

## Appendix A1 Maps

---



 **LEGACY** | ENVIRONMENTAL  
MANAGEMENT  
CONSULTING



**GENERAL NOTES**

- \* all work to comply with local authorities & NBR by-laws
- \* read figured dimensions in preference to scaling
- \* the contractor must verify all levels, heights and dimensions on site and to check same against the set of drawings before commencing work and to convince himself that the information given is correct and in accordance with the conditions on site
- \* contractors are to locate existing services on site and to protect these from damage throughout the duration of the works.
- \* the contractor is responsible for the correct identification of all surveyor pegs and markers and setting out of the building with particular reference to grid lines, column positions, internal and external walls from surveyor markers boundaries and building lines etc.
- \* any errors, discrepancies or omissions to be reported to the architect before commencing any work.
- \* 4 ply damp proof-course under all walls and sills and vertical dpc. to all changes of floor levels
- \* flashing to all changes of roof levels and parapet walls
- \* all concrete beds on well rammed filling.

**CONCRETE NOTE**

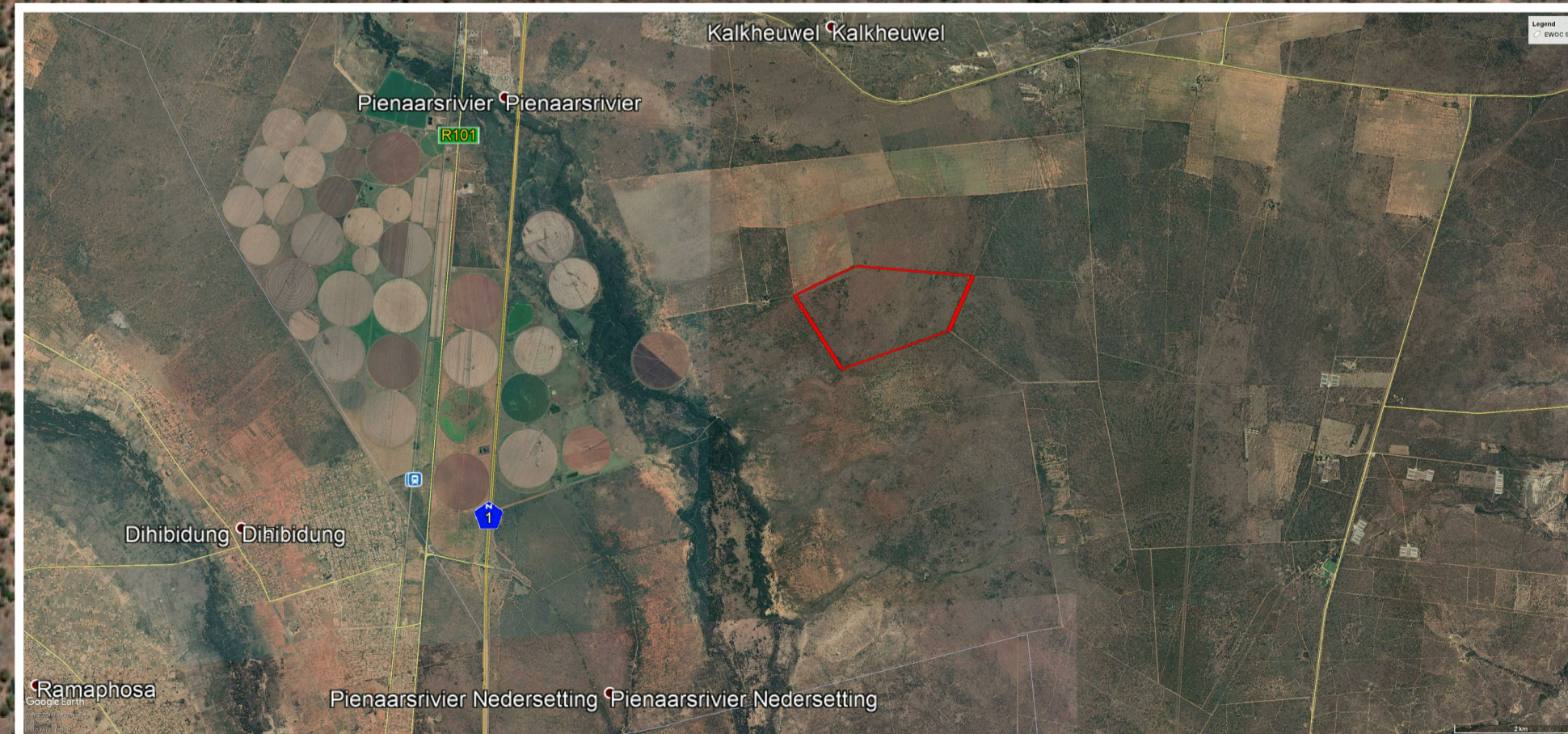
- \* unless otherwise instructed by the structural engineer the minimum strength of concrete mixes shall be as follows :
- blinding: 10 mpa
- strip foundations: 15 mpa
- 75mm traffic surfaces: 20 mpa
- 75mm surface beds to be screeded: 15 mpa
- \* reinforced concrete columns, slabs, beams foundations etc. to be strictly in accordance with the structural engineers specifications.

