

APPLICATION
FOR
ADDITIONS AND ALTERATIONS
TO EXISTING DWELLING
AT
22 PRINCESS ALICE AVENUE,
GLENWOOD, DURBAN
ON
ERF 5258 OF THE FARM DURBAN
FOR
VIJAY JAYANTILAL PATEL TRUST

28 February 2013

J.S. FRANK
J F BUILDING DESIGN CONSULTANTS (T0095)
Tel: 031-205 0760 Fax: 031-205 0760 Cell: 072 2985266

22 PRINCESS ALICE AVENUE

Amafa Akwazulu-Natali received the following documents on
____ March 2013 for 22 Princess Alice Avenue, Durban.

Name: _____ Signature: _____

CONTENTS

1. Proof of Payment
2. Minutes of the Trustees
3. Application Forms
4. Photographs of Existing Building
5. Copy of Title Deeds
6. SG Diagram
7. Aerial View of the Property
8. Certified copy of SACAP Registration Certificate
9. Coloured copy of the Proposed Plans
10. Five Copies of past Approved Plans

Vijay Jayantilal Patel Trust (Intervevos)

Trust No 4589/84

P O Box 50964, Musgrave Road, 4062 Durban

Minutes of the meeting of the Trustees of Vijay Jayantilal Patel Trust

HELD AT 22 PRINCESS ALICE AVENUE, GLENWOOD, DURBAN, on 15 September 2012 AT 6PM

PRESENT :

VIBHUTI JAYANTILAL PATEL
VIJAY JAYANTILAL PATEL
MEERA JAYANTILAL PATEL

APOLOGIES: None

RESOLUTION

It was unanimously agreed that:-

- (1) The following alternations and additions be effected to the property situate at 22 Princess Alice Avenue, Glenwood, registered in the name of the Trust, namely:-
 - Convert existing Thatched Gazebo to a recreational room
 - Convert a portion of veranda to a Scullery
 - Addition of a Tool room to the left side of the property.
- (2) Mr Vijay Jayantilal Patel (ID 6101265046086) in his capacity as Trustee be and is hereby authorized to represent the Trust and
 - to sign all documents and contracts and do all things necessary to obtain all necessary approvals as required by law for the building alterations and additions;
 - to appoint a builders, contractors and other service providers and
 - to effect all payments and expenses for the same as well as oversee the completion of this project.

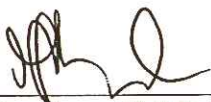
Dated and signed on this 15th day of September 2012.



Vibhuti Jayantilal Patel
(ID No 530831 0034 089)



Meera Jayantilal Patel
(ID 590126 0109 081)



Vijay Jayantilal Patel
(ID 610126 5046 086)



APPLICATION FORM A (STRUCTURES)

Ref: _____
Date received _____
Application No _____
Application approved ___ not approved ___
Date of permit/notification _____
Permit No _____

PERMIT APPLICATION IN TERMS OF THE KZN HERITAGE ACT (SECTION 33(1)(A) FOR THE DEMOLITION, ALTERATION OR ADDITION TO A STRUCTURE WHICH IS, OR WHICH MAY REASONABLY BE EXPECTED TO BE OLDER THAN 60 YEARS

(Application form H must be used for alteration to structures permanently protected in terms of Section 37, 38, & 39 (Heritage Landmarks))

PLEASE NOTE

IT IS AN OFFENCE IN TERMS OF THE KWAZULU-NATALI HERITAGE ACT, 2008 TO MAKE ANY FALSE STATEMENT OR FAIL TO PROVIDE REQUIRED INFORMATION IN THIS APPLICATION (Detach and Consult the attached guidelines before completing this form)

THE ONUS IS ON THE APPLICANT TO ENSURE THAT THE CURRENT APPLICATION FORM IS USED. APPLICATIONS ON NON-COMPLIANT FORMS WILL NOT BE PROCESSED

ALL APPLICATION FORMS, DEVELOPMENT PROPOSALS, PHOTOGRAPHS, MOTIVATION, AND PROOF OF PAYMENT ARE TO BE DELIVERED TO: Amafa aKwaZulu-Natali, 195 LANGALIBALELE (LONGMARKET) STREET, PIETERMARITZBURG, 3201 OR POSTED TO: BOX 2685 PIETERMARITZBURG 3200. Enquiries 033-394 6543 or Fax 033-394 6552 (For proof of payment not applications)

A. DECLARATION BY OWNER

I, VIJAY JAYANTILAL PATEL

(full names of owner/person authorized to sign) undertake strictly to observe the terms, conditions, restrictions, by-laws and directions under which Amafa aKwaZulu-Natali may issue the permit to me.

