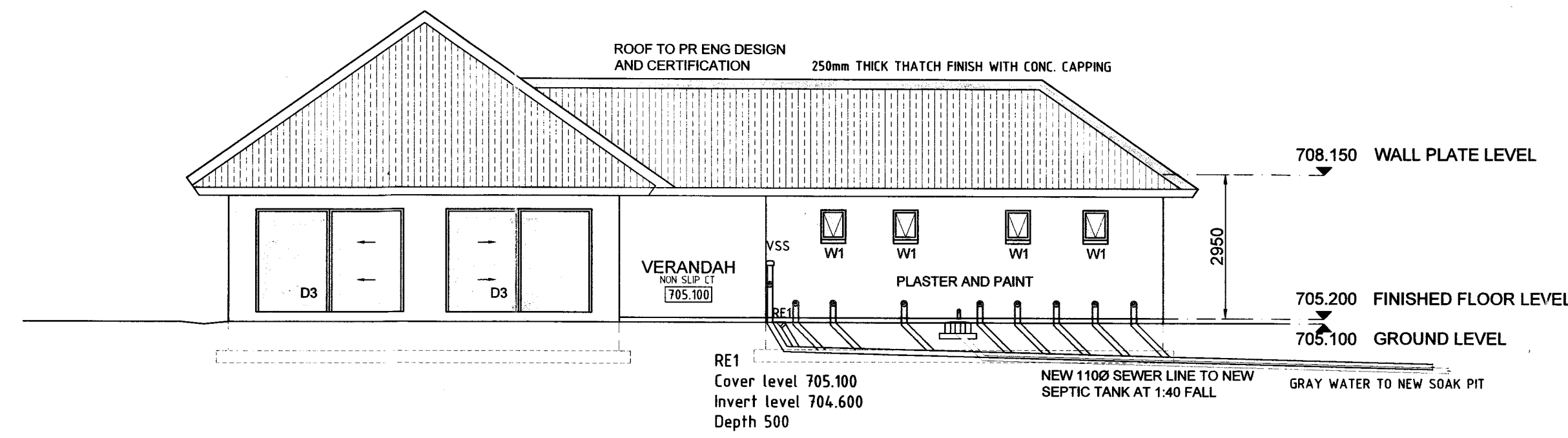
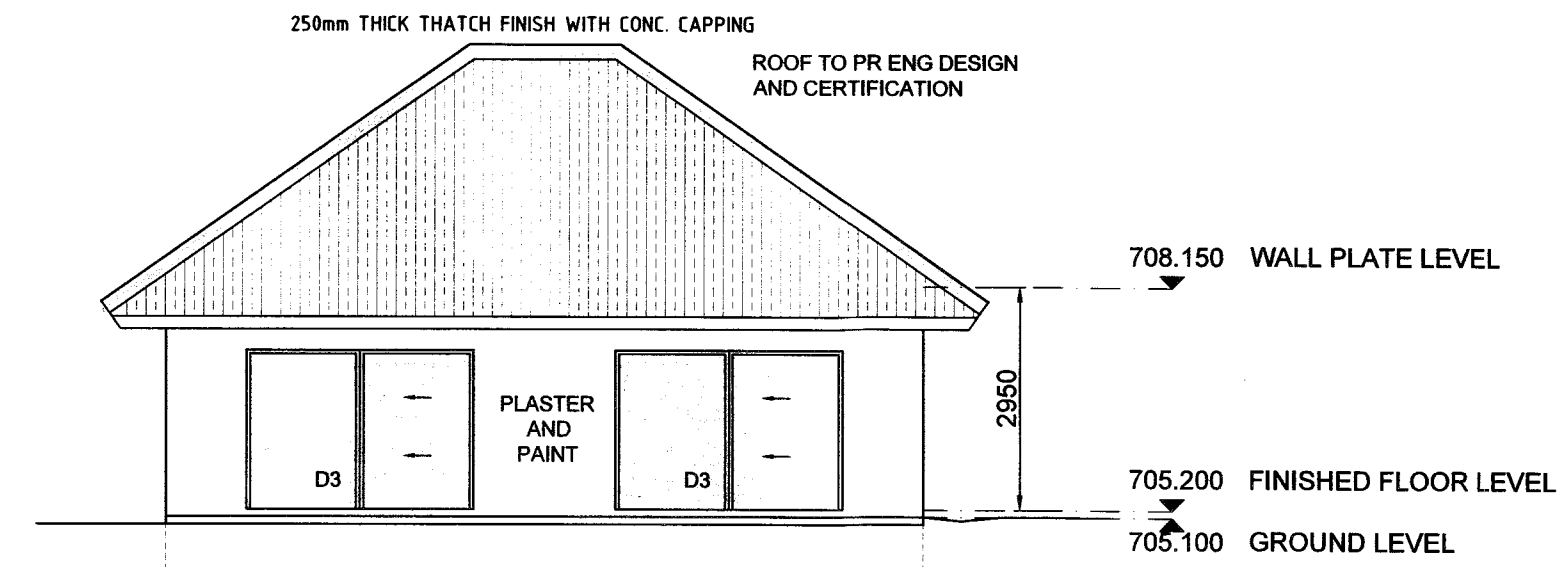


MUNICIPAL USE

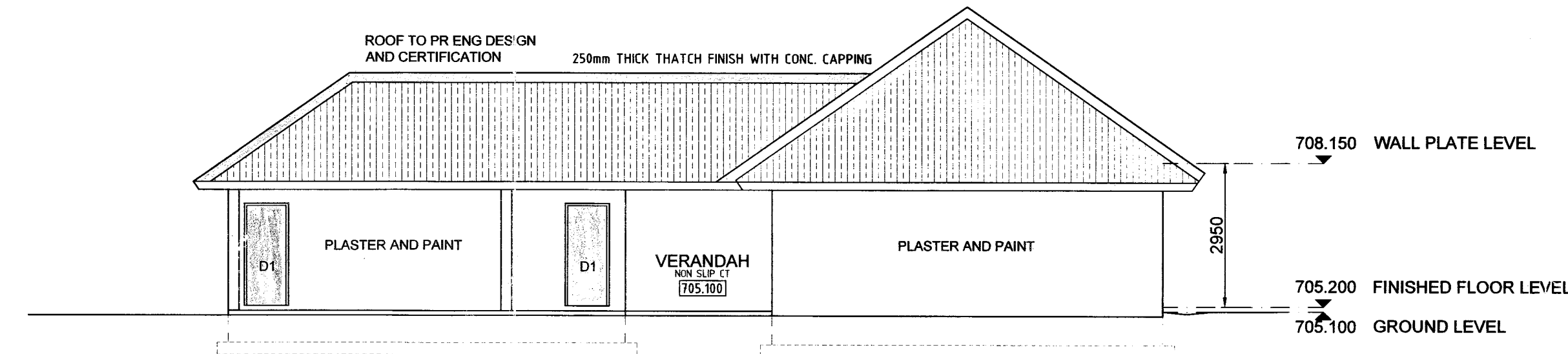
NOTE: ANY ERRORS AND/OR DEVIATIONS ARE TO BE BROUGHT TO THE AUTHORS ATTENTION, FAILING WHICH THE AUTHOR IS NOT RESPONSIBLE FOR SUCH. CORNER BEACON CERTIFICATES TO BE ISSUED BY A REGISTERED LAND SURVEYOR. THE CERTIFICATES ARE TO BE PROVIDED PRIOR TO CONSTRUCTION COMMENCING. EARTHWORKS TO BE CONFIRMED ON SITE AND ALL EMBANKMENTS ARE TO BE SELF STABILIZING AT 35 DEGREES. ALL STRUCTURAL ELEMENTS ARE TO BE PR. ENG DESIGNED AND CERTIFIED. PRECAST CONCRETE LINTOLS OVER OPENINGS TO SANS PART K, UNLESS OTHERWISE STATED. ELECTRICAL, GAS, PLUMBING AND GLAZING ELEMENTS ARE TO BE INSTALLED AND CERTIFIED BY A REGISTERED PERSON. FINAL FLOOR AND GROUND LEVELS ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ALL WINDOW AND DOOR SIZES TO BE CONFIRMED ON SITE PRIOR TO THE ORDERING/MANUFACTURING THEREOF. NO CONSTRUCTION TO DETRIMENT FROM ESTATE GUIDELINES OR SANS 10400 BUILDING REGULATIONS. (only if applicable)



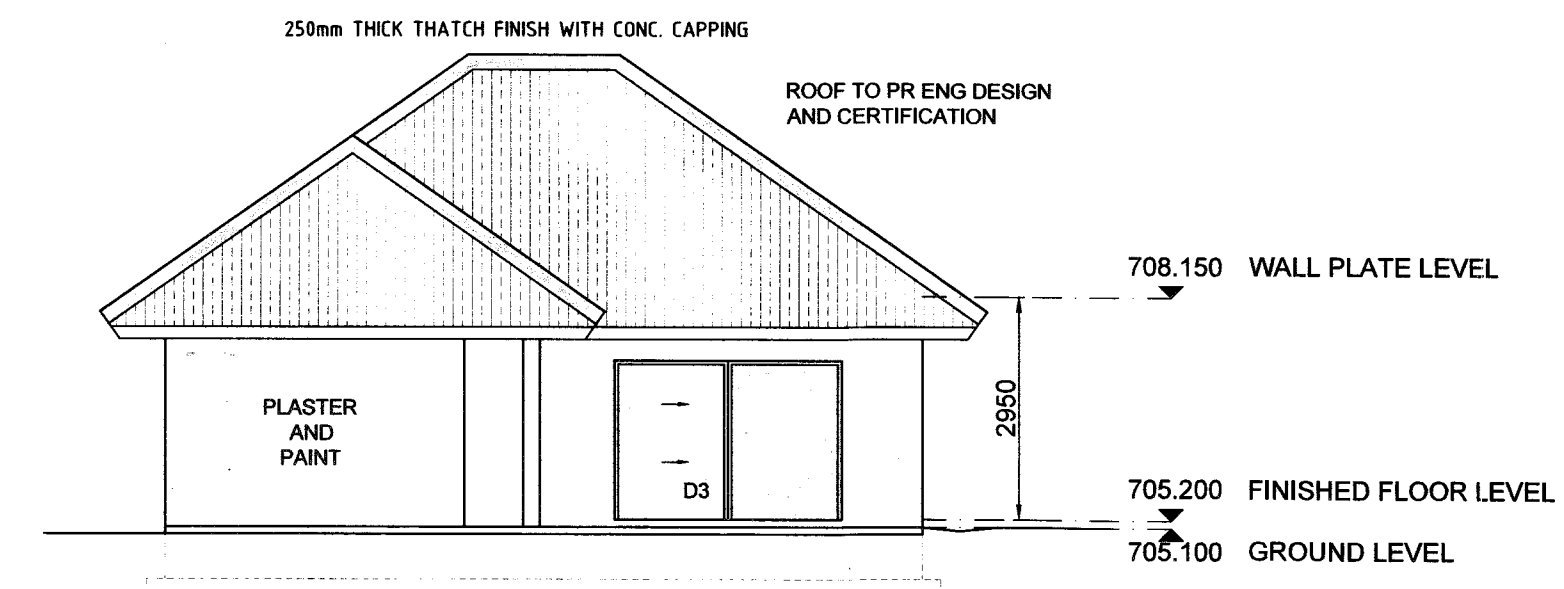
NORTH EAST ELEVATION
SCALE 1:100



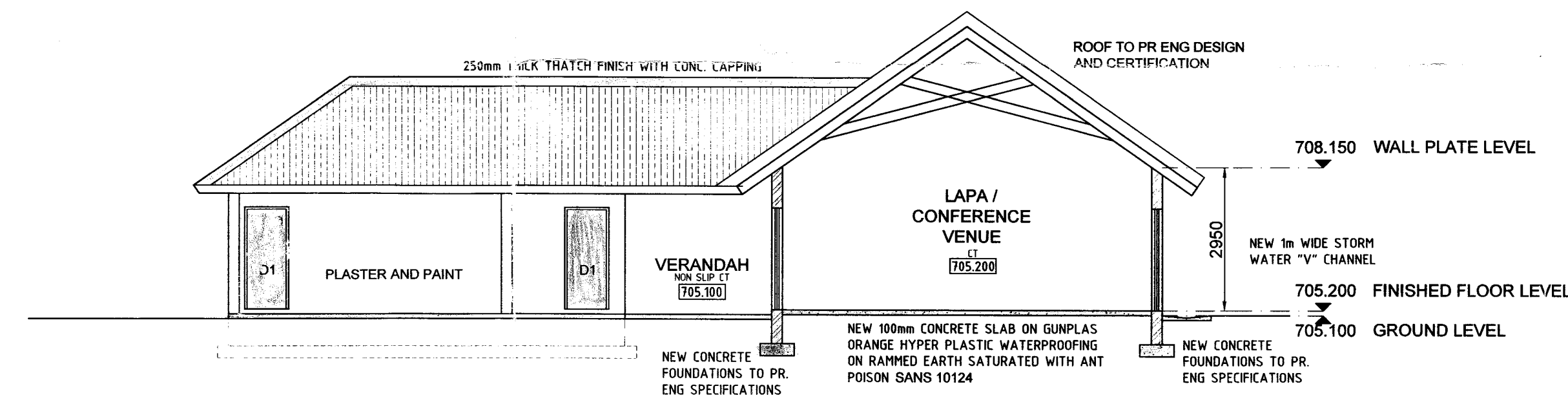
SOUTH EAST ELEVATION
SCALE 1:100



SOUTH WEST ELEVATION
SCALE 1:100



NORTH WEST ELEVATION
SCALE 1:100



SECTION A - B
SCALE 1:100

WINDOW SCHEDULE

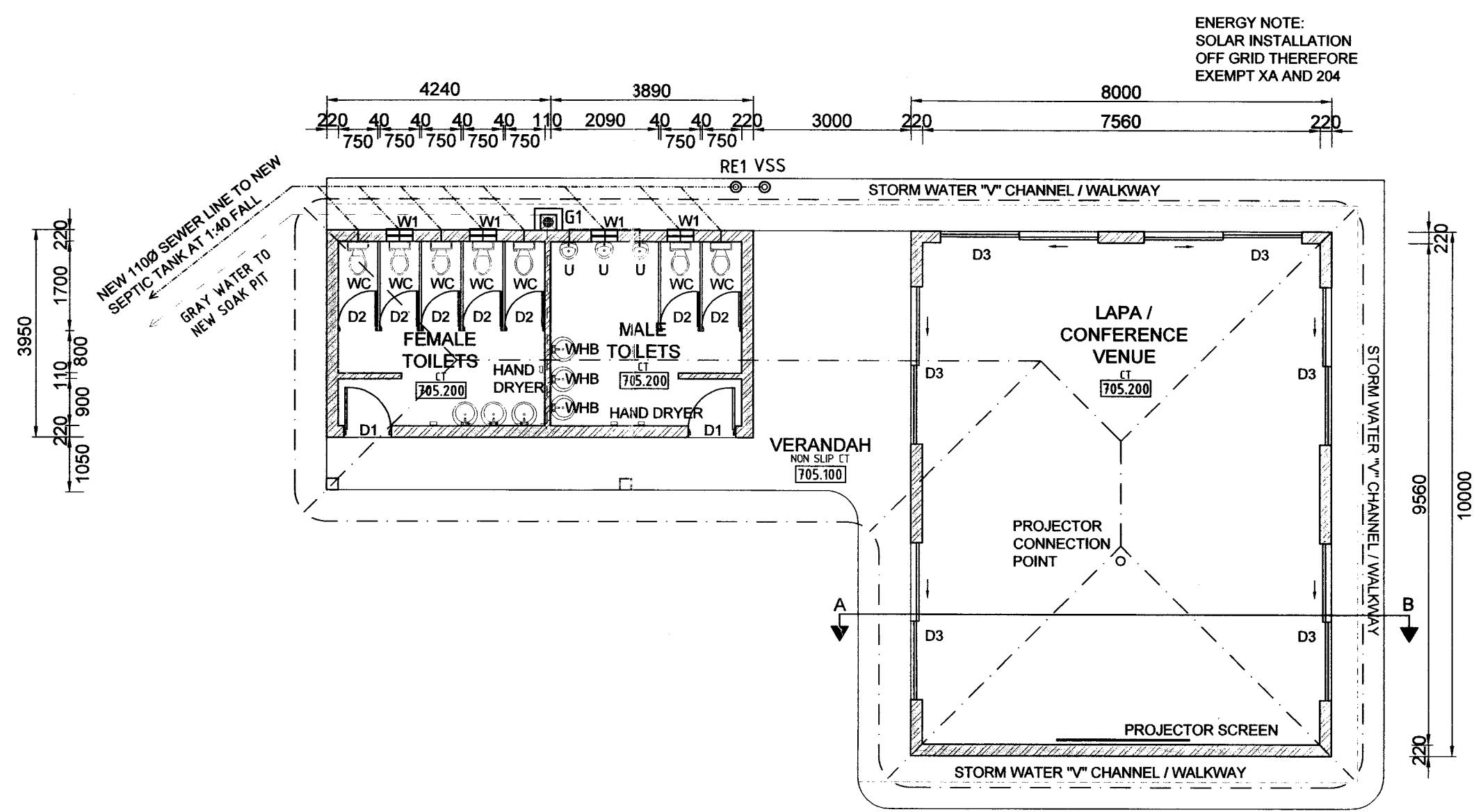
WINDOW CODE	w1	GLAZING AREA: 0.20m ²
NO. REQUIRED	4	
DESCRIPTION	500mm wide x 600mm high TOP HUNG WINDOW	
GLAZING	4mm OBSCURE GLASS TO COMPLY WITH SANS 10400 N	
IRONMONGERY	ALUMINIUM HINGES AND FITTED WITH ALUMINIUM HANDLES AND STAYS	