**DRAINAGE NOTE**

- \* drainage layout as per NBR part 'N'
- \* all plumbing and drainage must comply with the relevant local authority and nbr by-laws and regulations
- \* all bends and junctions in drain to be fitted with ie's and marked covers at ground level.
- \* waste fittings to have reset traps and to be fully accessible.
- \* rain water down pipes to be min. 2450 from gullies
- \* any portion of drain at a depth of 400 mm or less below ground level shall be encased in concrete having a min. thickness at all points of 100mm measured from the external surface of the pipe.
- \* any portion of drain passing under any part of the building or footing shall be protected against the load, this pipe must be without bends or junctions along its entire length under the building and should have a re. before and after passing under the building.
- \* the minimum fall to all drain pipes to be 1 : 40
- \* 100mm Ø for drains and ventilation pipes of approved material.
- \* 32mm dia waste pipes to wash basins
- \* 50mm dia waste pipes to all other waste fittings

**IMPORTANT NOTE**

\*Building must be constructed according to all details & specifications contained in these drawings as per SANS 10400. Any changes to details or specifications Must be approved by architects. Energy efficiency specification must be applied to, according to SANS 10400-XA document to be obtained from architect.



LOCALITY MAP n.t.s

**FOR INFORMATION**

OWNERS SIGNATURE

ARCHITECTS SIGNATURE

ENGINEERS SIGNATURE



**GOTTSMANN ARCHITECTS**

www.gottsmann.co.za  
 t: 011 979 7116 - c: 072 629 9596  
 e: info@gottsmann.co.za  
 217 Kramer Road, Sandton, 2090  
 Building No. 3 Kramerville Corner, 2nd floor  
 Donovan Gottsmann - Pr. Arch. Reg 21343

**Overall Site Plan**

CLIENT **EWOC**

ADDRESS **DINOKENG**

**GA 2114**

DATE **2022/03/28**

DRAWN BY **PB**

CHECKED BY **DG**

SCALE **As indicated**

**001** **AI**

PLOTTING DATE **2022/03/28 08:06:37**

## Appendix A2 Maps

---



 **LEGACY** | ENVIRONMENTAL  
MANAGEMENT  
CONSULTING



**GENERAL NOTES**

- \* all work to comply with local authorities & NBR by-laws
- \* read figured dimensions in preference to scaling
- \* the contractor must verify all levels, heights and dimensions on site and to check same against the set of drawings before commencing work and to convince himself that the information given is correct and in accordance with the conditions on site
- \* contractors are to locate existing services on site and to protect these from damage throughout the duration of the works.
- \* the contractor is responsible for the correct identification of all surveyor pegs and markers and setting out of the building with particular reference to grid lines, column positions, internal and external walls from surveyor markers boundaries and building lines etc.
- \* any errors, discrepancies or omissions to be reported to the architect before commencing any work.
- \* 4 ply damp proof-course under all walls and sills and vertical dpc. to all changes of floor levels
- \* flashing to all changes of roof levels and parapet walls
- \* all concrete beds on well rammed filling.