Signature _____

Place _____

DURBAN
04 MARCH 2013

Date _____

(The owner of the property must fill in these details and those in Section E: 3 and sign this document and any plans or other documents submitted in support of this application)

B. PROPERTY DESCRIPTION:

1. Name of property: _____ Title Deed No. 000047045/2000
2. Erf/Lot/Farm No: ERF 5258 DURBAN
Street Address: 22 PRINCESS ALICE AVENUE
GLENWOOD, DURBAN, 4001
Local Municipality ETHEKWINI MUNICIPALITY
District Municipality CENTRAL
3. Current zoning SPECIAL RESIDENTIAL 900 Present use RESIDENTIAL

C. SIGNIFICANCE:

1. Original date of construction 28 May 1931
2. Historical Significance: _____

1931 - PROPOSED RESIDENCE FOR W.B.M. PUGSLEY PLANS APPROVED - 28/05/1931
1956 - LOUNGE ADDITION, PORCH ADDED & ENSUITE ON FIRST FLOOR ADDED -
PLANS APPROVED - 07/09/1956 ALSO OUTBUILDING ADDED FOR G. LUBKE
1982 - NEW VERANDAH, FAMILY ROOM AND BEDROOM 1 WITH ENSUITE ADDED -
PLANS APPROVED 07/01/1983 FOR MR & MRS A. TARRY
1996 - NEW THATCHED AREA, OPEN PATIO AND ALTERATIONS TO EXISTING OUTBUILDING FOR J.OTTO
 References OBTAINED THE ABOVE PLANS FROM ETHEKWINI-CENTRAL MUNICIPALITY

3. Architectural Significance: _____

THE EXISTING DWELLING HAS BEEN BUILT WITH BRICK & MORTAR &
PLASTERED & PAINTED WITH A FACEBRICK FOUNDATION PLINTH, & GABLE ROOF
THE DWELLING HAS BAY WINDOWS AND NONE OF THE EXISTING
ARCHITECTURAL FEATURES WILL BE ALTERED. THE FLOORS ARE
TIMBER WHICH WILL REMAIN.
 References ASSESSED ON SITE

4. Urban Setting & Adjoining Properties: _____

THE ADJOINING PROPERTIES ARE ALL USED FOR RESIDENTIAL
PURPOSES SET IN THE SUBURB OF GLENWOOD, DURBAN. MOST
OF THE HOUSES IN THE GLENWOOD AREA WERE BUILT MORE
THAN SIXTY YEARS AGO. THE HOUSES IN THIS PART OF
GLENWOOD OVERLOOK THE DURBAN BAY.

D. PROPOSED WORK

1. Purpose of Application (Indicate the reason by marking the relevant box)

DEMOLITION

CONDITION		HEALTH REASONS		OTHER	
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ALTERATION

CONDITION		MAINTENANCE		OTHER	✓
-----------	--	-------------	--	-------	---

ADDITION

EXTENSION	✓	CHANGED USE		OTHER	
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2. Motivation for proposed work (Please motivate fully – on a separate sheet if necessary)

THE NEW SCULLERY WILL BE BUILT WITHIN THE EXISTING REAR VERANDAH TO CREATE MORE SPACE IN THE EXISTING KITCHEN. THE WEST ELEVATION CHANGES ARE MINIMUM WITH A WALL & WINDOW ADDED. THERE IS NO DEMOLITION REQUIRED TO BUILD THE NEW SCULLERY.

