

GENERAL NOTES

- * all work to comply with local authorities & NBR by-laws
- * read figured dimensions in preference to scaling
- * the contractor must verify all levels, heights and dimensions on site and to check same against the set of drawings before commencing work and to convince himself that the information given is correct and in accordance with the conditions on site
- * contractors are to locate existing services on site and to protect these from damage throughout the duration of the works.
- * the contractor is responsible for the correct identification of all surveyor pegs and markers and setting out of the building with particular reference to grid lines, column positions, internal and external walls from surveyor markers boundaries and building lines etc.
- * any errors, discrepancies or omissions to be reported to the architect before commencing any work.
- * 4 ply damp proof-course under all walls and sills and vertical dpc. to all changes of floor levels
- * flashing to all changes of roof levels and parapet walls
- * all concrete beds on well rammed filling.

CONCRETE NOTE

- * unless otherwise instructed by the structural engineer the minimum strength of concrete mixes shall be as follows :
- blinding: 10 mpa
- strip foundations: 15 mpa
- 75mm traffic surfaces: 20 mpa
- 75mm surface beds to be screeded: 15 mpa
- * reinforced concrete columns, slabs, beams foundations etc. to be strictly in accordance with the structural engineers specifications.

DRAINAGE NOTE

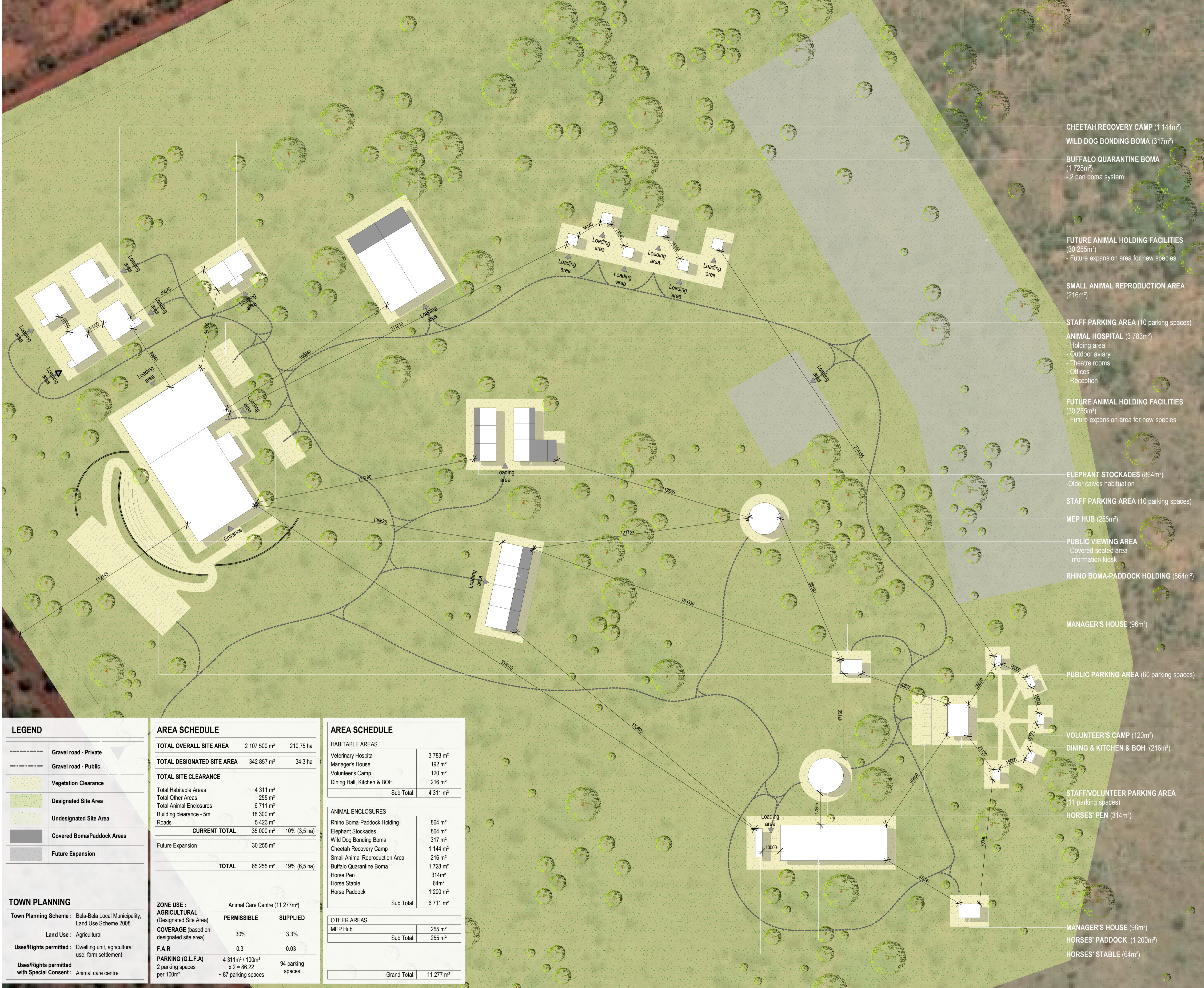
- * drainage layout as per NBR part 'N'
- * all plumbing and drainage must comply with the relevant local authority and nbr by-laws and regulations
- * all bends and junctions in drain to be fitted with ie's and marked covers at ground level.
- * waste fittings to have resale traps and to be fully accessible.
- * rain water down pipes to be min. 2450 from gullies
- * any portion of drain at a depth of 450 mm or less below ground level shall be enclosed in concrete having a min. thickness at all points of 100mm measured from the external surface of the pipe.
- * any portion of drain passing under any part of the building or footing shall be protected against the load, this pipe must be without bends or junctions along its entire length under the building and should have a re. before and after passing under the building.
- * the minimum fall to all drain pipes to be 1:40
- * 100mm Ø for drains and ventilation pipes of approved material.
- * 32mm dia waste pipes to wash basins
- * 50mm dia waste pipes to all other waste fittings