**CONCRETE NOTE**

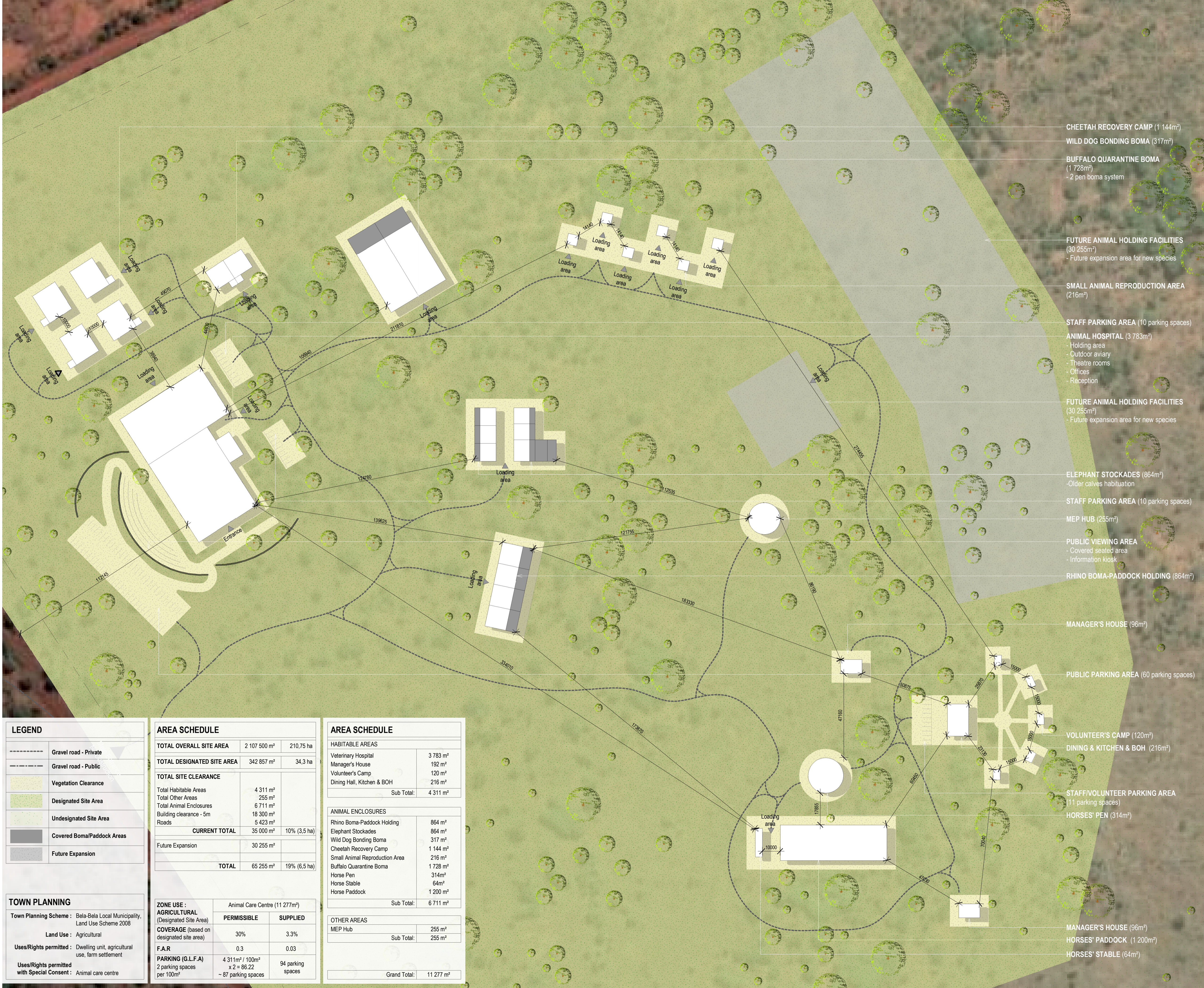
- \* unless otherwise instructed by the structural engineer the minimum strength of concrete mixes shall be as follows :
- blinding: 10 mpa
- strip foundations: 15 mpa
- 75mm traffic surfaces: 20 mpa
- 75mm surface beds to be screeded: 15 mpa
- \* reinforced concrete columns, slabs, beams foundations etc. to be strictly in accordance with the structural engineers specifications.