THE NEW TOOL STORE IS REQUIRED DUE TO THE HIGH THEFT RATE IN THE GLENWOOD AREA. THE TOOL STORE WILL HOUSE THE GARDEN TOOLS AND LAWN MOWER. THIS TOOL STORE WILL CREATE SECURITY FOR THE PROPERTY & SURROUNDINGS BY DISCOURAGING THEFT.

THE EXISTING THATCHED BAR AREA IS IN A DEGRADED STATE. THE THATCHED ROOF LEAKS AND THE SUPPORTING ^{TIMBER} STRUCTURE IS ROTTEN. DUE TO THE LEAKS THE ELECTRICAL SUPPLY HAS BECOME A SHOCK HAZARD. IT IS ECONOMICALLY VIABLE TO RECONSTRUCT THIS AREA AS PROPOSED. THIS PROPOSAL DOES NOT HAVE A NEGATIVE IMPACT.

1. Detail the alterations/additions/restorations proposed (Briefly outline the proposal)

NEW SCULLERY IN THE EXISTING REAR VERANDAH ON THE WEST ELEVATION BUILT WITH BRICK & MORTAR & PLASTERED & PAINTED. TILES TO INTERNAL WALLS & FLOOR.

NEW TOOL ROOM ON THE SOUTH ELEVATION BUILT WITH BRICK & MORTAR & PLASTERED & PAINTED WITH A GMS ROLLER SHUTTER DOOR & LEAN TO ROOF


NEW ENTERTAINMENT AREA: REMOVE EXISTING THATCHED ROOF AND SUPPORTS, BUILD UP EXISTING WALLS IN FACE BRICK WITH A SLIDING DOOR & TWO WINDOWS WITH A NEW GABLE ROOF WITH CONCRETE TILES, GUTTERS & DOWNPIPES. INTERNAL WALLS TO BE ^{PLASTERED &} PAINTED & FLOOR TO RECEIVE TILES.

E. CONTACT DETAILS

1. CONTRACTOR (the person who will do the work)

NAME		SHALOM HOME IMPROVEMENTS	
POSTAL ADDRESS		P. O BOX 37653, OVERPORT	
DURBAN		POST CODE	4067
TEL	031-2090332	FAX	
CELL	0825535612	QUALIFICATIONS	DIP ARCHITECTURE
REGISTRATION OF INDUSTRY REGULATORY BODY:		NHBC REG No 18934	

2. ARCHITECT/ARCHITECTURAL TECHNOLOGIST/DESIGNER

NAME J.S. FRANK-T/A JF BUILDING DESIGN CONSULTANTS	
POSTAL ADDRESS P.O. Box 30704	
MAYVILLE	POST CODE 4058
TEL 031-2050760	FAX 031-2050760
CELL 0722985246	SACAP REG. NO. T0095
Author's Drawing Nos. 1217	
SIGNATURE 	DATE 02 MARCH 2013

3. OWNER OF PROPERTY (Owner or delegated person to sign on the front of this form)

NAME VIJAY J PATEL TRUST	
POSTAL ADDRESS P.O. Box 50964, MUSGRAVE ROAD	
DURBAN	POST CODE 4062
TEL 031-3021525	FAX 086 5677000

4. DELEGATED AUTHORITY (The name of the person authorized to act on behalf of a company or institution – Power or Attorney/proof of authorization to be attached)

NAME VIJAY J PATEL	
TEL 031-3021525	FAX 086 5677000

F. SUBMISSION FEE: R600.00 (subject to annual increment on the 1 April)

The submission fee is payable to Amafa aKwaZulu-Natali by cheque or bank deposit/internet banking prior to the processing of this application.
 Banking details in case of direct deposits:
ABSA BANK: Branch: ULUNDI Bank Code: 630330
Account in the name of AMAFA AKWAZULU-NATALI
Account No. 40-5935-6024
NB: Proof of payment to be forwarded (faxed, posted or delivered) to our office

G. PUBLIC PARTICIPATION: (Contact details of Interested and Affected Parties Consulted - written opinion to be attached to form and drawings to be signed by I & A P. See Guidelines)