NOTE: DOORS AND WINDOW DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING AND MANUFACTURING OF DOORS AND WINDOWS

ENERGY NOTE:
SOLAR INSTALLATION OFF GRID THEREFORE EXEMPT XA AND 204

DOOR SCHEDULE

DOOR CODE	D1	DOOR CODE	D3	GLAZING AREA: 3.60m ²
NO. REQUIRED	2	NO. REQUIRED	2	
DESCRIPTION	HARDWOOD SOLID CORE PANEL DOOR SIZE 813mmx2032mmx4mm		SHATTER PROOF FLOAT GLASS SIZE 1900mmx2032mmx4mm	
FRAME	STANDARD PRESSED STEEL DOOR FRAME DOUBLE REBATED TO FIT 813mm WIDE DOOR		ALUMINIUM FRAMED SLIDING SASH DOOR	
DOOR CODE	D2			
NO. REQUIRED	7			
DESCRIPTION	HARDWOOD SOLID CORE PANEL DOOR SIZE 750mmx1800mmx4mm TOILET DOOR HUNG WITH 200mm FLOOR GAP			
FRAME	STANDARD PRESSED STEEL DOOR FRAME DOUBLE REBATED TO FIT 813mm WIDE DOOR			



LAPA - OPTION 3
SCALE 1:100

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registered property owner
MR. N. SMITH

project
PROPOSED
ALTERATIONS AND ADDITIONS
ON
60 - 62 Tomlinson Rd, Prestbury, PMB
REM ERF 353

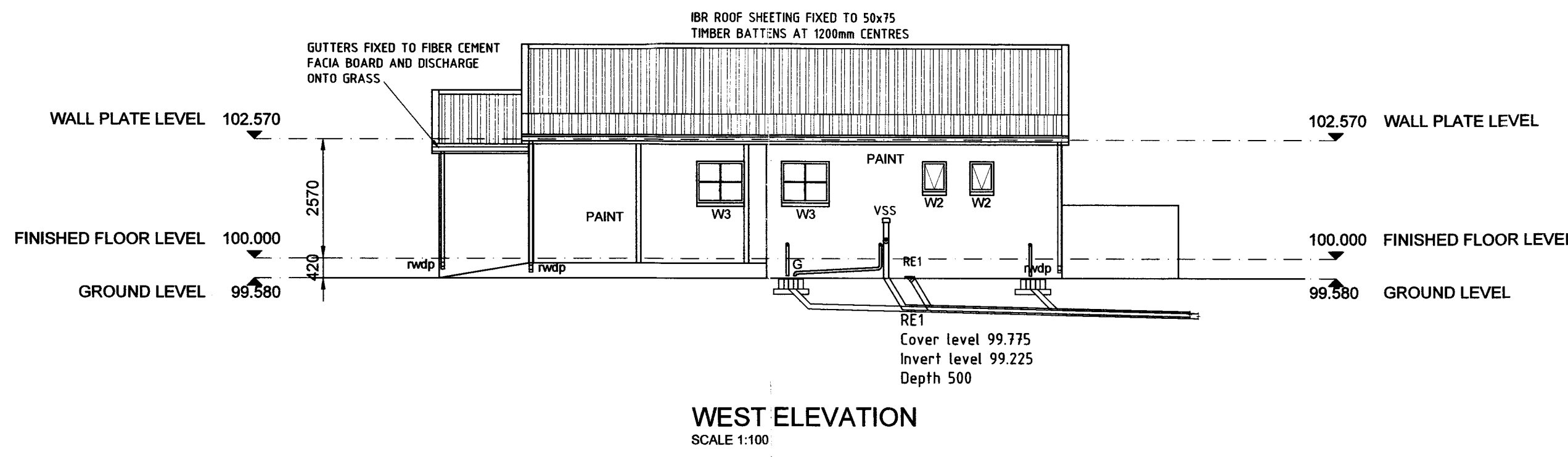
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as per plan	Ryan McFie (PAD29278098) 082 836 8676		
sheet number	date		
8 of 9	19 - 04 - 2022		

CLASSIFICATION H4
PROPOSED
2018-001-WD-008

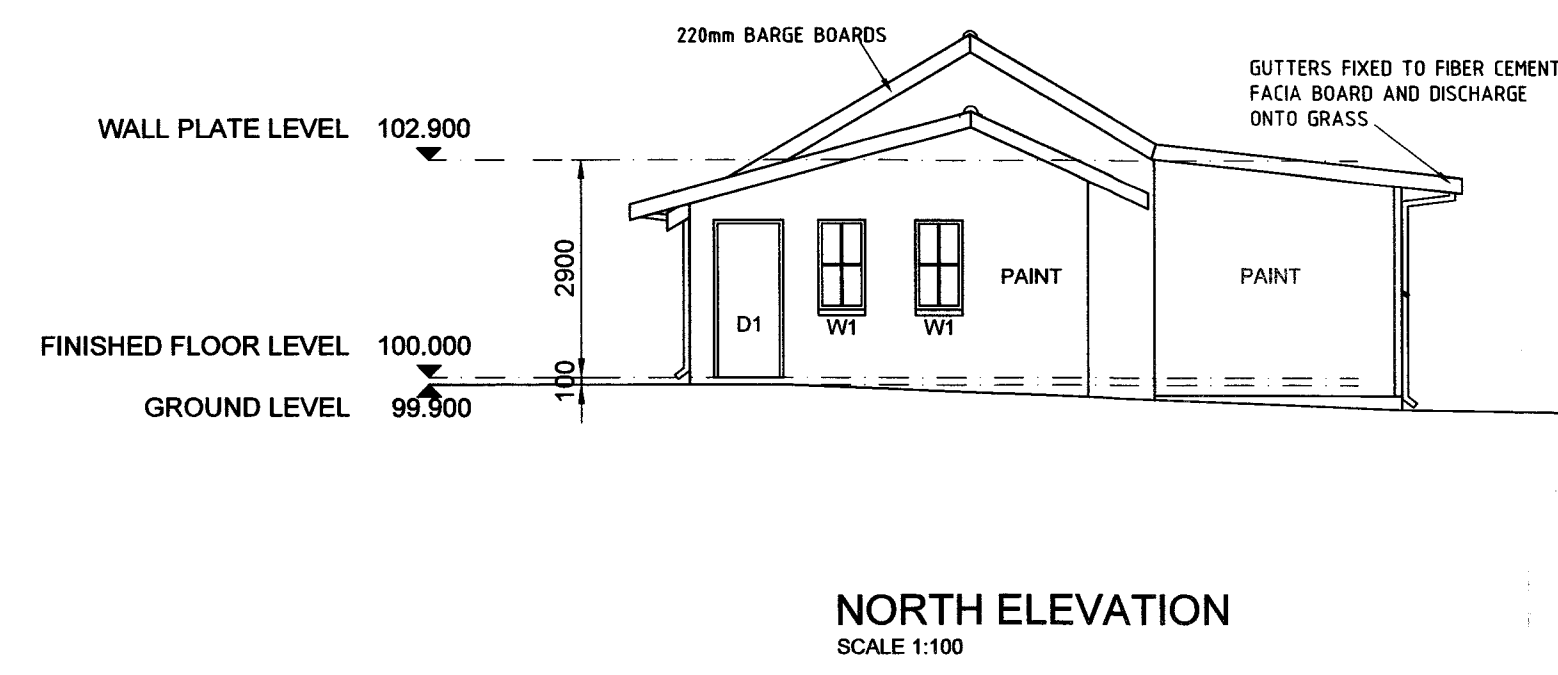
FIRE NOTES:
REFER TO DRAWING
2018-001-001 SHEET NO. 1-9

MUNICIPAL USE

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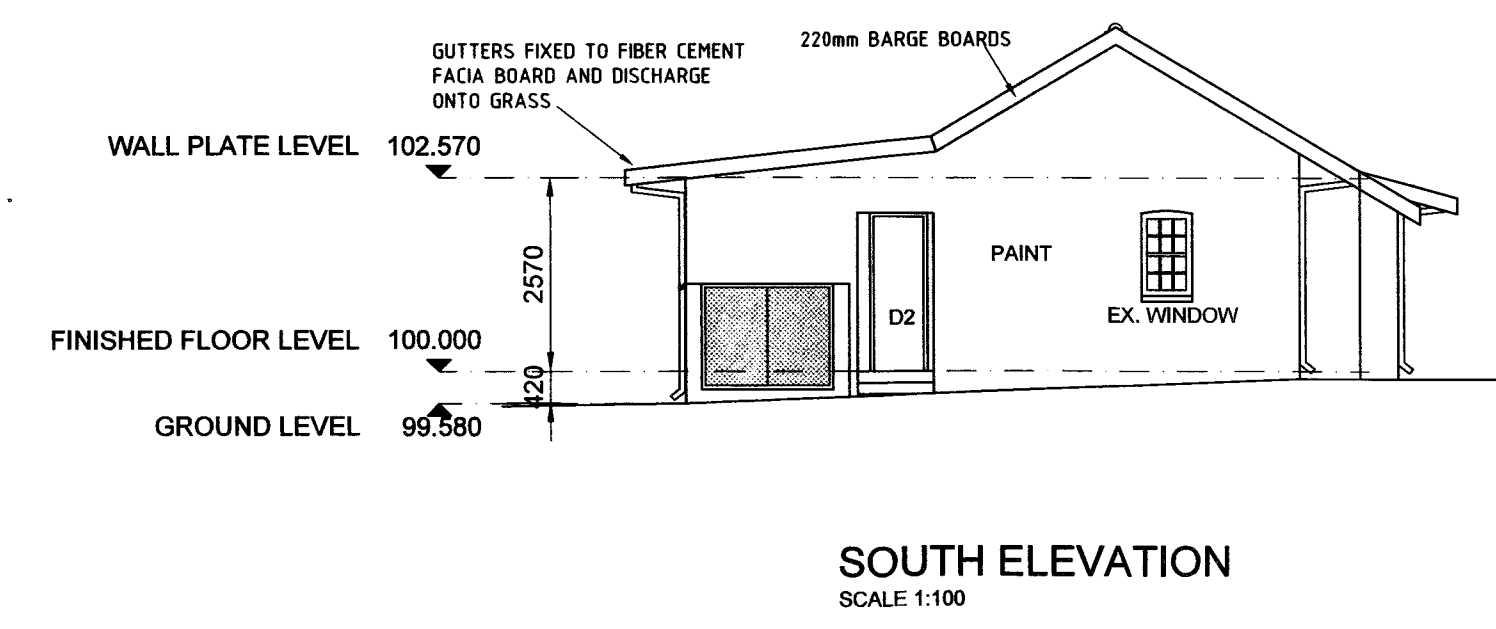
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SCALE 1:100



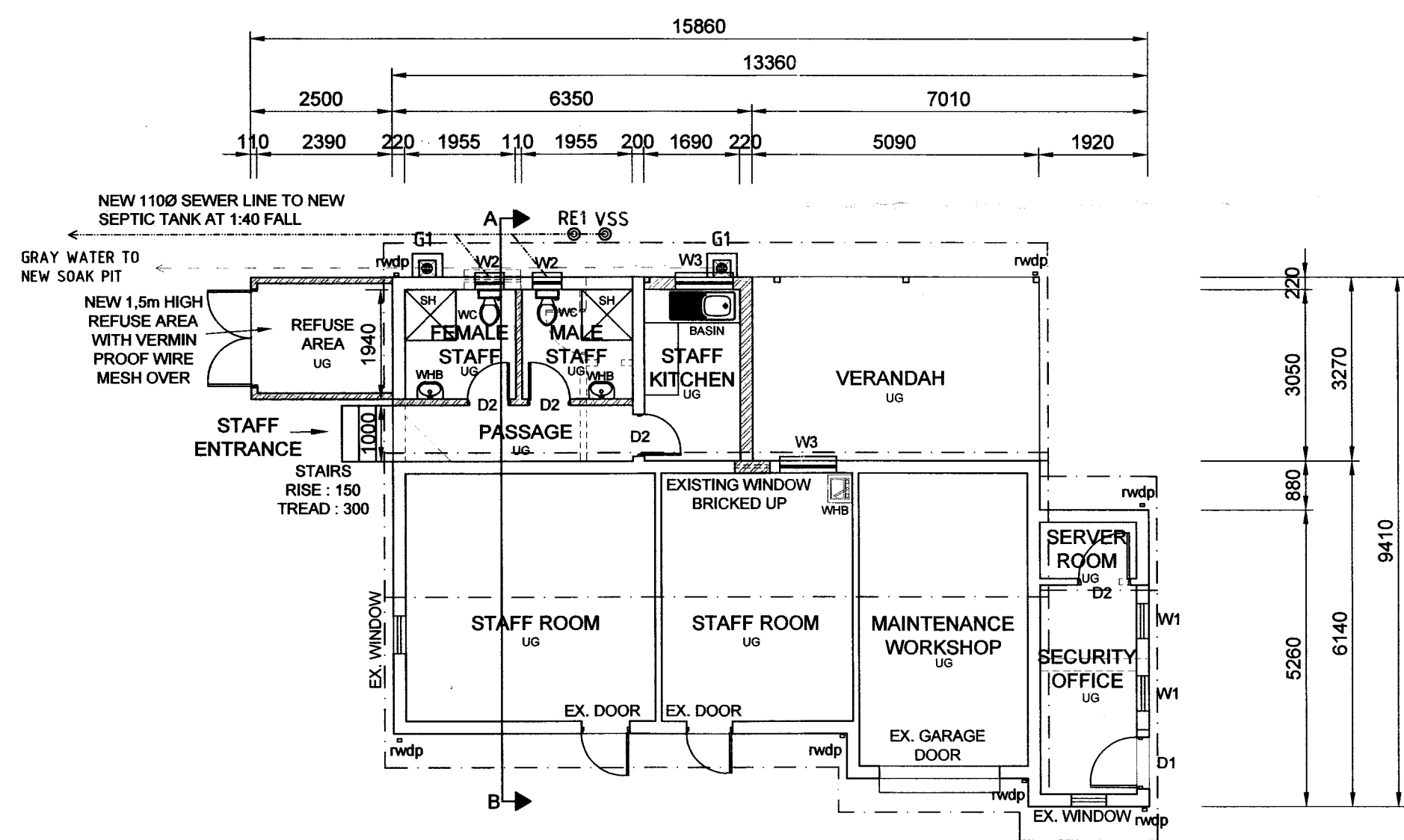
NORTH ELEVATION
SCALE 1:100



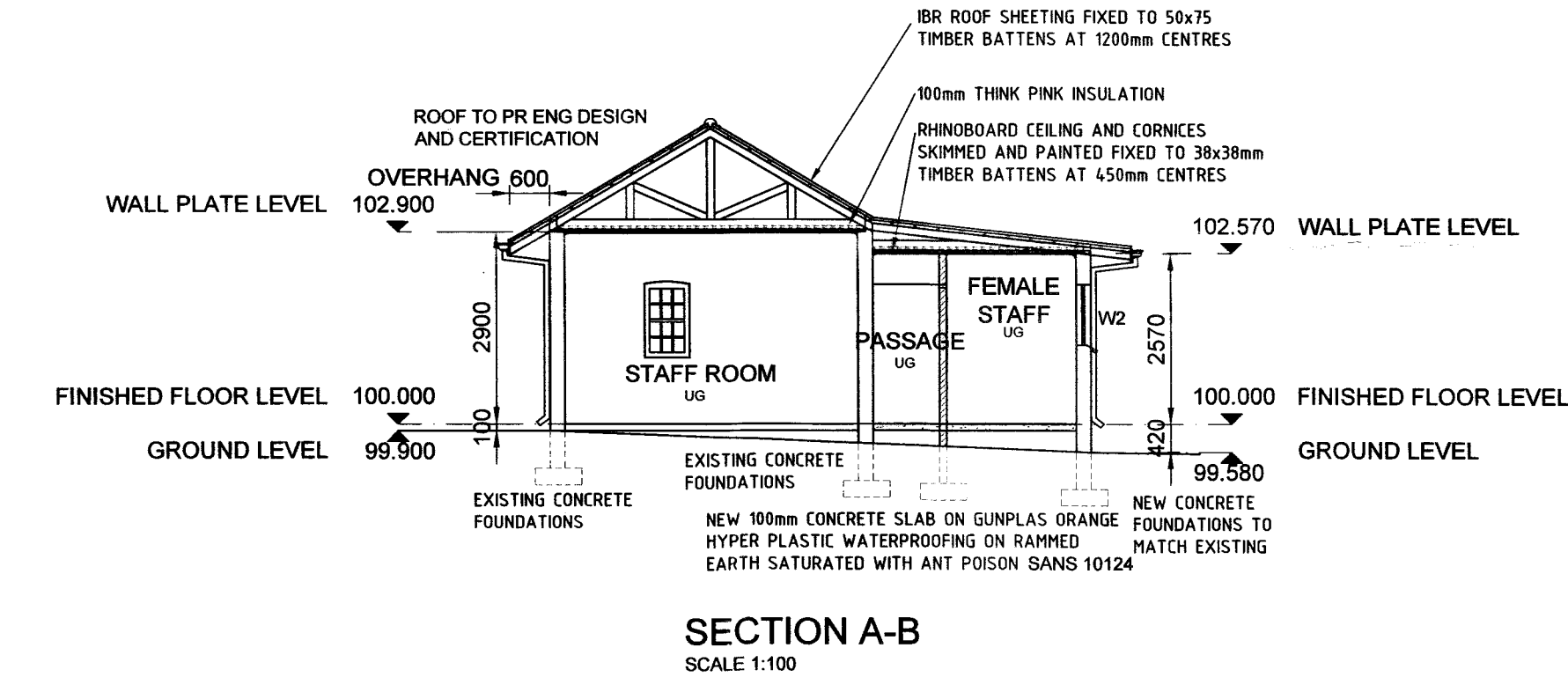
EAST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