**DRAINAGE NOTE**

- \* drainage layout as per NBR part 'N'
- \* all plumbing and drainage must comply with the relevant local authority and nbr by-laws and regulations
- \* all bends and junctions in drain to be fitted with ie's and marked covers at ground level.
- \* waste fittings to have resale traps and to be fully accessible.
- \* rain water down pipes to be min. 2450 from gullies
- \* any portion of drain at a depth of 450 mm or less below ground level shall be enclosed in concrete having a min. thickness at all points of 100mm measured from the external surface of the pipe.
- \* any portion of drain passing under any part of the building or footing shall be protected against the load, this pipe must be without bends or junctions along its entire length under the building and should have a re. before and after passing under the building.
- \* the minimum fall to all drain pipes to be 1:40
- \* 100mm Ø for drains and ventilation pipes of approved material.
- \* 32mm dia waste pipes to wash basins
- \* 50mm dia waste pipes to all other waste fittings

**IMPORTANT NOTE**

\*Building must be constructed according to all details & specifications contained in these drawings as per SANS 10400. Any changes to details or specifications must be approved by architects. Energy efficiency specification must be applied to, according to SANS 10400-XA document to be obtained from architect.



- CHEETAH RECOVERY CAMP (1 144m<sup>2</sup>)
- WILD DOG BONDING BOMA (317m<sup>2</sup>)
- BUFFALO QUARANTINE BOMA (1 728m<sup>2</sup>)  
- 2 pen boma system
- FUTURE ANIMAL HOLDING FACILITIES (30 255m<sup>2</sup>)  
- Future expansion area for new species
- SMALL ANIMAL REPRODUCTION AREA (216m<sup>2</sup>)
- STAFF PARKING AREA (10 parking spaces)
- ANIMAL HOSPITAL (3 783m<sup>2</sup>)  
- Holding area  
- Outdoor aviary  
- Theatre rooms  
- Offices  
- Reception
- FUTURE ANIMAL HOLDING FACILITIES (30 255m<sup>2</sup>)  
- Future expansion area for new species
- ELEPHANT STOCKADES (864m<sup>2</sup>)  
- Older calves habituation
- STAFF PARKING AREA (10 parking spaces)
- MEP HUB (255m<sup>2</sup>)
- PUBLIC VIEWING AREA  
- Covered seated area  
- Information kiosk
- RHINO BOMA-PADDOCK HOLDING (864m<sup>2</sup>)
- MANAGER'S HOUSE (96m<sup>2</sup>)
- PUBLIC PARKING AREA (60 parking spaces)
- VOLUNTEER'S CAMP (120m<sup>2</sup>)
- DINING & KITCHEN & BOH (216m<sup>2</sup>)
- STAFF/VOLUNTEER PARKING AREA (11 parking spaces)
- HORSES' PEN (314m<sup>2</sup>)
- MANAGER'S HOUSE (96m<sup>2</sup>)
- HORSES' PADDOCK (1 200m<sup>2</sup>)
- HORSES' STABLE (64m<sup>2</sup>)

**AREA SCHEDULE**

TOTAL OVERALL SITE AREA	2 107 500 m <sup>2</sup>	210,75 ha
TOTAL DESIGNATED SITE AREA	342 857 m <sup>2</sup>	34,3 ha
<b>TOTAL SITE CLEARANCE</b>		
Total Habitable Areas	4 311 m <sup>2</sup>	
Total Other Areas	255 m <sup>2</sup>	
Total Animal Enclosures	6 711 m <sup>2</sup>	
Building clearance - 5m	18 300 m <sup>2</sup>	
Roads	5 423 m <sup>2</sup>	
<b>CURRENT TOTAL</b>	<b>35 000 m<sup>2</sup></b>	<b>10% (3,5 ha)</b>
Future Expansion	30 255 m <sup>2</sup>	
<b>TOTAL</b>	<b>65 255 m<sup>2</sup></b>	<b>19% (6,5 ha)</b>

