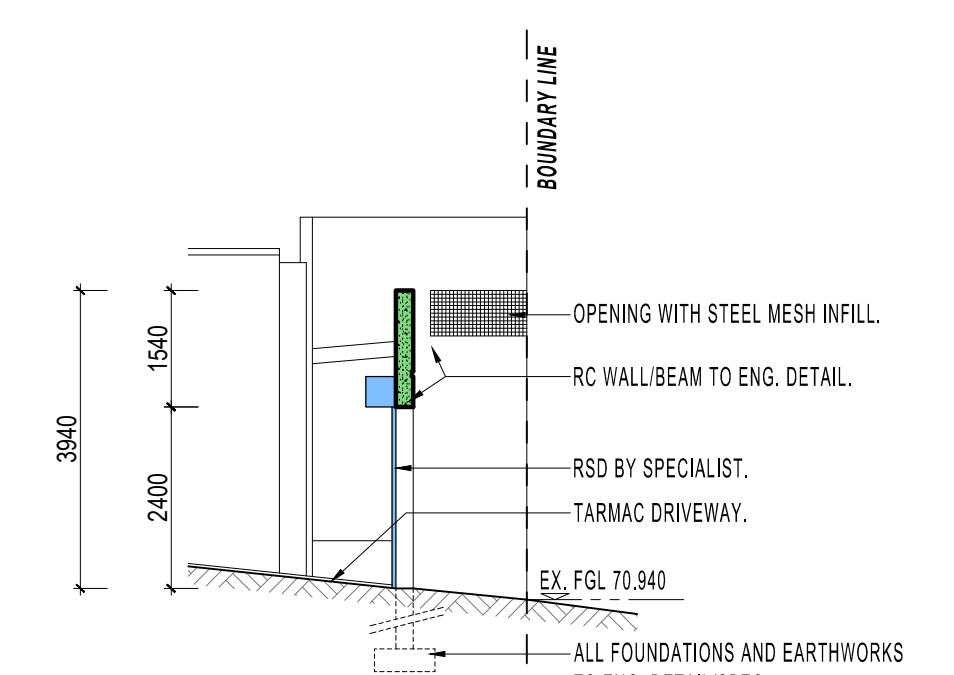
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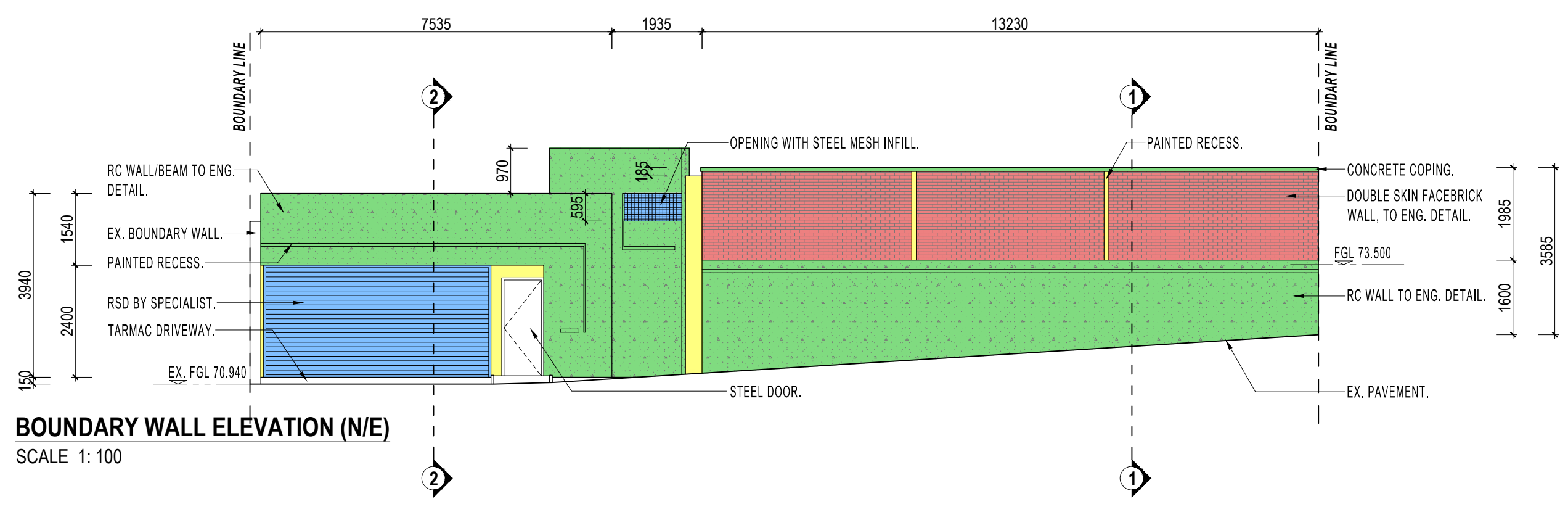
ELEVATION - NORTH-EAST
SCALE 1: 100