Name _____
 Telephone _____ Fax _____

H. CHECKLIST OF SUPPORTING DOCUMENTATION

	YES	NO
APPLICATION FORM (COMPLETED & SIGNED BY OWNER & PLANS AUTHOR)	✓	
MOTIVATION	✓	
PHOTOGRAPHS	✓	
ORIGINAL DRAWINGS	✓	
PLANS (X2 SETS) - NUMBERED AND COLOURED	✓	
PROOF OF PROFESSIONAL ACCREDITATION (e.g. copy of accreditation card)	✓	
PROOF OF PUBLIC PARTICIPATION		✓
PAYMENT/PROOF OF PAYMENT	✓	



AMAFA aKWAZULU-NATALI

GUIDELINES FOR THE PREPARATION OF APPLICATIONS FOR PERMITS FOR DEMOLITION OF, ALTERATION AND/OR ADDITIONS TO PROTECTED STRUCTURES (SECTION 33(1)(A) OF THE KZN HERITAGE ACT (4 OF 2008))

Please read these guidelines carefully before preparing your application on Application Form A. Form H must be used for buildings that are proclaimed Heritage Landmarks (previously National Monuments) and listed buildings. For approval of unauthorised work already carried out, by whosoever and for whatever reason, form I must be used.

APPLICATION FORMS

- A. All applications must be made on the relevant official application form and must be accompanied by the relevant supporting documentation. The owner must sign the application form and any accompanying plans or documentation.
- B. **PROPERTY:** Include the name of the property where applicable: e.g. Government House. The street address is the key information and is used as a tracking device in the filing system. Where several street numbers apply to the site, all the numbers must be included.
- C. **SIGNIFICANCE:** All structures over 60 years of age are protected.
1. The original date of construction is significant to the evaluation of the conservation worthiness of the building.
 2. **HISTORICAL REPORT:** a brief history of the occupation of the site and phases of construction, as well as an assessment of historical significance is necessary. Do not assume that there is no significance – proof of such a statement must be provided.
 3. **ARCHITECTURAL REPORT:** An assessment of the condition of the building should be given. Provide an analysis of the styles and phases of construction of the building, including alterations and additions and a statement of its architectural significance.
 4. **URBAN SETTING & ADJOINING PROPERTIES:** It is important to describe the urban context in which the building is situated (supported by photographs of the surrounding buildings).
- D. **PROPOSED WORK:** Motivate and give full details of the proposed work. Details must be given of the work to be carried out – do not merely refer to the plans submitted.

A SUBMISSION FEE OF R600.00 (subject to annual increment on the 1 April) PER APPLICATION MUST BE PAID

THE OWNERS MUST SIGN THE APPLICATION FORMS!! PERMITS ARE NOT TRANSFERABLE

PUBLIC PARTICIPATION: Amafa will determine the level of participation required and the owner will bear the cost.

SUPPORTING DOCUMENTATION: Only Amafa and SACAP accredited professionals may compile the supporting documentation. Permits will require their overseeing the work.

(N B: All supporting documentation to be folded to A4 size, with plans folded showing the title block containing all details of the owner, architect/technologist/designer, SACAP registration no., drawing nos. (with all revisions indicated), date of drawings and signatures of the owners and the author. *Demolition applications must be supported by photographs, as required below, and concept drawings for the replacement building/s. The existing structures must be shown in dotted lines on the site plan with the new structures superimposed thereon.*)

1. PHOTOGRAPHS OF EXISTING STRUCTURE/S AND SURROUNDINGS:

Photographs must clearly illustrate the features of the affected building relevant to the application must be submitted. Photographs showing all the elevations/sides as well as general views showing the building in its context (streetscape and surrounding buildings) must also be provided.

2. PLANS:

Plans must be drawn by architects/designers registered with the South African Council for the Architectural Profession and accredited with Amafa. Two copies of the plans, coloured in accordance with the instructions below, must be submitted. One copy will be stamped and sent back to the architect/technologist/designer to submit to the Municipality. Plans should not be smaller than A3 size (210 x 297 mm) and should not be larger than A0 size (841 x 1 189 mm).