STAFF QUARTERS / WORKSHOP
SCALE 1:100



SECTION A-B
SCALE 1:100

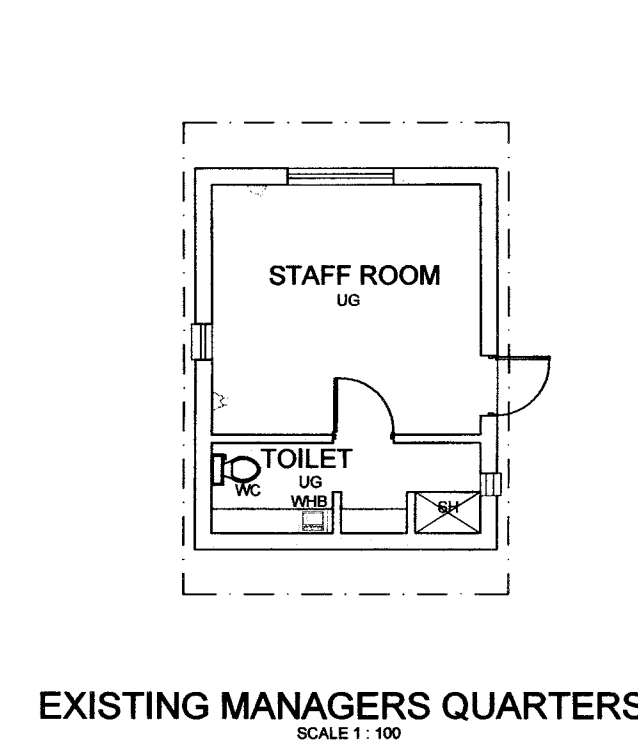
WINDOW SCHEDULE

WINDOW CODE	NO. REQUIRED	DESCRIPTION	GLAZING	IRONMONGERY
W1	2	620mm wide x 1200mm high SLIDING SASH WINDOW	4mm CLEAR GLASS TO COMPLY WITH SANS 10400 N	ALUMINUM HINGES AND FITTED WITH ALUMINUM HANDLES AND STAYS
W2	2	1020mm wide x 900mm high SLIDING SASH WINDOW	4mm CLEAR GLASS TO COMPLY WITH SANS 10400 N	ALUMINUM HINGES AND FITTED WITH ALUMINUM HANDLES AND STAYS
W3	3	570mm wide x 670mm high TOP HUNG WINDOW	4mm OBSCURE GLASS TO COMPLY WITH SANS 10400 N	ALUMINUM HINGES AND FITTED WITH ALUMINUM HANDLES AND STAYS

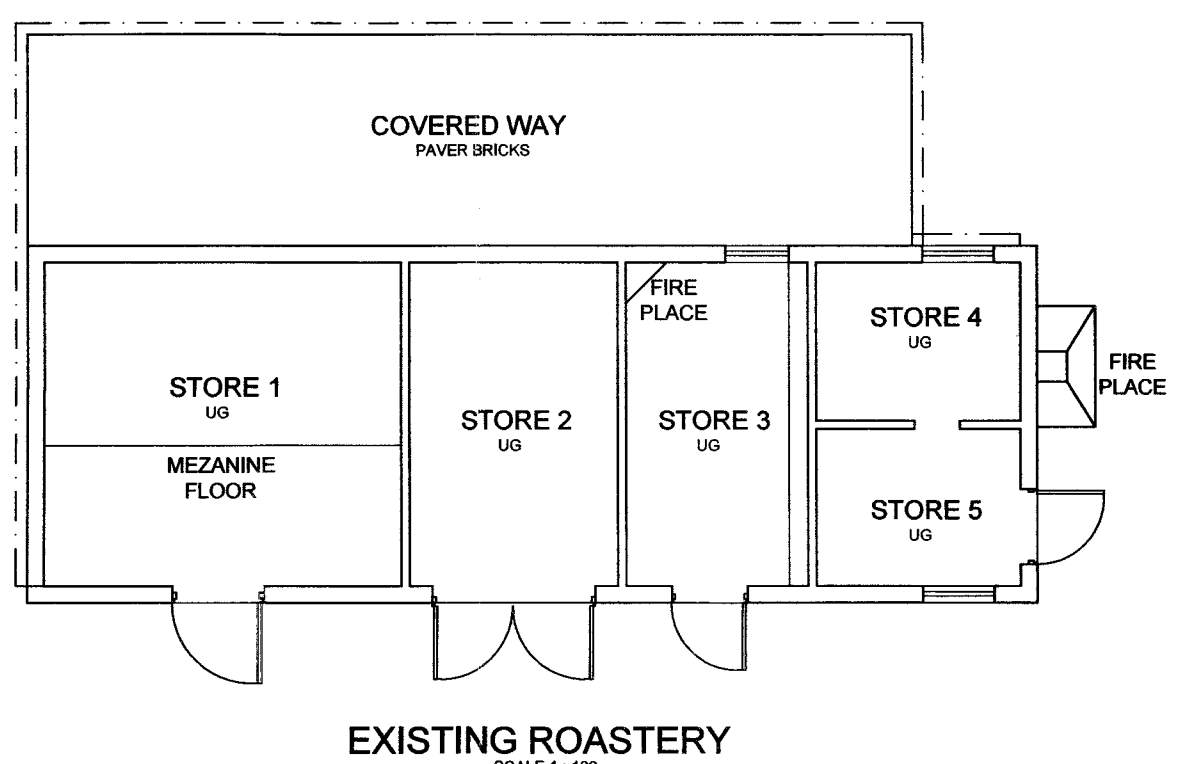
DOOR SCHEDULE

DOOR CODE	NO. REQUIRED	DESCRIPTION	FRAME
D1	1	HARDWOOD SOLID CORE PANEL DOOR SIZE 813mmx2032mmx4mm	STANDARD PRESSED STEEL DOOR FRAME DOUBLE REBATED TO FIT 813mm WIDE DOOR
D2	3	HARDWOOD SOLID CORE PANEL DOOR SIZE 813mmx2032mmx4mm	STANDARD PRESSED STEEL DOOR FRAME DOUBLE REBATED TO FIT 813mm WIDE DOOR

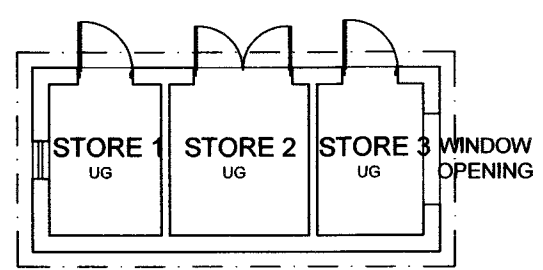
NOTE: DOORS AND WINDOW DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING AND MANUFACTURING OF DOORS AND WINDOWS