LEGEND

- Gravel road - Private
- Gravel road - Public
- Vegetation Clearance
- Designated Site Area
- Undesignated Site Area
- Covered Boma/Paddock Areas
- Future Expansion

IMPORTANT NOTE

*Building must be constructed according to all details & specifications contained in these drawings as per SANS 10400. Any changes to details or specifications must be approved by architects. Energy efficiency specification must be applied to, according to SANS 10400-XA document to be obtained from architect.



- CHEETAH RECOVERY CAMP (1 144m²)
- WILD DOG BONDING BOMA (317m²)
- BUFFALO QUARANTINE BOMA (1 728m²)
- 2 pen boma system
- FUTURE ANIMAL HOLDING FACILITIES (30 255m²)
- Future expansion area for new species
- SMALL ANIMAL REPRODUCTION AREA (216m²)
- STAFF PARKING AREA (10 parking spaces)
- ANIMAL HOSPITAL (3 783m²)
- Holding area
- Outdoor aviary
- Theatre rooms
- Offices
- Reception
- FUTURE ANIMAL HOLDING FACILITIES (30 255m²)
- Future expansion area for new species
- ELEPHANT STOCKADES (864m²)
- Older calves habituation
- STAFF PARKING AREA (10 parking spaces)
- MEP HUB (255m²)
- PUBLIC VIEWING AREA
- Covered seated area
- Information kiosk
- RHINO BOMA-PADDOCK HOLDING (864m²)
- MANAGER'S HOUSE (96m²)
- PUBLIC PARKING AREA (60 parking spaces)
- VOLUNTEER'S CAMP (120m²)
- DINING & KITCHEN & BOH (216m²)
- STAFF/VOLUNTEER PARKING AREA (11 parking spaces)
- HORSES' PEN (314m²)
- MANAGER'S HOUSE (96m²)
- HORSES' PADDOCK (1 200m²)
- HORSES' STABLE (64m²)

AREA SCHEDULE

TOTAL OVERALL SITE AREA	2 107 500 m ²	210,75 ha
TOTAL DESIGNATED SITE AREA	342 857 m ²	34,3 ha
TOTAL SITE CLEARANCE		
Total Habitable Areas	4 311 m ²	
Total Other Areas	255 m ²	
Total Animal Enclosures	6 711 m ²	
Building clearance - 5m	18 300 m ²	
Roads	5 423 m ²	
CURRENT TOTAL	35 000 m²	10% (3,5 ha)
Future Expansion	30 255 m ²	
TOTAL	65 255 m²	19% (6,5 ha)

AREA SCHEDULE

HABITABLE AREAS

Veterinary Hospital	3 783 m ²
Manager's House	192 m ²
Volunteer's Camp	120 m ²
Dining Hall, Kitchen & BOH	216 m ²
Sub Total:	4 311 m²

ANIMAL ENCLOSURES

Rhino Boma-Paddock Holding	864 m ²
Elephant Stockades	864 m ²
Wild Dog Bonding Boma	317 m ²
Cheetah Recovery Camp	1 144 m ²
Small Animal Reproduction Area	216 m ²
Buffalo Quarantine Boma	1 728 m ²
Horse Pen	314 m ²
Horse Stable	64 m ²
Horse Paddock	1 200 m ²
Sub Total:	6 711 m²

OTHER AREAS

MEP Hub	255 m ²
Sub Total:	255 m²
Grand Total:	11 277 m²

ZONE USE : Agricultural (Designated Site Area)

Animal Care Centre (11 277m ²)		
PERMISSIBLE	SUPPLIED	
COVERAGE (based on designated site area)	30%	3.3%
F.A.R	0.3	0.03
PARKING (G.L.F.A)	4 311 m ² / 100m ² x 2 = 86.22	94 parking spaces
2 parking spaces per 100m ²	~ 87 parking spaces	

TOWN PLANNING

Town Planning Scheme : Bela-Bela Local Municipality, Land Use Scheme 2008

Land Use : Agricultural

Uses/Rights permitted : Dwelling unit, agricultural use, farm settlement

Uses/Rights permitted with Special Consent : Animal care centre

FOR INFORMATION

OWNERS SIGNATURE

ARCHITECTS SIGNATURE

ENGINEERS SIGNATURE

GA
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Site Plan

CLIENT **EWOC**

ADDRESS **DINOKENG**

GA 2114

DATE **2022/03/28**

DRAWN BY **PNC**

CHECKED BY **PB**

SCALE **1:1000**