2.1. SITE PLAN

The site plan must be drawn in accordance with the approved surveyor's diagram of the site and must show: scale; the north point; the erf/property/farm number of the site; the location of the site and any structures on it in relation to surrounding roads, buildings and other features; existing buildings, structures, and pools on the site (coloured grey or uncoloured); proposed work (coloured red) and buildings or portions of buildings proposed for demolition (in dotted lines); and the extent of the declared area (in the case of a proclaimed property). An aerial view obtainable from "Google Earth" or the municipality is also very useful.

2.2. FLOOR PLANS, ELEVATIONS AND SECTIONS

Sufficient plans, elevations and sections must be submitted to show the proposed work clearly. These drawings should be at 1:100, 1:50 or 1:20 scale, and must be fully dimensioned. The position of section lines must be indicated on the plan. The elevations should accurately reflect the effect of the proposal on the structure and its relationship to adjacent buildings.

All new materials, including finishes, must be specified. Drawings should be coloured as follows:

MATERIALS	COLOUR
all existing	grey
demolition	dotted lines
new masonry	red
new concrete	green
new iron or steel	blue
new painting & plastering	yellow
new wood	brown
other	clearly indicated, using colours other than as above

2.3. SCALE PLAN OF EXISTING STRUCTURE(S)

If it is impossible to distinguish the existing layout from the original plans submitted, a measured floor plan of the structure as it exists is required. It must be at the same scale and orientation as the plans of the proposed work to facilitate comparison.

2.4. DOOR AND WINDOW SCHEDULES AND DETAILS

Proposals for changing or replacing doors or windows must include sufficient information about their size, proportion and detail. This may be in the form of manufacturer's information (for stock windows and doors) or joinery details (for specials).

G. Public Participation: the applicant will be notified of the level of public participation required and will have to bear the costs thereof. Neighbours, Ward Councillors, and Heritage Societies should be consulted.

SUBMISSION OF APPLICATIONS

Applications to be submitted in hard copy at least 90 days prior to work being undertaken and must be addressed to: The Head – Built Environment Section (not to an official's name), Amafa aKwaZulu-Natali, and must be delivered to 195 Langalibalele Street, Pietermaritzburg, 3201 or posted to BOX 2685, Pietermaritzburg, 3200. Faxed or e-mailed applications are not accepted.

PROCESSING OF APPLICATIONS:

Applications are processed on a two weekly cycle with a six-week break at the end of November until mid January each year. Applications for major alterations/additions/demolition are submitted to the Plans Committee. Applications for sensitive buildings may be submitted to the Built Environment Committees that meet every six weeks. Lobbying of Plans Committee or BEC members will disqualify the application and the matter will be reported to the SACAP and the Institute for Architecture/Institute for Building Designers. For information on the deadlines for submissions for each Plans Committee meeting contact Tel: (033) 394 6543; Fax: (033) 394 6552 or consult the Amafa website, www.heritagekzn.co.za where application forms can be found under "Permits" – Form A. Written notification on the progress of applications will be forwarded to applicants by post or fax and no telephonic calls or e-mails in this regard will be responded to. All documentation submitted is retained for record purposes (second copies of plans will be stamped and returned to the applicant so make it clear to whom they must be posted).

***PLEASE NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Processing can take up to 90 days from the receipt of all required documentation**