**AREA SCHEDULE**

HABITABLE AREAS		
Veterinary Hospital		3 783 m <sup>2</sup>
Manager's House		192 m <sup>2</sup>
Volunteer's Camp		120 m <sup>2</sup>
Dining Hall, Kitchen & BOH		216 m <sup>2</sup>
<b>Sub Total:</b>		<b>4 311 m<sup>2</sup></b>
ANIMAL ENCLOSURES		
Rhino Boma-Paddock Holding		864 m <sup>2</sup>
Elephant Stockades		864 m <sup>2</sup>
Wild Dog Bonding Boma		317 m <sup>2</sup>
Cheetah Recovery Camp		1 144 m <sup>2</sup>
Small Animal Reproduction Area		216 m <sup>2</sup>
Buffalo Quarantine Boma		1 728 m <sup>2</sup>
Horse Pen		314 m <sup>2</sup>
Horse Stable		64 m <sup>2</sup>
Horse Paddock		1 200 m <sup>2</sup>
<b>Sub Total:</b>		<b>6 711 m<sup>2</sup></b>

**OTHER AREAS**

MEP Hub	255 m <sup>2</sup>
<b>Sub Total:</b>	<b>255 m<sup>2</sup></b>
<b>Grand Total:</b>	<b>11 277 m<sup>2</sup></b>

**ZONE USE :** Agricultural (Designated Site Area)

Animal Care Centre (11 277m <sup>2</sup> )		
PERMISSIBLE	SUPPLIED	
30%	3.3%	
<b>F.A.R</b>	0.3	0.03
<b>PARKING (G.L.F.A)</b>	4 311 m <sup>2</sup> / 100m <sup>2</sup> 2 parking spaces per 100m <sup>2</sup>	94 parking spaces x 2 = 86.22 ~ 87 parking spaces

**LEGEND**

-----	Gravel road - Private
-----	Gravel road - Public
---	Vegetation Clearance
■	Designated Site Area
■	Undesignated Site Area
■	Covered Boma/Paddock Areas
■	Future Expansion

**TOWN PLANNING**

Town Planning Scheme : Bela-Bela Local Municipality, Land Use Scheme 2008

Land Use : Agricultural

Uses/Rights permitted : Dwelling unit, agricultural use, farm settlement

Uses/Rights permitted with Special Consent : Animal care centre

OWNERS SIGNATURE

ARCHITECTS SIGNATURE

ENGINEERS SIGNATURE

**GA**  
**GOTTSMANN ARCHITECTS**

www.gottsmann.co.za  
t: 011 979 7116 - c: 072 629 9596  
e: info@gottsmann.co.za  
217 Kramer Road, Sandton, 2090  
Building No. 3 Kramerville Corner, 2nd floor  
**Donovan Gottsmann - Pr. Arch. Reg 21343**

**Site Plan**

CLIENT **EWOC**

ADDRESS **DINOKENG**

**GA 2114**

DATE **2022/03/28**

DRAWN BY **PNC**

CHECKED BY **PB**

SCALE **1:1000**

## Appendix A3 Maps

---



 **LEGACY** | ENVIRONMENTAL  
MANAGEMENT  
CONSULTING



**GENERAL NOTES**

- \* all work to comply with local authorities & NBR by-laws
- \* read figured dimensions in preference to scaling
- \* the contractor must verify all levels, heights and dimensions on site and to check same against the set of drawings before commencing work and to convince himself that the information given is correct and in accordance with the conditions on site
- \* contractors are to locate existing services on site and to protect these from damage throughout the duration of the works.
- \* the contractor is responsible for the correct identification of all surveyor pegs and markers and setting out of the building with particular reference to grid lines, column positions, internal and external walls from surveyor markers boundaries and building lines etc.
- \* any errors, discrepancies or omissions to be reported to the architect before commencing any work.
- \* 4 ply damp proof-course under all walls and sills and vertical dpc. to all changes of floor levels
- \* flashing to all changes of roof levels and parapet walls
- \* all concrete beds on well rammed filling.