EXISTING MANAGERS QUARTERS
SCALE 1:100



EXISTING ROASTERY
SCALE 1:100



EXISTING SMALL STORES
SCALE 1:100

EXISTING UNCHANGED / AS BUILT BUILDINGS
SCALE 1:100

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MR. N. SMITH

project
 PROPOSED
ALTERATIONS AND ADDITIONS
 ON
 60 - 62 Tomlinson Rd, Prestbury, PMB
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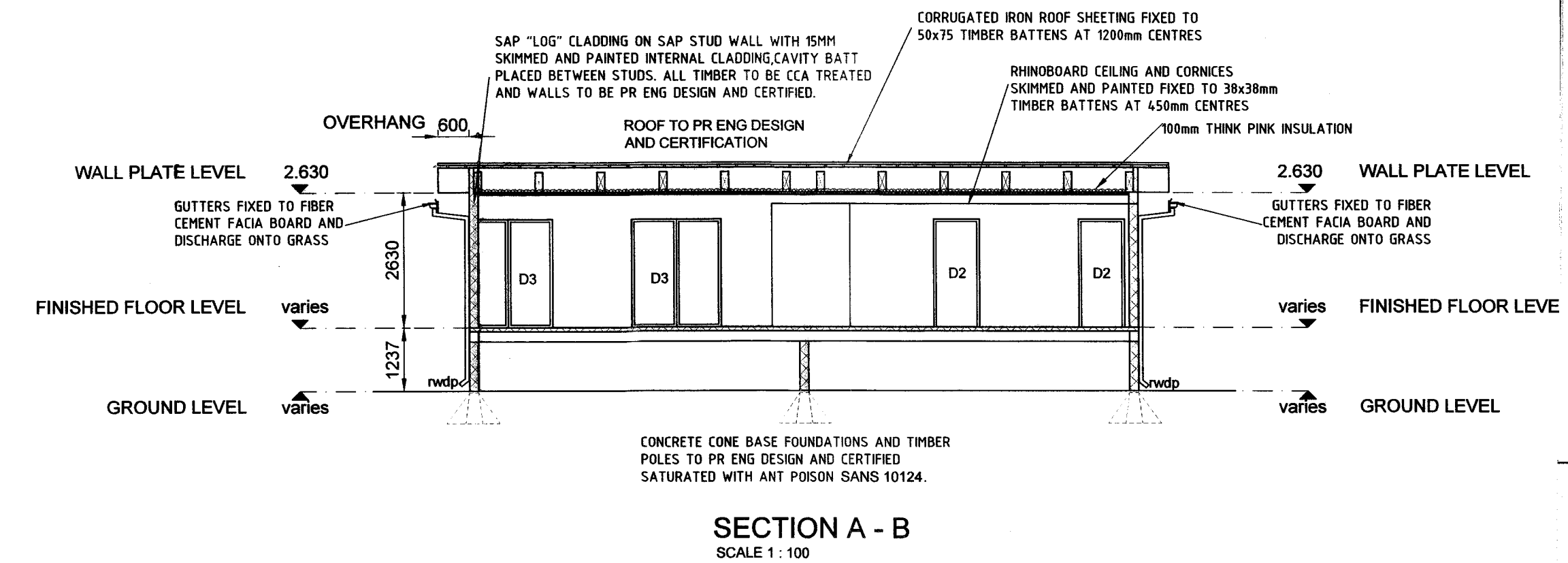
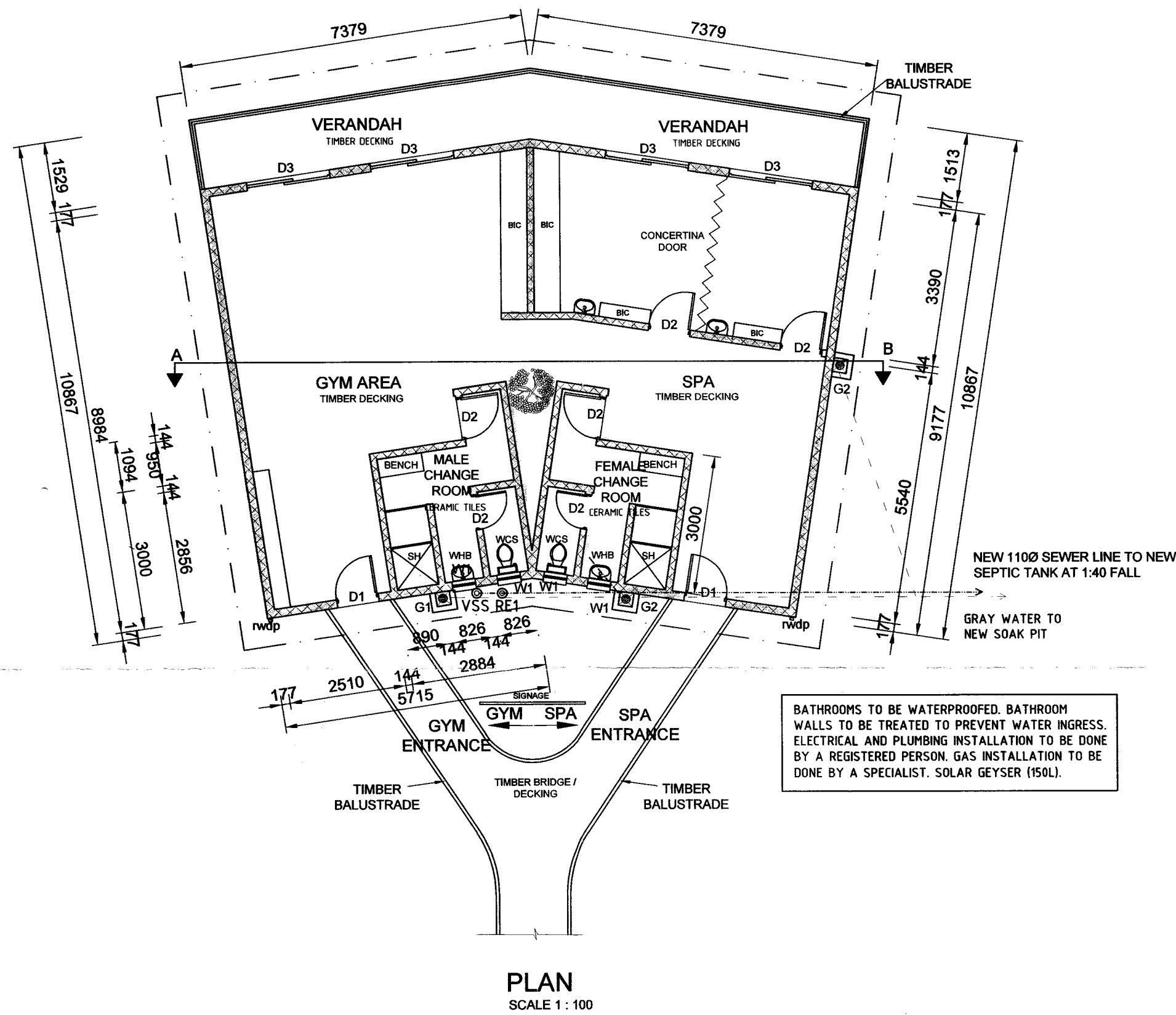
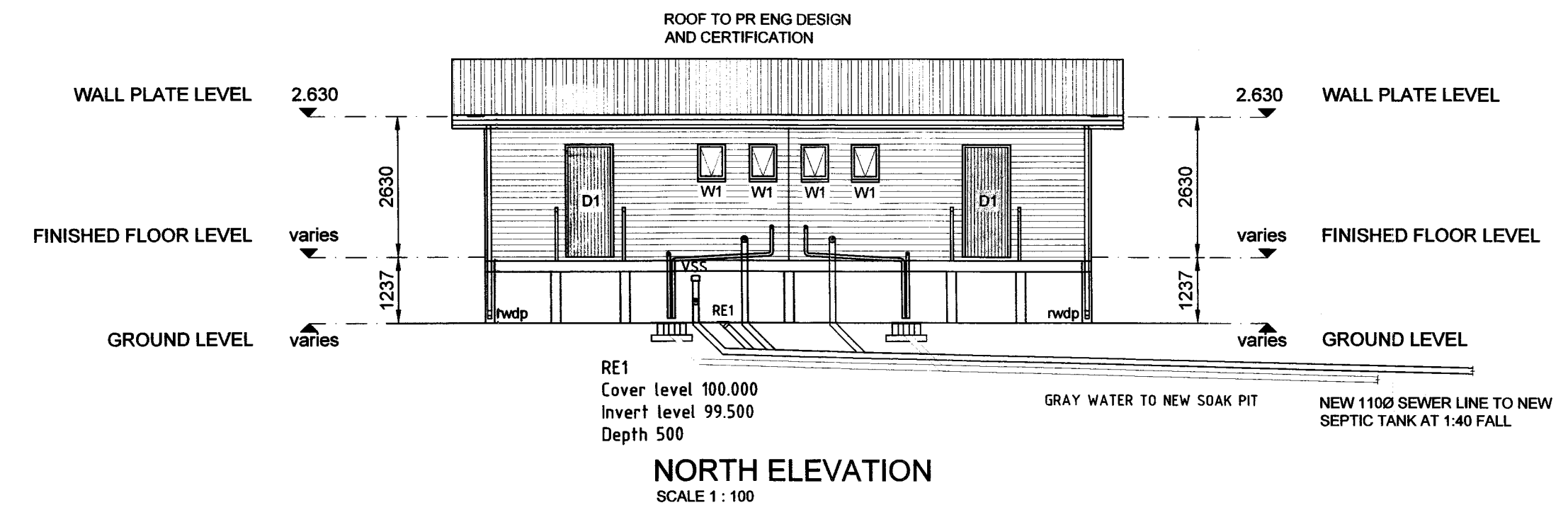
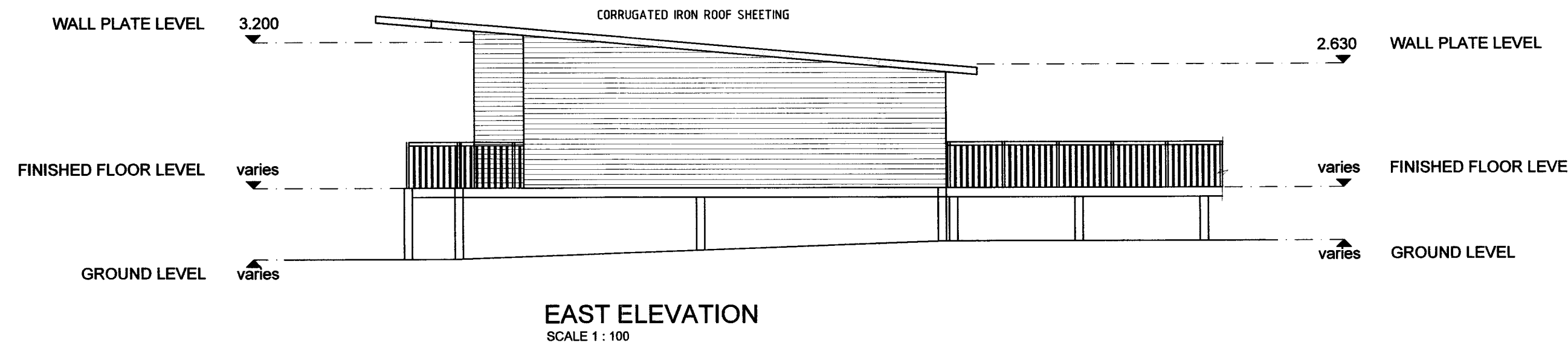
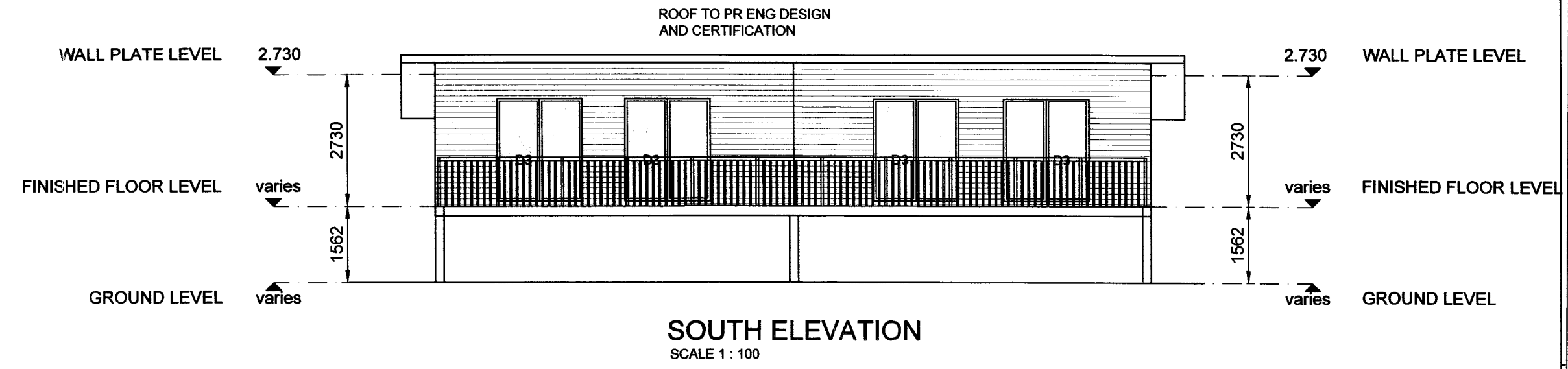
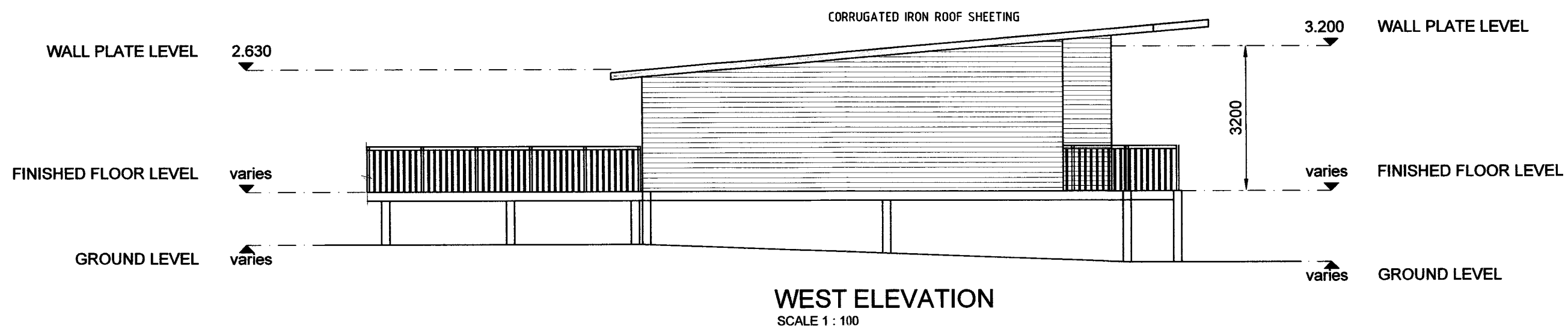
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as per plan	Ryan McFie (PAD29278098) 082 836 8676		
sheet number	date		
7 of 9	19 - 04 - 2022		

FIRE NOTES:
 REFER TO DRAWING
 2018-001-001 SHEET NO. 1-9

CLASSIFICATION H4
PROPOSED
 2018-001-WD-007

MUNICIPAL USE

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WINDOW SCHEDULE

WINDOW CODE	W1	GLAZING AREA: 0.96m ²
NO. REQUIRED	4	
DESCRIPTION	510mm wide x 610mm high TOP HUNG WINDOW	
GLAZING	4mm OBSCURE GLASS TO COMPLY WITH SANS 10400 N	
IRONMONGERY	ALUMINIUM HINGES AND FITTED WITH ALUMINIUM HANDLES AND STAYS	

DOOR SCHEDULE

DOOR CODE	D1	GLAZING AREA: 3.20m ²
NO. REQUIRED	2	
DESCRIPTION	HARDWOOD SOLID CORE PANEL DOOR SIZE 813mmx2032mmx44mm	
FRAME	STANDARD PRESSED STEEL DOOR FRAME DOUBLE REBATED TO FIT 813mm WIDE DOOR	
DOOR CODE	D3	GLAZING AREA: 3.20m ²
NO. REQUIRED	4	
DESCRIPTION	SHATTER PROOF FLOAT GLASS SIZE 1900mmx2032mmx44mm	
FRAME	ALUMINIUM FRAMED SLIDING SASH DOOR	

FENESTRATION CALCULATIONS

WINDOW AREA	(W1 x4) + (D3 x4)	
	3.84 + 12.80	= 16.64m ²
NET HABITABLE AREA x 15%	112.80m ² x 0.15%	= 16.92m ²
FENESTRATION CALCULATIONS LESS THAN THE 15% MAX. ALLOWANCE, ENERGY EFFICIENCY CALCULATIONS COMPLY.		

NOTE: DOORS AND WINDOW DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING AND MANUFACTURING OF DOORS AND WINDOWS

FIRE NOTES:
 REFER TO DRAWING 2018-001-001 SHEET NO. 1-9

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MR N. SMITH

project PROPOSED
ALTERATIONS AND ADDITIONS
 ON
 60 - 62 Tomlinson Rd., Prestbury, PMB
 REM ERF 353

scale	author Ryan McFie (PAD29278098) 082 836 8676	author sign	client sign
as per plan			
sheet number	date		
6 of 9	19-04-2022		