PHOTOGRAPHS OF EXISTING BUILDING



East Elevation



RHS of East Elevation



East Elevation – LHS Ground Floor



East Elevation – LHS First Floor



West Elevation



RHS of West Elevation



LHS of West Elevation



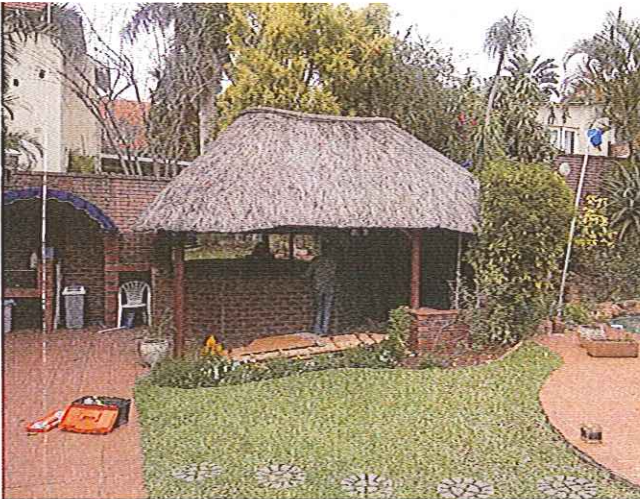
East Elevation - Rear of Property



East Elevation of Outbuilding



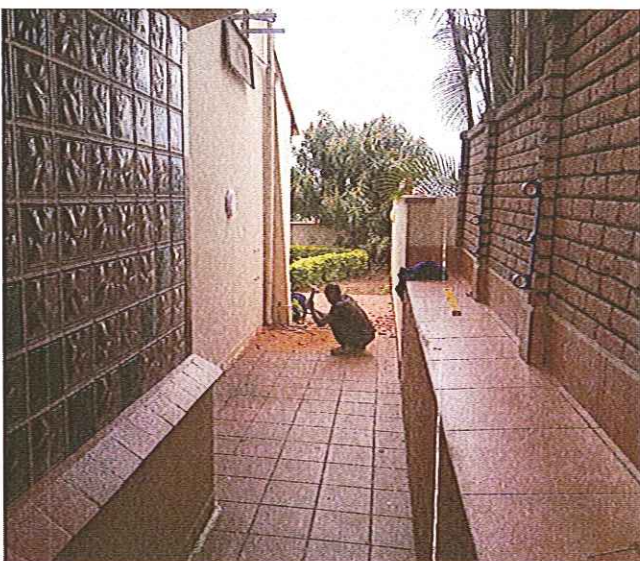
East Elevation - RHS of Outbuilding



North Elevation of Thatched Bar Area



North East Elevation Of Thatched Bar Area



South Elevation - Area for Proposed Tool Store

PHOTOGRAPHS OF NEIGHBOURING BUILDINGS



No. 26 Princess Alice Ave.



No. 18 Princess Alice Ave.



No. 15 Princess Alice Ave

FEES	
Stamp duty
Reg.	R 500,00
Serv
G/M Bend

J. Kissoon Singh Incorporated
 1st Floor
 International Plaza
 128-132 Commercial Road
 Durban
 4001

Prepared by me

MJ Patel

CONVEYANCER
 Patel MJ

VERBIND MORTGAGED	
VIR FOR R 500 000,00	
(3) B 000028129 / 2000	<i>JUB</i> REGISTRATEUR/REGISTRAR
2000 -09- 27	

2000 -09- 27

T 000047045 / 2000

DEED OF TRANSFER

BE IT HEREBY MADE KNOWN THAT:

Kalpana Seegobin

appeared before me, Registrar of Deeds, at Pietermaritzburg, the said appearer being duly authorised thereto by a Power of Attorney granted to him by

JOHN HENNING OTTO
 Identity Number 530724 5144 005
 Married out of community of property

which said Power of Attorney was signed at DURBAN on 25th AUGUST 2000

And the said appearer declared that his principal had, on 21 July 2000, truly and legally sold by Private Treaty, and that he, the said Appearer, in his capacity aforesaid, did, by these presents, cede and transfer to and on behalf of:

The Trustees for the time being of VIJAY JAYANTILAL PATEL TRUST
No. IT 4589/84

its Successors in Office or Assigns, in full and free property

**ERF 5258 DURBAN
REGISTRATION DIVISION FU
SITUATE IN THE DURBAN ENTITY
PROVINCE OF KWAZULU/NATAL
IN EXTENT 888 (EIGHT HUNDRED AND EIGHTY EIGHT) Square
Metres**

**FIRST transferred by Deed of Transfer No.T2513/1931 with Diagram
S G O Sub 827 Vol 51 relating thereto and held by Deed of Transfer
No. T 31672/95.**

This property is transferred:

- A. SUBJECT to the whole terms and conditions contained in the original Government Grant No. 1737, insofar as the same are still in force and applicable.
- B. WITH the benefit of the sewer and drain servitude 1,83 metres wide over adjoining lots as shown on the diagram thereof, as created in said Deed of Transfer No. 2513/1931.
- C. SUBJECT to the special conditions created in said Deed of Transfer No. 2513/1931, and especially to the following, viz:
 1. No subdivision of the lot will be permitted and only one entirely detached private residence with the necessary outbuildings will be allowed on the Lot. The erection of one building containing two or ore residential flats is prohibited by the terms of this condition.
 2. The lot shall be used for residential purposes only, and it is an express condition that it must not be used for business purposes of any kind whatsoever.