**CONCRETE NOTE**

- \* unless otherwise instructed by the structural engineer the minimum strength of concrete mixes shall be as follows :
- blinding: 10 mpa
- strip foundations: 15 mpa
- 75mm traffic surfaces: 20 mpa
- 75mm surface beds to be screeded: 15 mpa
- \* reinforced concrete columns, slabs, beams foundations etc. to be strictly in accordance with the structural engineers specifications.

**DRAINAGE NOTE**

- \* drainage layout as per NBR part 'N'
- \* all plumbing and drainage must comply with the relevant local authority and nbr by-laws and regulations
- \* all bends and junctions in drain to be fitted with ie's and marked covers at ground level.
- \* waste fittings to have reset traps and to be fully accessible.
- \* rain water down pipes to be min. 2450 from gullies
- \* any portion of drain at a depth of 450 mm or less below ground level shall be encased in concrete having a min. thickness at all points of 100mm measured from the external surface of the pipe.
- \* any portion of drain passing under any part of the building or footing shall be protected against the load, this pipe must be without bends or junctions along its entire length under the building and should have a re. before and after passing under the building.
- \* the minimum fall to all drain pipes to be 1 : 40
- \* 100mm Ø for drains and ventilation pipes of approved material.
- \* 32mm dia waste pipes to wash basins
- \* 50mm dia waste pipes to all other waste fittings

**IMPORTANT**

**NOT**  
\*Building must be constructed according to all details & specifications contained in these drawings as per SANS 10400. Any changes to details or specifications must be approved by architects. Energy efficiency specification must be applied to, according to SANS 10400-XA document to be obtained from architect.



Area Schedule	
Name	Area
Admin	18 m²
Bird ICU	51 m²
Change Room & Shower	35 m²
Cheetah	14 m²
Cheetah	14 m²
Cheetah	14 m²
Cheetah	14 m²
Circulation	737 m²
Clean Linen	39 m²
Cold Room	39 m²
Dry Store	39 m²
Elephant Calves	40 m²
Elephant Calves	40 m²
Elephant Calves	36 m²
Elephant Calves	36 m²
Elephant Calves	36 m²
Examination Room 01	36 m²
Examination Room 02	36 m²
General ICU	93 m²
General Store Room	28 m²
ICU Herbivore Stable	19 m²
ICU Herbivore Stable	19 m²
Kitchen & Food Prep	91 m²
Laboratory	36 m²
Laundry	40 m²
Lion	23 m²
Lion	22 m²
Lion	22 m²
Lion	23 m²

Area Schedule	
Name	Area
Milk Kitchen	39 m²
Office 01	36 m²
Office 02	36 m²
Outdoor Aviary	131 m²
Passage	535 m²
Passage	92 m²
Passage	97 m²
Pharmacy	36 m²
Post Mortem Hall	222 m²
Prep Room	54 m²
Public Ablutions	28 m²
Radiographs	36 m²
Reception	28 m²
Rhino holding Stable	28 m²
Rhino holding Stable	28 m²
Rhino holding Stable	28 m²
Search Room	76 m²
Seminar/Board Room	60 m²
Small Carnivore's	15 m²
Small Carnivore's	15 m²
Small Carnivore's	15 m²
Small Carnivore's	15 m²
Staff Rest Room	38 m²
Theatre 01	66 m²
Theatre 02	67 m²
Theatre 03	144 m²
Waiting Area	28 m²
Waste Disposal Area	90 m²
WC	7 m²
Grand total	3783 m²

OWNERS SIGNATURE \_\_\_\_\_  
 ARCHITECTS SIGNATURE \_\_\_\_\_  
 ENGINEERS SIGNATURE \_\_\_\_\_



**GOTSMANN ARCHITECTS**

www.gottsmann.co.za  
 t: 011 979 7116 - c: 072 629 9596  
 e: info@gottsmann.co.za  
 8 Viscount Road, Bedfordview, 2007  
 Unit 11, Block C, Viscount Office Park, 2nd floor  
**Donovan Gottsmann - Pr. Arch. Reg 21343**

**Ground Floor Plan**

CLIENT **EWOC**

ADDRESS **DINOKENG**

**GA2114**

DATE **2022/03/28**  
 DRAWN BY **PNC**  
 CHECKED BY **PB**  
 SCALE **1 : 200**

**003**