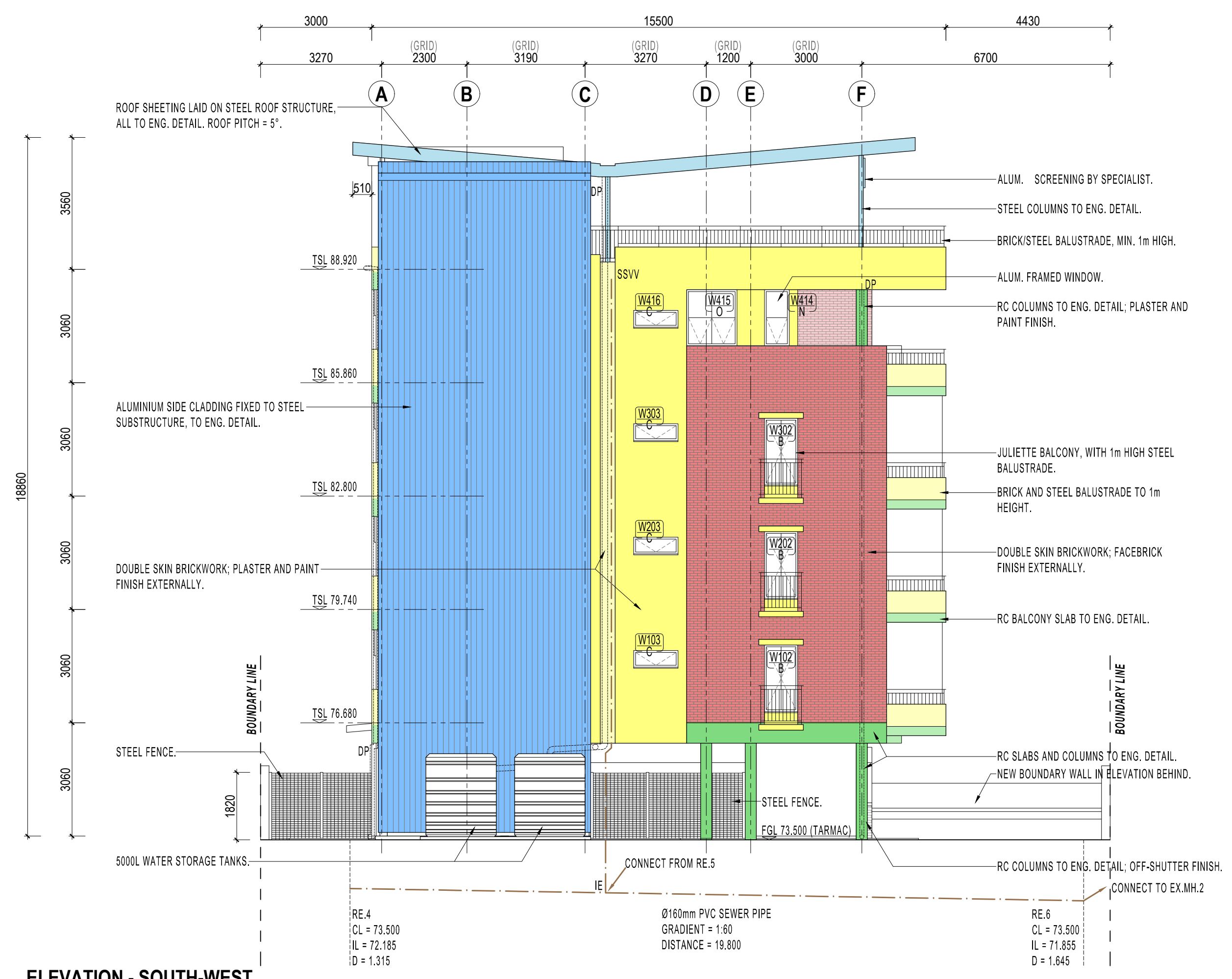
BOUNDARY WALL SECTION 1-1
SCALE 1: 100



BOUNDARY WALL SECTION 2-2
SCALE 1: 100



BOUNDARY WALL ELEVATION (N/E)
SCALE 1: 100



ELEVATION - SOUTH-WEST
SCALE 1: 100

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 ROAD, DURBAN.

PROJECT TITLE
**ELEVATION - NORTH-EAST
 ELEVATION - SOUTH-WEST
 BOUNDARY WALL DETAILS**

DRAWING TITLE	DRAWING NUMBER	STATUS	REVISION
S. COLEMAN	0487-02 - ARCH - 301 - S - 00		
AUTHOR	A1	JULY 2021	
DATE			

GLAZING SCHEDULE - WINDOWS

SCALE 1:100

<p>TYPE A</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE B</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE C</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE D</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE E</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE F</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE G</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE H</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE I</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE J</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>

GLAZING SCHEDULE - WINDOWS

SCALE 1:100

<p>TYPE K</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE L</p>	<p>REINFORCED CONCRETE SLAB OVER. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE M</p>	<p>REINFORCED CONCRETE SLAB OVER. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE N</p>	<p>REINFORCED CONCRETE SLAB OVER. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE O</p>	<p>REINFORCED CONCRETE SLAB OVER. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE P</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE Q</p>	<p>MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE R</p>	<p>IN REINFORCED CONCRETE WALL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE S</p>	<p>IN REINFORCED CONCRETE WALL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>

GLAZING SCHEDULE - DOORS

SCALE 1:100

<p>TYPE A</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>
<p>TYPE B</p>	<p>PRESTRESSED CONCRETE LINTEL. MIN. 4 COURSES REQUIRED ABOVE LINTEL. 6mm SINGLE LOW E LAMINATED ANNEALED SAFETY GLASS.</p>

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 ROAD, DURBAN.

DRAWING TITLE	
GLAZING SCHEDULE - WINDOWS GLAZING SCHEDULE - DOORS	
DRAWING INFORMATION	
DRAWING NUMBER	0487-02 - ARCH - 420 - S - 00
DATE	JULY 2021
DRAWING NUMBER	STATUS REVISION
ISSUED-FOR-SUBMISSION	FOR ORDER PRELIMINARY COORDINATION AAS BUILT