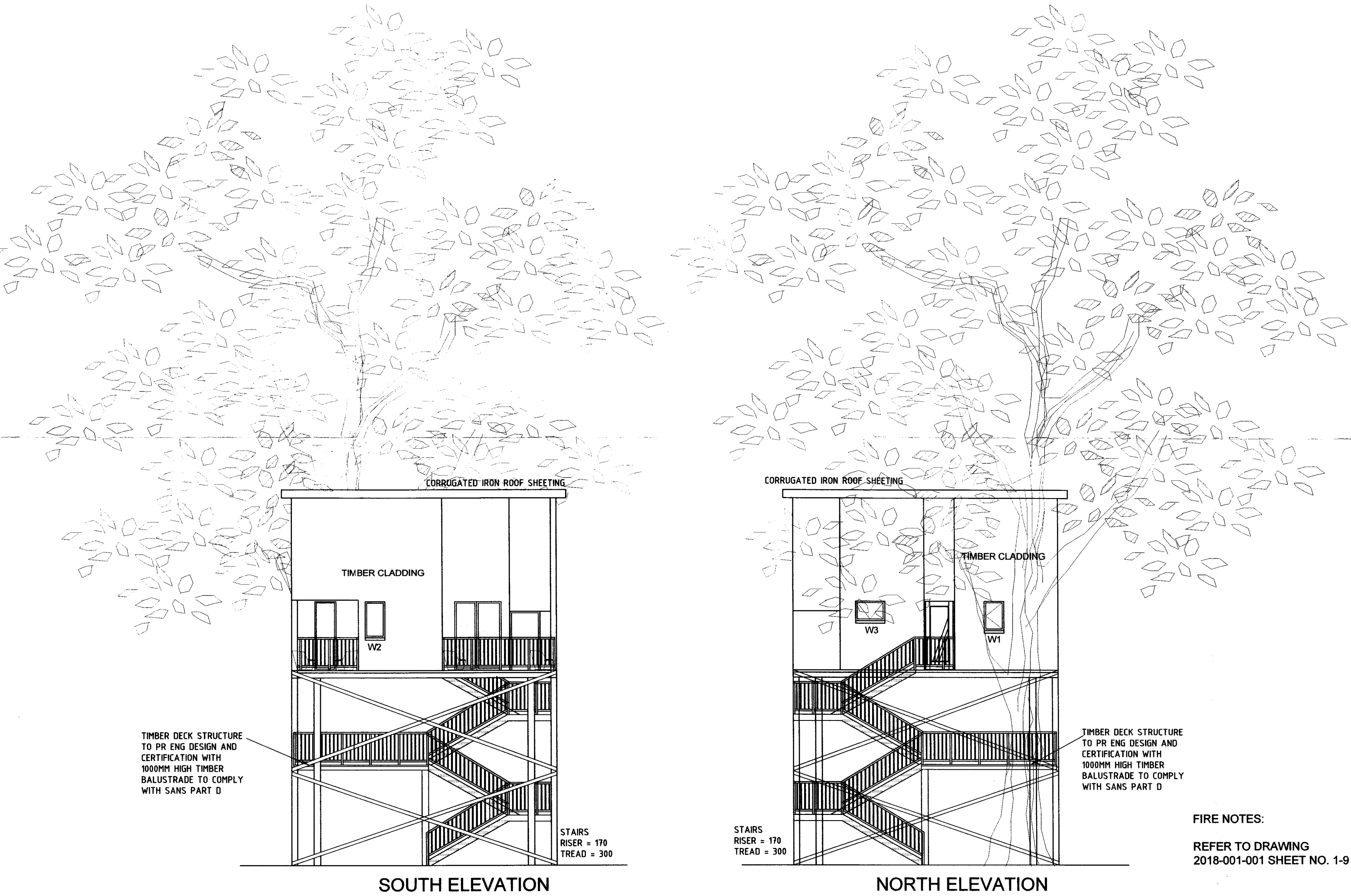
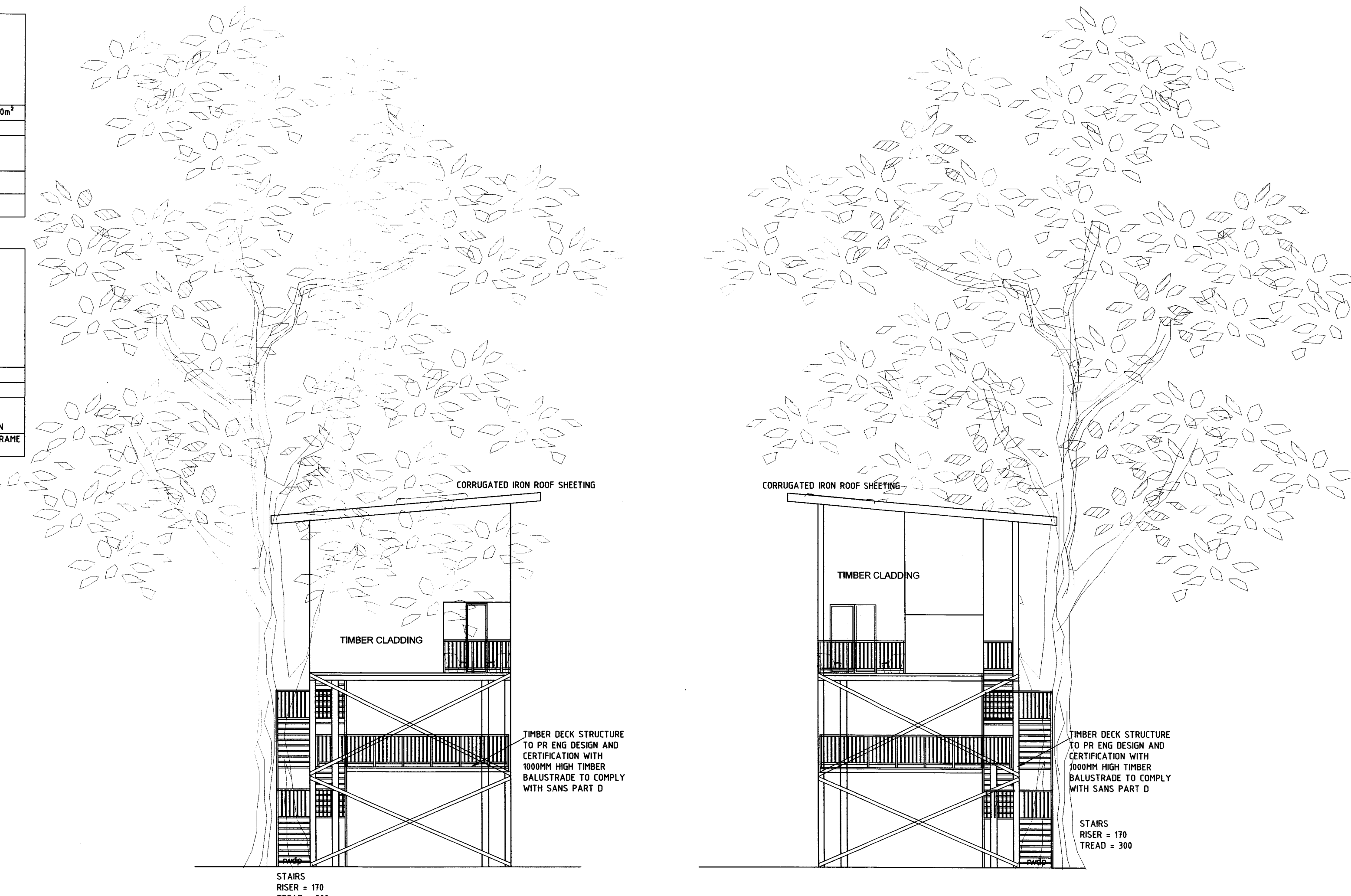
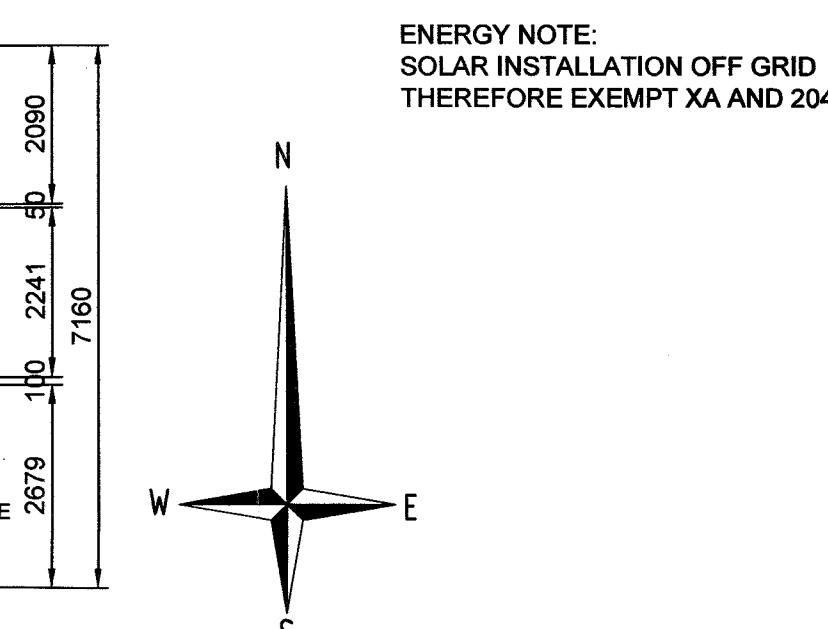
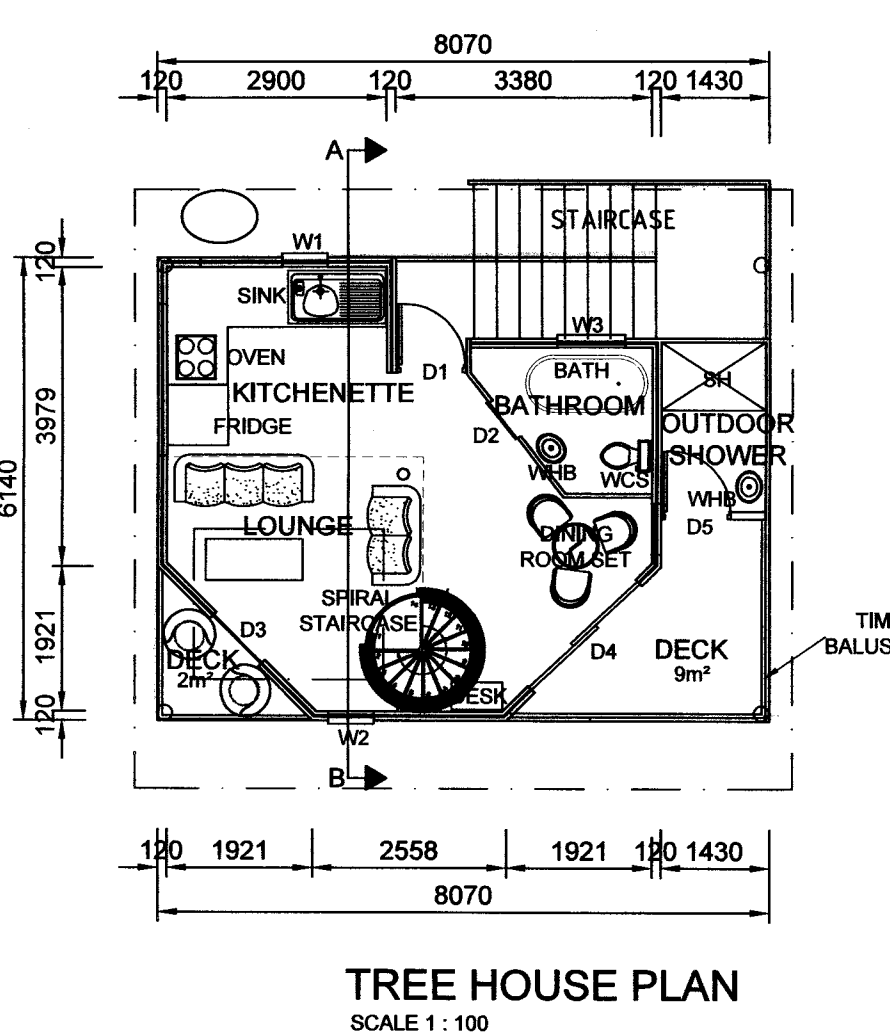
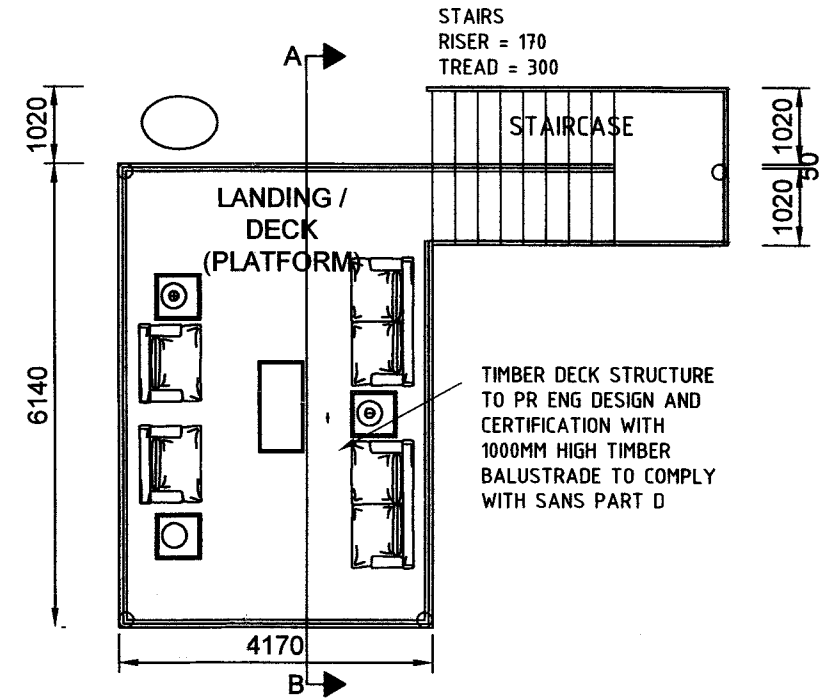
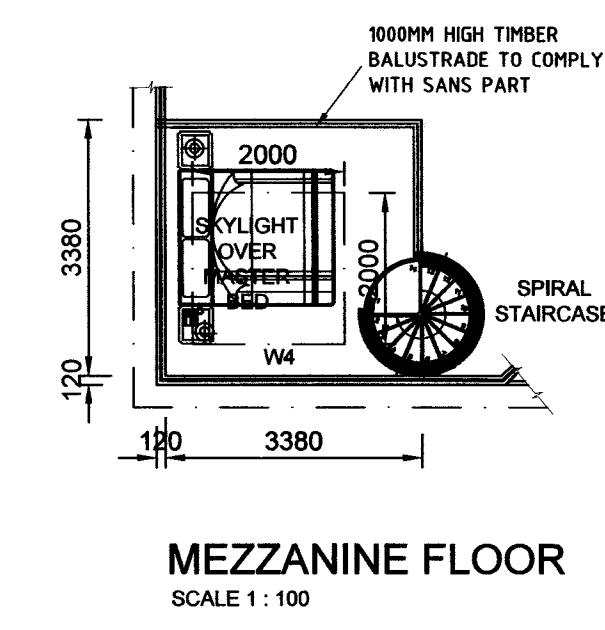
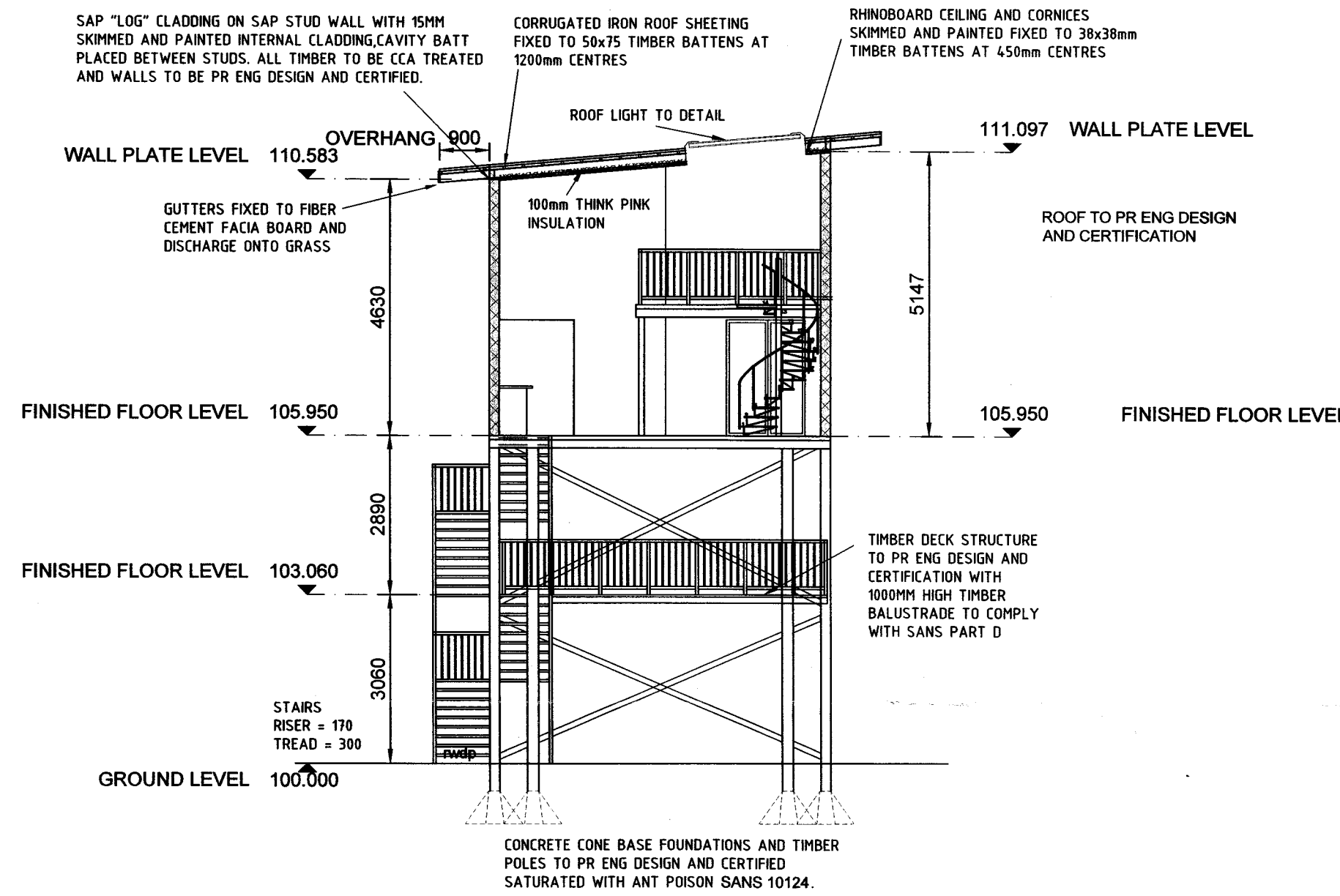
CLASSIFICATION H4
PROPOSED
 2018-001-WD-006

WINDOW SCHEDULE NOTE: DOORS AND WINDOW DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING AND MANUFACTURING OF DOORS AND WINDOWS

WINDOW CODE	W1	GLAZING AREA: 0.40m²	WINDOW CODE	W2	GLAZING AREA: 0.58m²	WINDOW CODE	W3	GLAZING AREA: 0.40m²	WINDOW CODE	W4	GLAZING AREA: 4.50m²
NO. REQUIRED	1		NO. REQUIRED	1		NO. REQUIRED	1		NO. REQUIRED	1	
DESCRIPTION	600mm wide x 900mm high SIDE HUNG WINDOW		DESCRIPTION	600mm wide x 1100mm high TOP HUNG WINDOW		DESCRIPTION	1000mm wide x 600mm high TOP HUNG WINDOW		DESCRIPTION	1000mm wide x 600mm high TOP HUNG WINDOW	
GLAZING	4mm CLEAR GLASS TO COMPLY WITH SANS 10400 N		GLAZING	4mm CLEAR GLASS TO COMPLY WITH SANS 10400 N		GLAZING	4mm OBSCURE GLASS TO COMPLY WITH SANS 10400 N		GLAZING	4mm CLEAR GLASS TO COMPLY WITH SANS 10400 N	
IRONMONGERY	ALUMINIUM HINGES AND FITTED WITH ALUMINIUM HANDLES AND STAYS		IRONMONGERY	ALUMINIUM HINGES AND FITTED WITH ALUMINIUM HANDLES AND STAYS		IRONMONGERY	ALUMINIUM HINGES AND FITTED WITH ALUMINIUM HANDLES AND STAYS		IRONMONGERY	ALUMINIUM HINGES AND FITTED WITH ALUMINIUM HANDLES AND STAYS	

DOOR SCHEDULE

DOOR CODE	D1	NO. REQUIRED	DESCRIPTION <th>DOOR CODE</th> <th>D2</th> <th>NO. REQUIRED</th> <th>DESCRIPTION <th>DOOR CODE</th> <th>D3</th> <th>NO. REQUIRED</th> <th>DESCRIPTION <th>DOOR CODE</th> <th>D4</th> <th>NO. REQUIRED</th> <th>DESCRIPTION </th></th></th>	DOOR CODE	D2	NO. REQUIRED	DESCRIPTION <th>DOOR CODE</th> <th>D3</th> <th>NO. REQUIRED</th> <th>DESCRIPTION <th>DOOR CODE</th> <th>D4</th> <th>NO. REQUIRED</th> <th>DESCRIPTION </th></th>	DOOR CODE	D3	NO. REQUIRED	DESCRIPTION <th>DOOR CODE</th> <th>D4</th> <th>NO. REQUIRED</th> <th>DESCRIPTION </th>	DOOR CODE	D4	NO. REQUIRED	DESCRIPTION
NO. REQUIRED	1		HARDWOOD SOLID CORE PANEL DOOR SIZE 813mmx2032mmx44mm	NO. REQUIRED	1		HARDWOOD SOLID CORE PANEL DOOR SIZE 765mmx2032mmx44mm	NO. REQUIRED	1		GLASS PANEL DOOR SIZE 813mmx2032mmx22mm GLASS TO COMPLY WITH SANS 10400 N	NO. REQUIRED	1		GLASS PANEL DOOR SIZE 2000mmx2032mmx22mm GLASS TO COMPLY WITH SANS 10400 N
DESCRIPTION															
FRAME	STANDARD HARDWOOD TIMBER DOOR FRAME DOUBLE REBATED TO FIT 813mm WIDE DOOR			STANDARD HARDWOOD TIMBER DOOR FRAME DOUBLE REBATED TO FIT 765mm WIDE DOOR				STANDARD HARDWOOD TIMBER DOOR FRAME SLIDING DOOR AND HINGES				STANDARD HARDWOOD TIMBER DOOR FRAME SLIDING DOOR AND HINGES			