3. Should the owner at any time be in breach of any of the conditions set out above, the Corporation shall upon notice to the registered owner be entitled to apply to the Supreme Court of South Africa, Natal Provincial Division by way of motion or otherwise, as the said Court may in its discretion direct, for an Order authorising the Registrar of Deeds to retransfer the said land to it, without any liability, on the part of the Corporation to repay the purchase price of any portion thereof or to pay any compensation whatsoever in respect of any buildings which may have been erected upon the said lot at the date of such Order or otherwise howsoever and to recover from such registered owner the expenses of an incidental to such Order, and the expenses of and incidental to the retransfer as aforesaid to the Corporation.

WHEREFORE the said Appearer, renouncing all right and title which the said

JOHN HENNING OTTO

heretofore had to the premises, did in consequence also acknowledge him to be entirely dispossessed of, and disentitled to the same, and that by these presents, the said

The Trustees for the time being of VIJAY JAYANTILAL PATEL TRUST

its Successors in Title or Assigns, now is and henceforth shall be entitled thereto, conformably to local custom, the State, however reserving its rights, and finally acknowledging the purchase price to be the sum of R825 000,00 (EIGHT HUNDRED AND TWENTY FIVE THOUSAND RANDS).

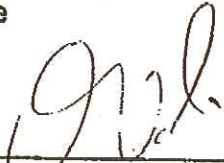
IN WITNESS WHEREOF, I the said Registrar, together with the Appearer, have subscribed to these presents, and have caused the Seal of Office to be affixed thereto.

THUS DONE and EXECUTED at the Office of the Registrar of Deeds at
Pietermaritzburg on

2000 -09- 27

Reynolds
d.g.

In my presence



REGISTRAR OF DEEDS

CITY OF DURBAN - RATE CERTIFICATE
STAD DURBAN - BELASTINGSERTIFIKAAT

No.
Nr.

178975

30

Rate No. :
Belastingnummer:
Date of Issue:
Datum uitgereik:
Certificate valid to :
Sertifikaat geldig tot:

1506-7099

2000-08-15

2000-12-31

This is to certify that the proportionate rates and penalties that have become due on the property described hereunder have been paid.
Hiermee word gesertifiseer dat die eweredige belasting en boetes wat ten opsigte van onderstaande eiendom verskuldig is, betaal is.

Description :
Beskrywing:

ERF 5258 DURBAN

Situated in the Registration Division of the City of Durban, within the area of jurisdiction of the North Central and South Central Local Councils.
Geleë in die Registrasie-afdeling van die Stad Durban, binne die regsgebied van die Noord-Sentrale en Suid-Sentrale Plaaslike Rade.
This Certificate is in terms of Section 175 of the Local Authorities Ordinance No. 25 of 1974 and Regulation 11 of Proclamation R293/1962.
Hierdie sertifikaat word uitgereik ingevolge artikel 175 van die Ordonnansie op Plaaslike Owerhede No. 25 van 1974 en regulasie 11 van Proklamasie R293 van 1962.

Extent: _____ Hectares/hektaar

Valuation-Land: 156500

Waardasie-Grond:

Grootte: 888 Square metre/vierkante meter

Building: 395900

Gebou

Checked :

Nagegaan:

Counter Checked:

Gekontroleer:

p.p.
per

J. KISSOON SINKH
CITY TREASURER

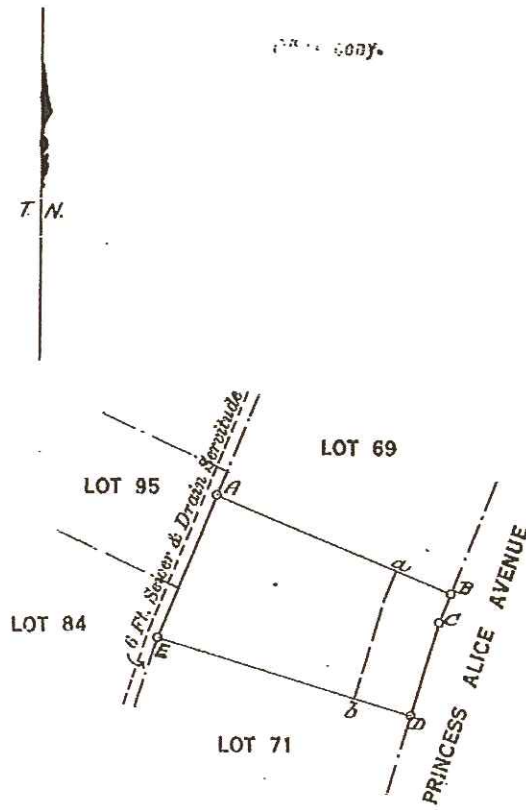
Conveyancer:
Aktebesorger:

J. KISSOON SINKH

Approved

J. J. van der Merwe
Surveyor General.

1 APR 1931

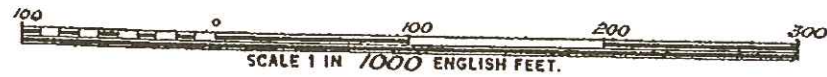


Reg. Div.
FU

SIDES		ANGLES	
AB	130.00	A	90.00.00
BC	15.82	B	90.00.00
CD	50.00	C	185.42.30
DE	135.65	D	90.00.00
EA	79.03	E	84.17.30

Note: a. b. is a 30 Ft. Building Line.

Now LOT.....**5258**.....DURBAN



The figure A. B. C. D. E. Represents — Acres 9557 Square Feet
of land called ——— LOT 70 BLOCK F ———

situate in the Town Lands of Durban, Province of Natal.

Surveyed in January, 1930 by me

E. K. Brown . Land Surveyor.

This diagram is annexed to deed of Transfer No. <i>2513/1931</i> Dated <i>22 July 1931</i>	Original diagram is annexed to Deed of Grant No. 1737. Dated 27th July 1855.
<p><i>(Sd) L. v. R. Luyt</i> Registrar Deeds</p>	Sub. Vol. Fol.

A satellite view of a residential street. The central focus is a house with a prominent red-tiled roof and a dark front facade. To the right, a white car is parked on the street. The surrounding area includes other houses with similar red roofs, lush green trees, and a sidewalk. A red location pin is placed on the roof of the central house.

22 Princess Alice Ave, Berea 40883,

© 2013 AIGIS (Pty) Ltd.

Google earth



SOUTH AFRICAN COUNCIL
for the
ARCHITECTURAL PROFESSION

THIS IS TO CERTIFY THAT

Jeffrey Somasundram Frank

IS REGISTERED AS A

**PROFESSIONAL ARCHITECTURAL
TECHNOLOGIST**

IN TERMS OF THE ARCHITECTURAL PROFESSION ACT NO 44 OF 2000

PRESIDENT

ACTING
REGISTRAR

DATE

REGISTRATION NO.

VALID UNTIL

DATE ISSUED

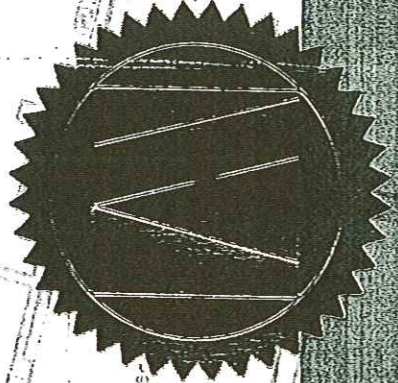
20 August 2002

T0095

01 January 2017

24 November 2011

IT IS HEREBY CERTIFIED THAT
THIS IS A TRUE COPY OF THE
ORIGINAL DOCUMENT AND THAT
NO ALTERATIONS HAVE BEEN
MADE TO ANY UNAUTHORISED
MATTERS BY AN UNAUTHORISED
PERSON.



PROFESSIONAL ARCHITECTURAL
TECHNOLOGIST