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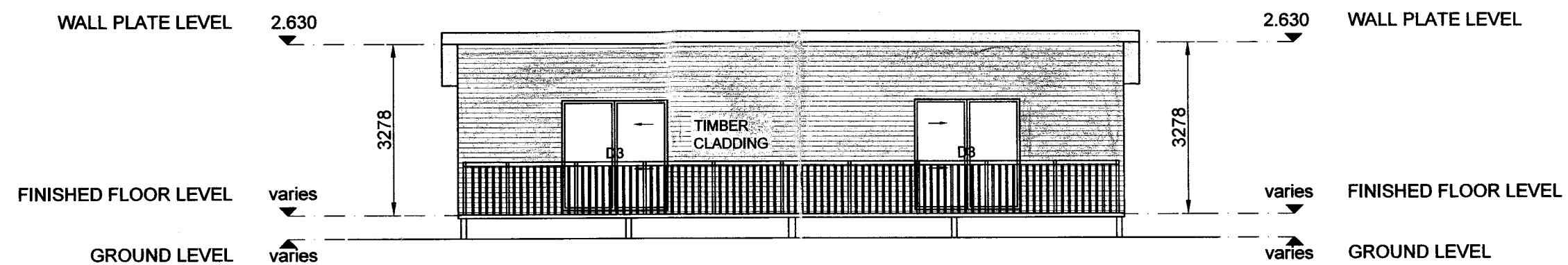
registered property owner
MR. N. SMITH

project
ALTERATIONS AND ADDITIONS
ON
60 - 62 Tomlinson Rd, Prestbury, PMB
REM ERF 353

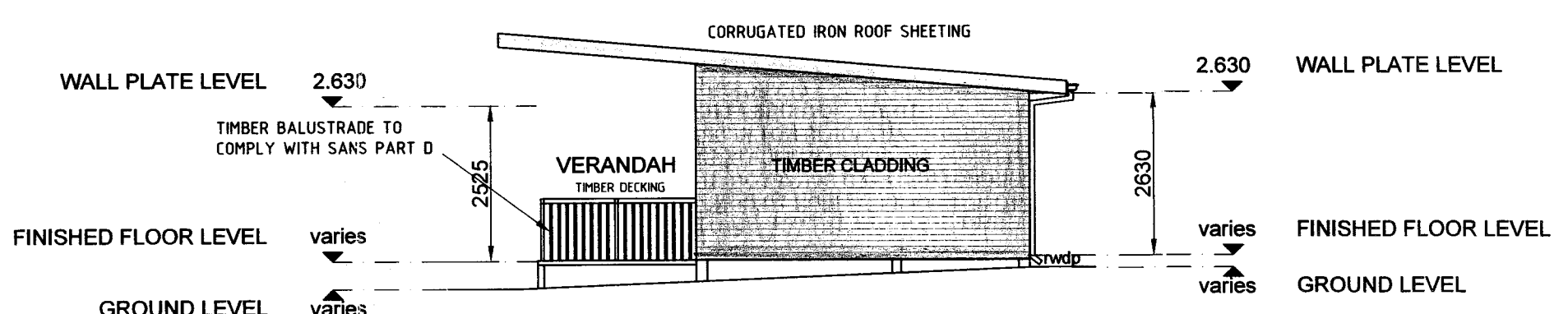
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as per plan	Ryan McFie (PAJ29278098) 082 836 8876		
sheet number	date		
5 of 9	19-04-2022		

CLASSIFICATION H4
PROPOSED
2018-001-WD-005

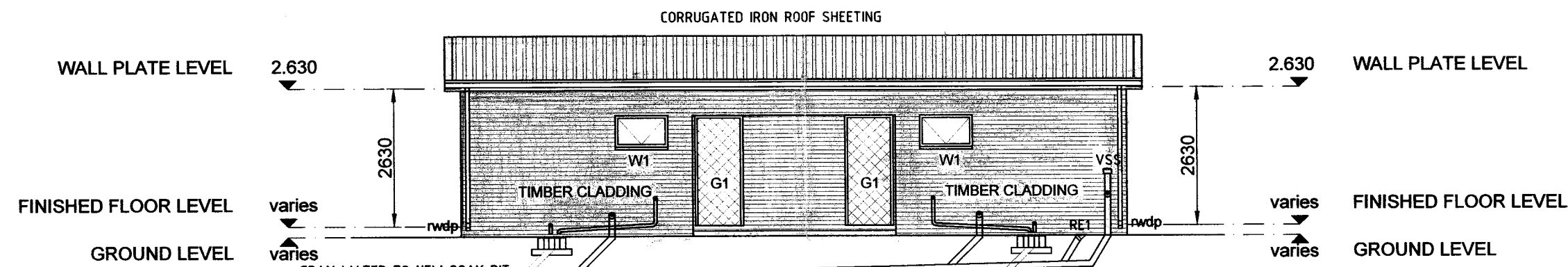
FIRE NOTES:
REFER TO DRAWING 2018-001-001 SHEET NO. 1-9



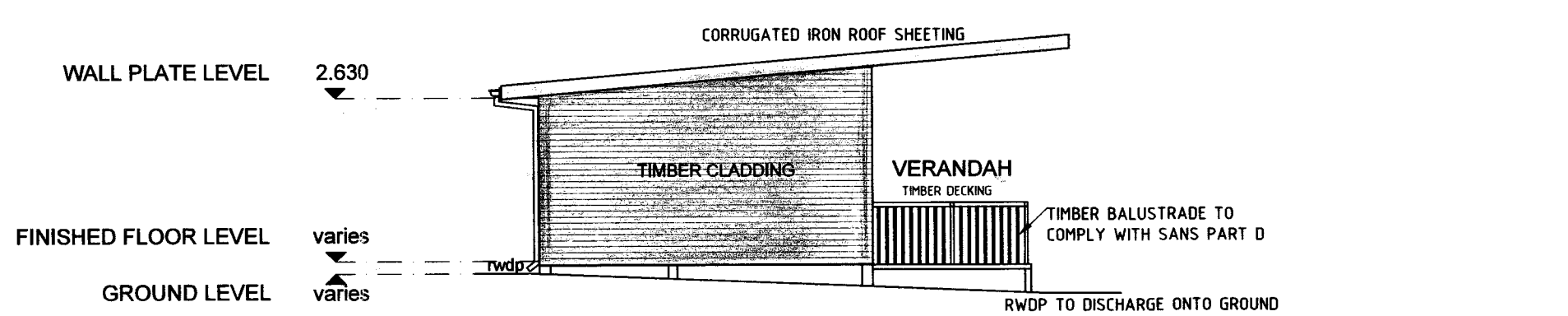
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SCALE 1:100



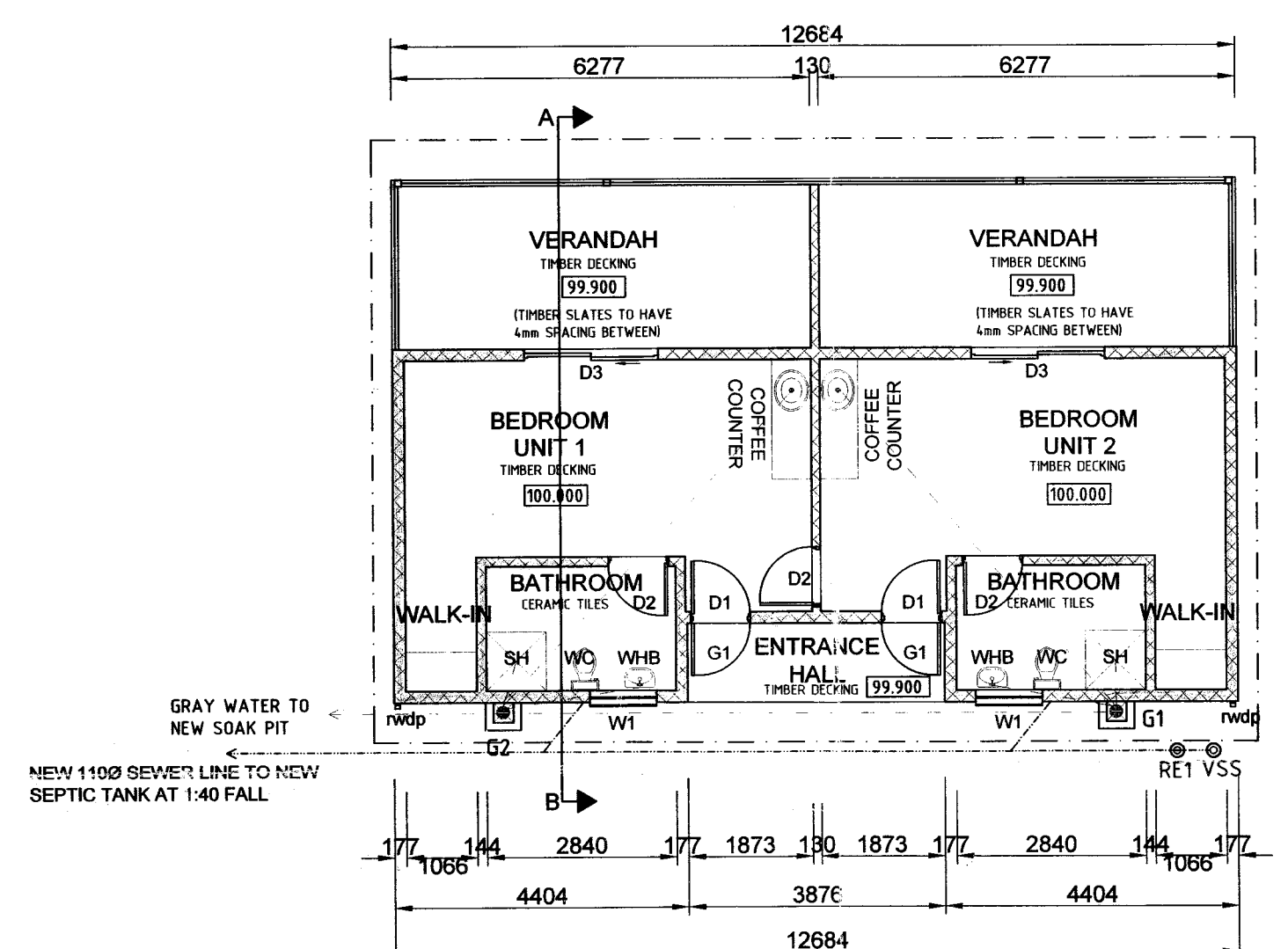
NORTH WEST ELEVATION
SCALE 1:100



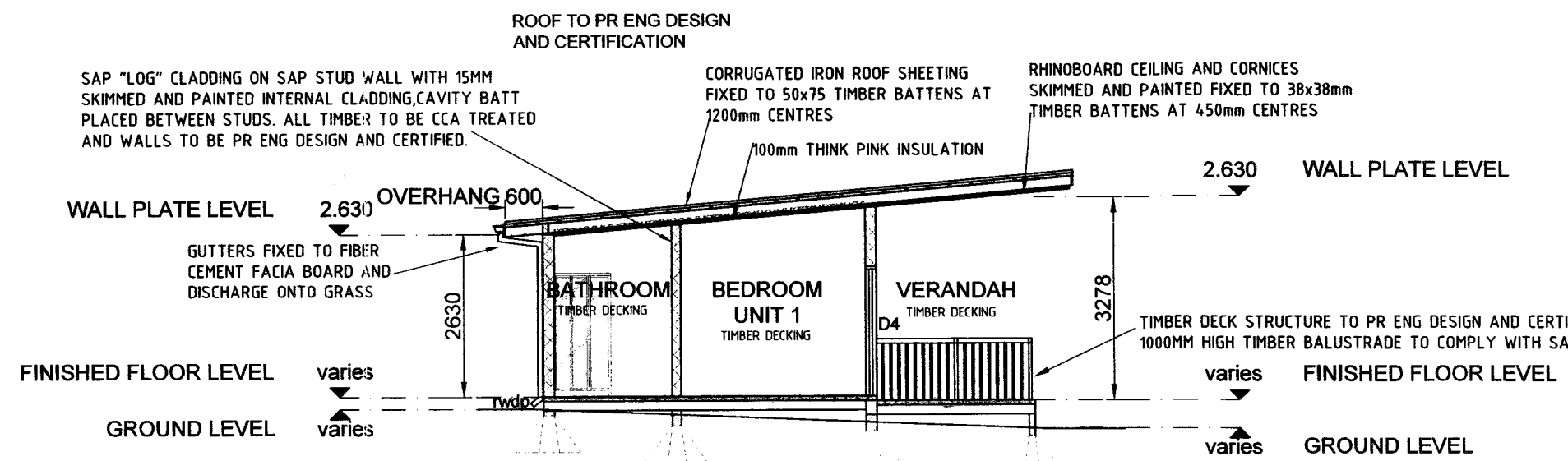
SOUTH WEST ELEVATION
SCALE 1:100



SOUTH EAST ELEVATION
SCALE 1:100



PODS 1-4 PLAN
SCALE 1:100



SECTION A - B
SCALE 1:100

FENESTRATION CALCULATIONS

WINDOW AREA	(W1 x2) + (D3 x2)	
	0.45 + 0.45 + 3.60 + 3.60	= 8.10m ²
NET HABITABLE AREA x 15%	(28.04m ² x2) x 0.15%	= 8.41m ²
FENESTRATION CALCULATIONS LESS THAN THE 15% MAX. ALLOWANCE, ENERGY EFFICIENCY CALCULATIONS COMPLY.		

BATHROOMS TO BE WATERPROOFED. BATHROOM WALLS TO BE TREATED TO PREVENT WATER INGRESS. ELECTRICAL AND PLUMBING INSTALLATION TO BE DONE BY A REGISTERED PERSON. GAS INSTALLATION TO BE DONE BY A SPECIALIST. SOLAR GEYSER (50L).

DOOR SCHEDULE

DOOR CODE	D1
NO. REQUIRED	2
DESCRIPTION	HARDWOOD SOLID CORE PANEL DOOR SIZE 813mmx2032mmx44mm
FRAME	STANDARD PRESSED STEEL DOOR FRAME DOUBLE REBATED TO FIT 813mm WIDE DOOR

DOOR CODE	D2
NO. REQUIRED	3
DESCRIPTION	HARDWOOD SOLID CORE PANEL DOOR SIZE 813mmx2032mmx44mm
FRAME	STANDARD PRESSED STEEL DOOR FRAME DOUBLE REBATED TO FIT 813mm WIDE DOOR

DOOR CODE	D3	GLAZING AREA: 3.60m ²
NO. REQUIRED	2	
DESCRIPTION	SHATTER PROOF FLOAT GLASS SIZE 1900mmx2032mmx44mm	
FRAME	ALUMINIUM FRAMED SLIDING SASH DOOR	

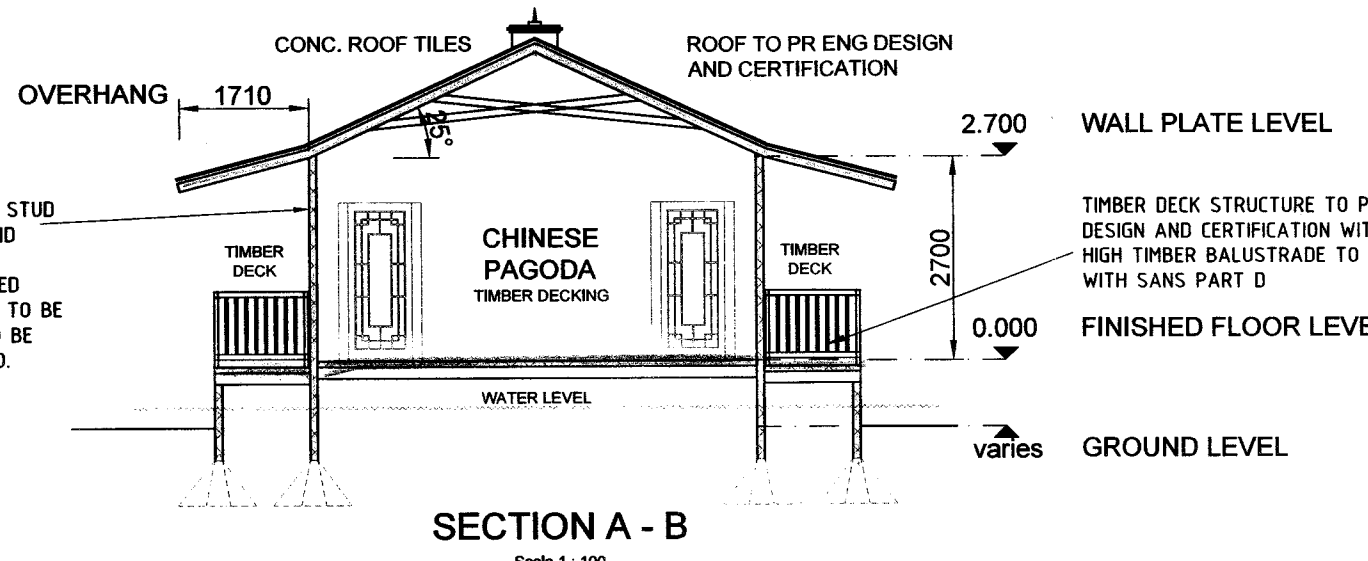
WINDOW SCHEDULE

WINDOW CODE	W1	GLAZING AREA: 0.45m ²
NO. REQUIRED	2	
DESCRIPTION	1000mm wide x 600mm high TOP HUNG WINDOW	
GLAZING	6mm OBSCURE GLASS TO COMPLY WITH SANS 10400 N	
IRONMONGERY	ALUMINIUM HINGES AND FITTED WITH ALUMINIUM HANDLES AND STAYS	

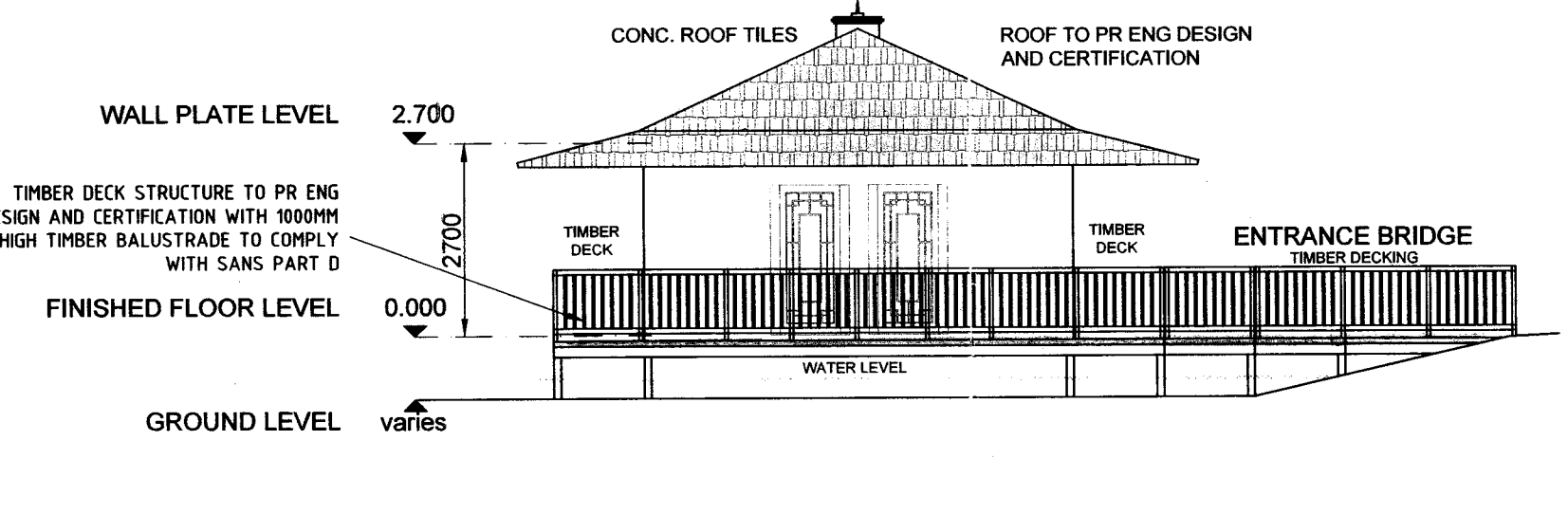
NOTE: DOORS AND WINDOW DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING AND MANUFACTURING OF DOORS AND WINDOWS

MUNICIPAL USE

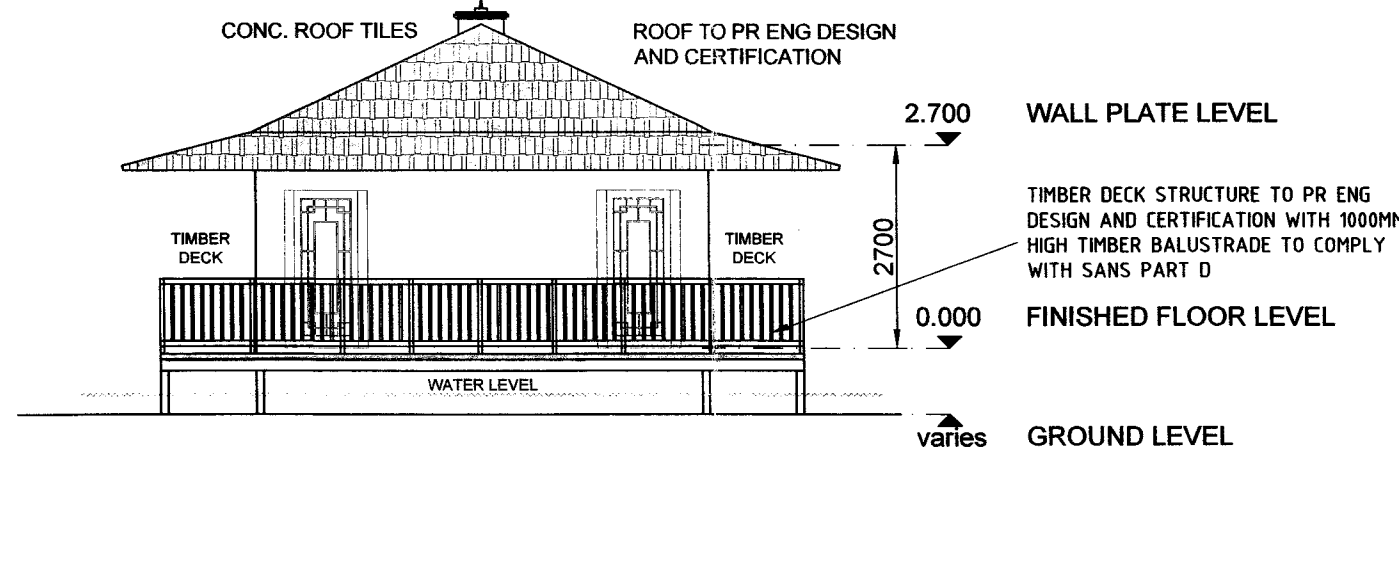
NOTE: ANY ERRORS AND/OR DEVIATIONS ARE TO BE BROUGHT TO THE AUTHORS ATTENTION, FAILING WHICH THE AUTHOR IS NOT RESPONSIBLE FOR SUCH. CORNER BEACON CERTIFICATES TO BE ISSUED BY A REGISTERED LAND SURVEYOR. THE CERTIFICATES ARE TO BE PROVIDED PRIOR TO CONSTRUCTION COMMENCING. EARTHWORKS TO BE CONFIRMED ON SITE AND ALL EMBANKMENTS ARE TO BE SELF STABILIZING AT 35 DEGREES. ALL STRUCTURAL ELEMENTS ARE TO BE PR. ENG DESIGNED AND CERTIFIED. PRECAST CONCRETE LINTOLS OVER OPENINGS TO SANS PART K. UNLESS OTHERWISE STATED ELECTRICAL, GAS, PLUMBING AND GLAZING ELEMENTS ARE TO BE INSTALLED AND CERTIFIED BY A REGISTERED PERSON. FINAL FLOOR AND GROUND LEVELS ARE TO BE CONFIRMED ON SITE PRIOR TO COMMENCING CONSTRUCTION. ALL WINDOW AND DOOR SIZES TO BE CONFIRMED ON SITE PRIOR TO THE ORDERING/MANUFACTURING THEREOF. NO CONSTRUCTION TO DETRIMENT FROM ESTATE GUIDELINES OR SANS 10400 BUILDING REGULATIONS. (only if applicable)



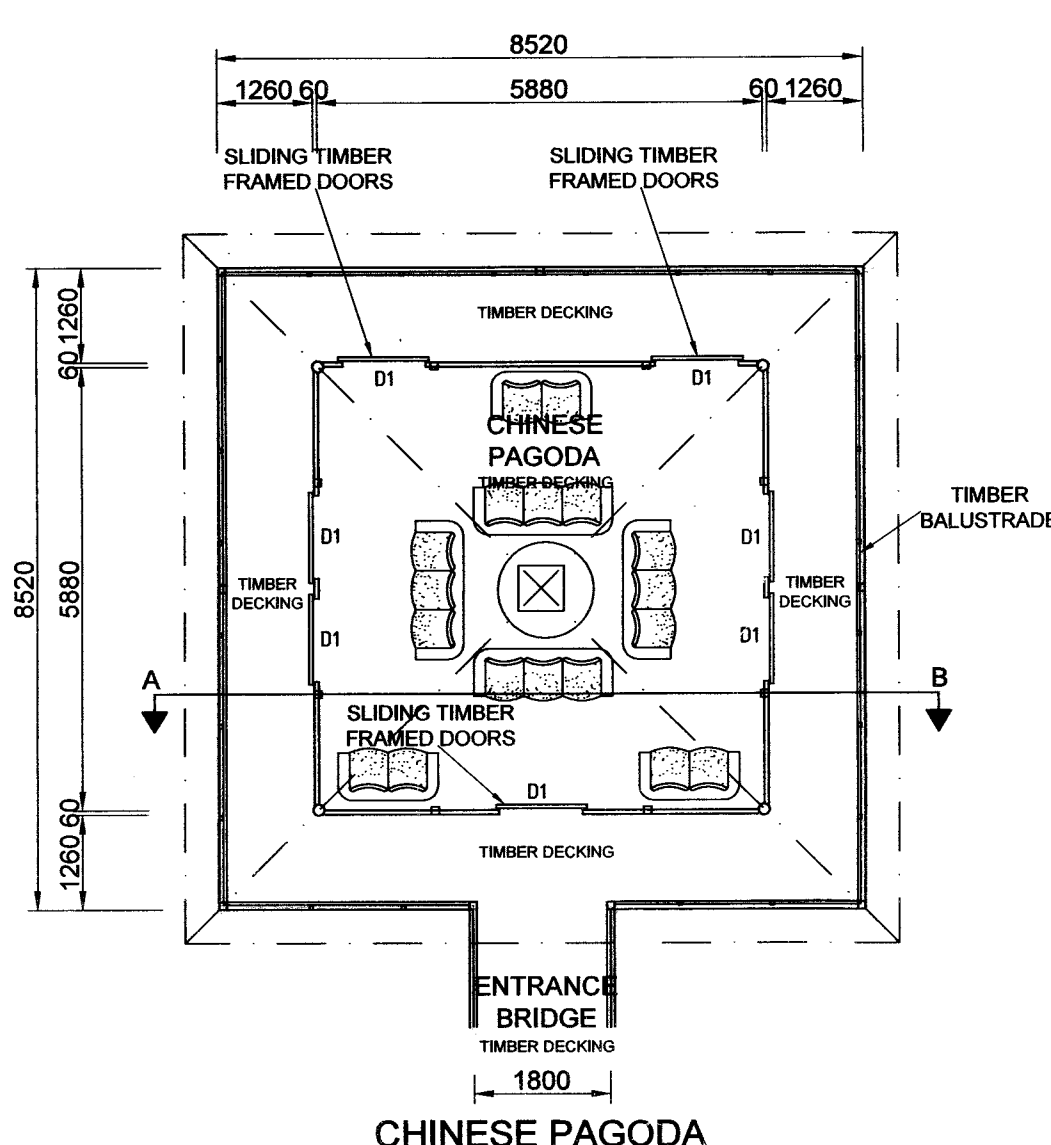
SECTION A - B
SCALE 1:100



SECTION A - B
SCALE 1:100



SECTION A - B
SCALE 1:100

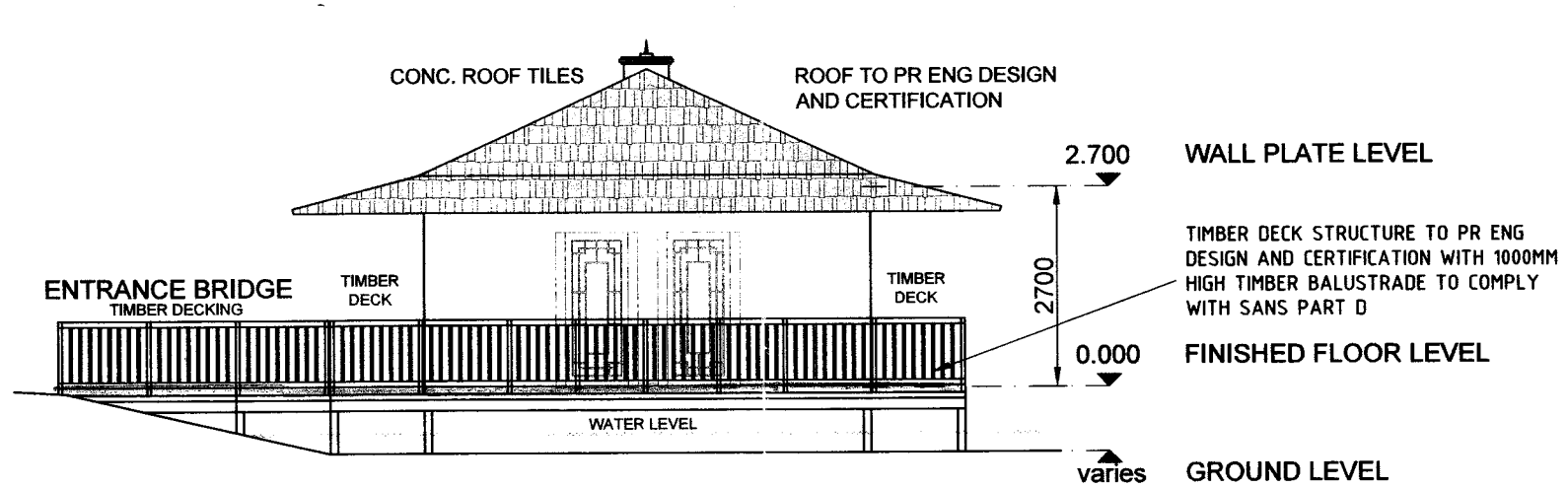


CHINESE PAGODA
SCALE 1:100

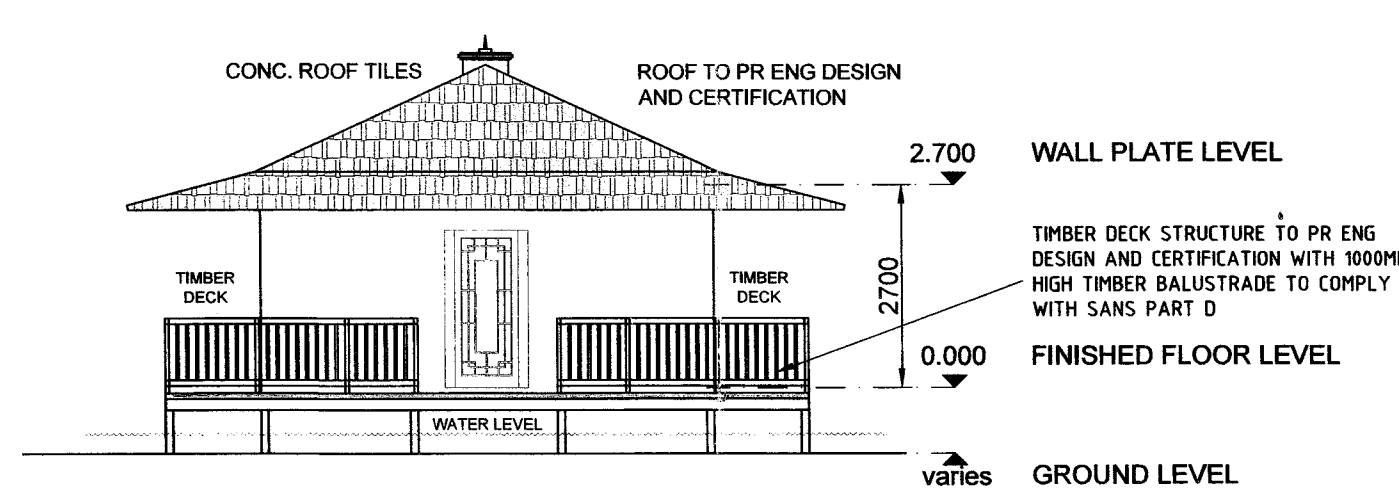
NOTE: GREEN HOUSE EXEMPT FROM XA CALCULATIONS

DOOR SCHEDULE

DOOR CODE	D1
NO. REQUIRED	7
DESCRIPTION	HARDWOOD HOLLOW CORE SLIDING DOOR SIZE 1000mmx2100mmx44mm
FRAME	SLIDING DOOR MECHANISM TO SUPPLIER



SECTION A - B
SCALE 1:100



SECTION A - B
SCALE 1:100

RYAN MCFIE
ARCHITECTURAL SERVICES
RYAN MCFIE ARCHITECTURAL SERVICES
082 836 8676
5 Duiker Road,
3 Sandringham,
Howick, 3290

registered property owner

MR. N. SMITH

PROPOSED
ALTERATIONS AND ADDITIONS
ON
60 - 62 Tomlinson Rd, Prestbury, PMB
REM ERF 353

scale	author	author sign	client sign
as per plan	Ryan McFie (PAD23278098) 082 836 8676		
sheet number	date		
4 of 9	19-04-2022		

CLASSIFICATION H4
PROPOSED
2018-001-WD-004

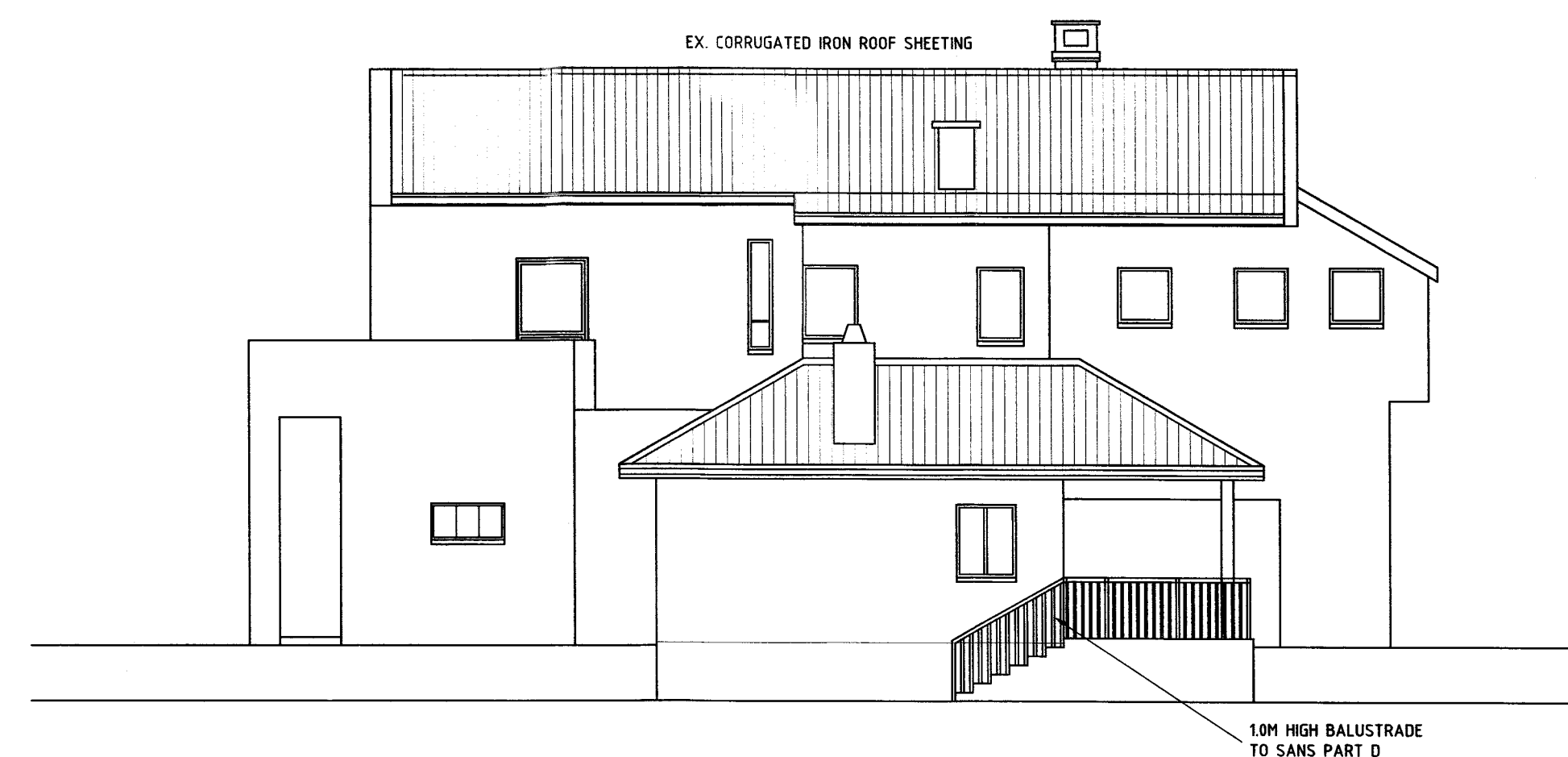
FIRE NOTES:
REFER TO DRAWING
2018-001-001 SHEET NO. 1-5

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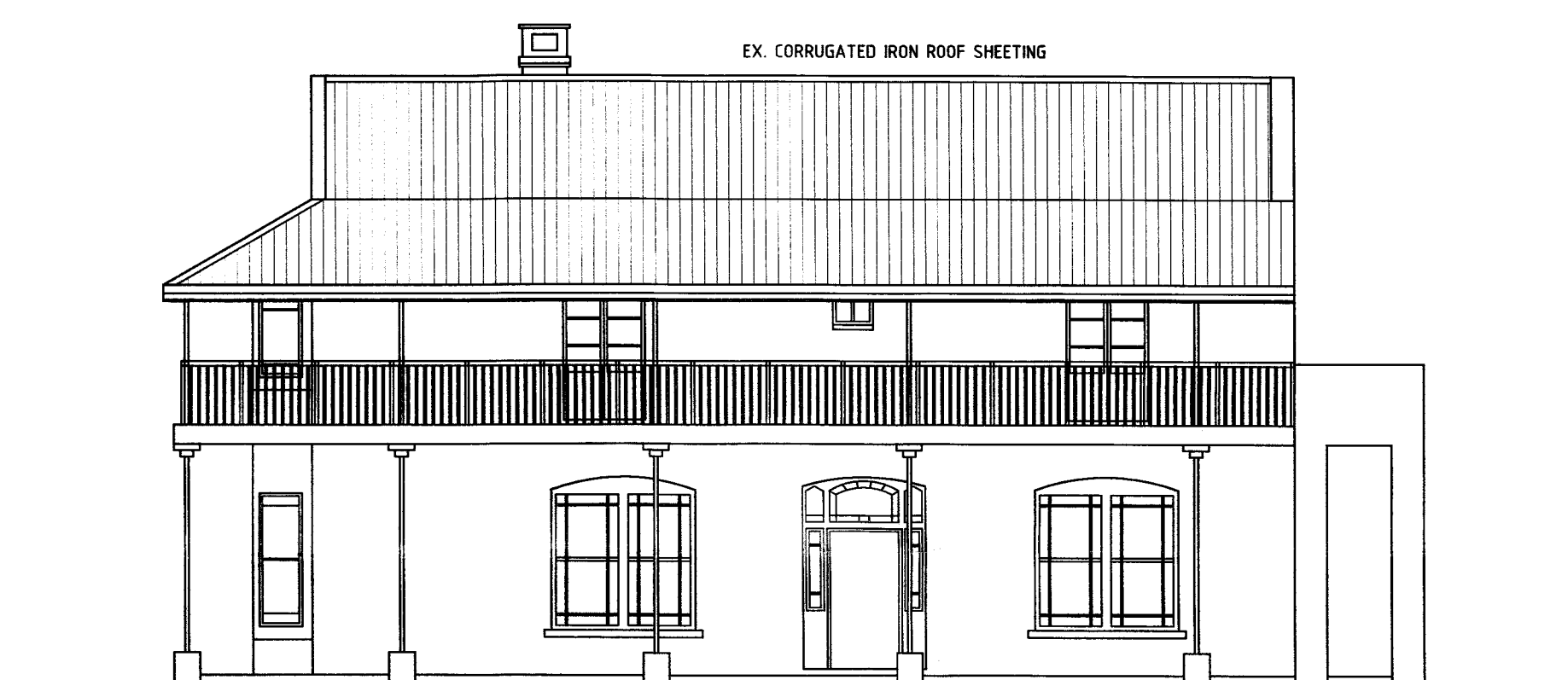
SOUTH WEST ELEVATION
 SCALE 1 : 100



NORTH WEST ELEVATION
 SCALE 1 : 100



NORTH EAST ELEVATION
 SCALE 1 : 100



SOUTH EAST ELEVATION
 SCALE 1 : 100



SECTION A - A
 SCALE 1 : 100



registered property owner

MR N. SMITH

project PROPOSED
ALTERATIONS AND ADDITIONS
 ON
 60 - 62 Tomlinson Rd, Prestbury, PMB
 REM ERF 353

scale	author	author sign	client sign
as per plan	Ryan McFie (PAD2978098) 082 838 8676		
sheet number	date		
3 of 9	19 - 04 - 2022		

CLASSIFICATION H4

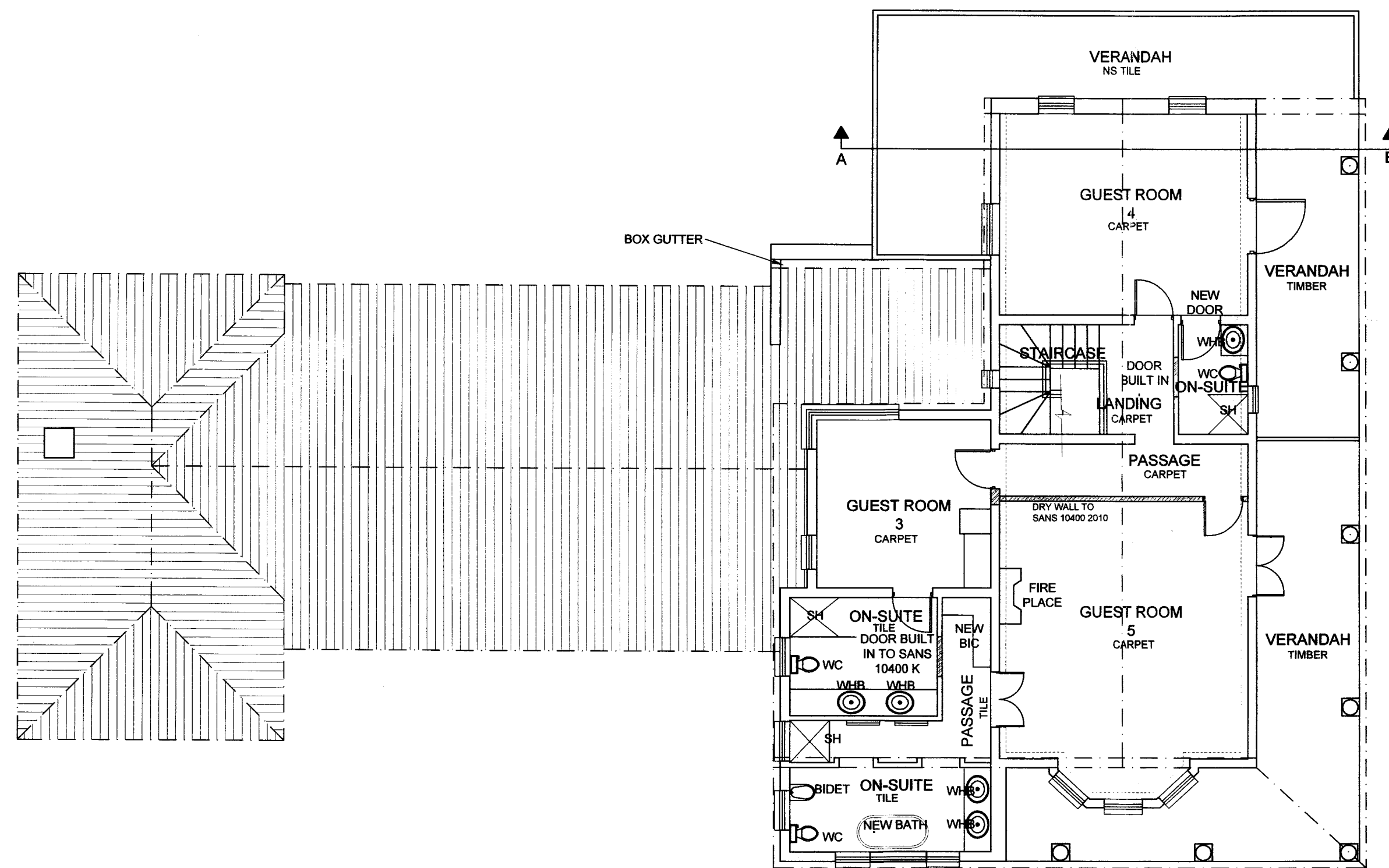
PROPOSED

2018-001-WD-003

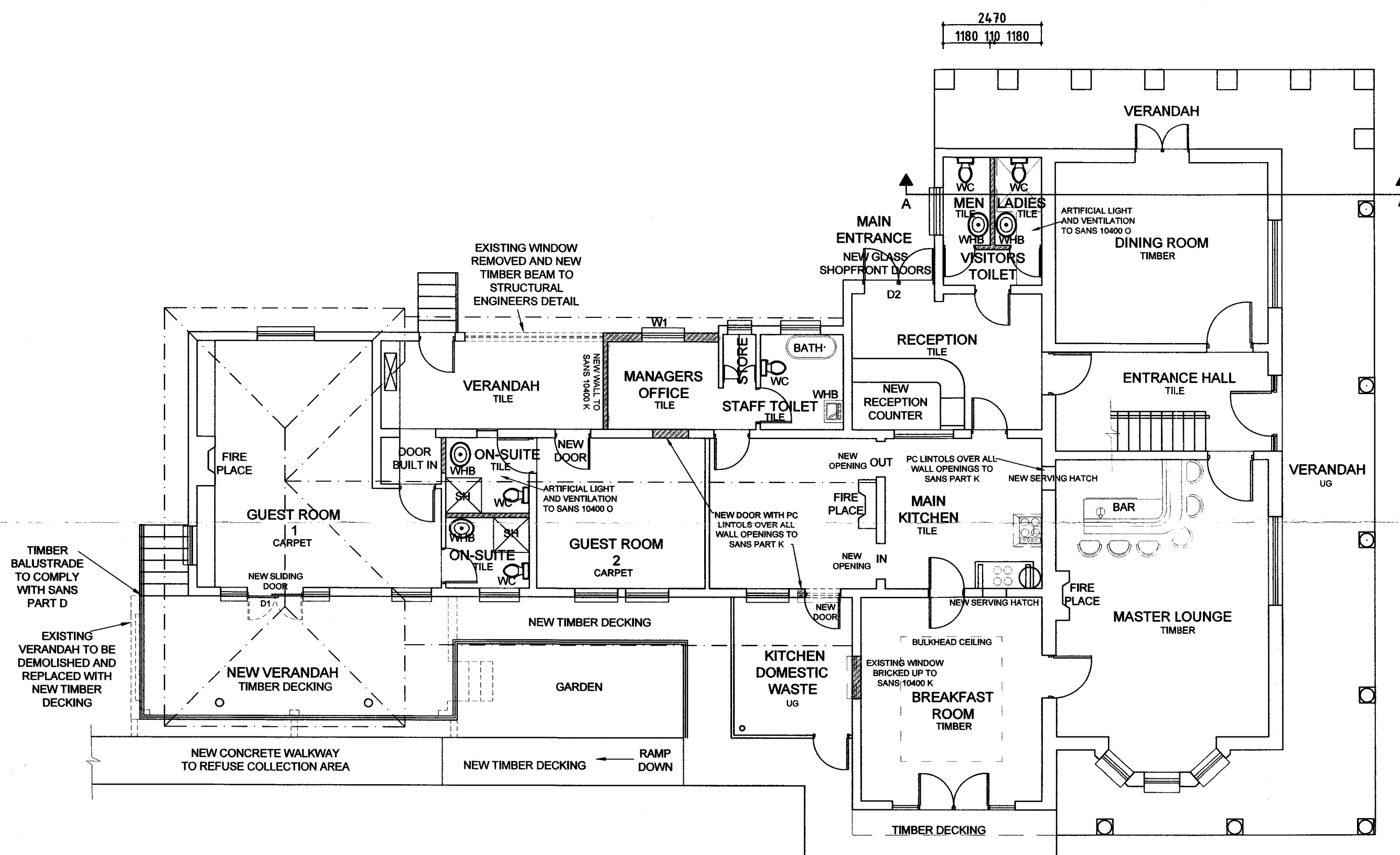
FIRE NOTES:
 REFER TO DRAWING
 2018-001-001 SHEET NO. 1-9

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MAIN HOUSE FIRST FLOOR PLAN
 SCALE 1:100



MAIN HOUSE GROUND FLOOR PLAN
 SCALE 1:100

WINDOW SCHEDULE

WINDOW CODE	W1	GLAZING AREA: 0.96m ²
NO. REQUIRED	1	
DESCRIPTION	1070mm wide x 1200mm high SLIDING SASH WINDOW	
GLAZING	4mm CLEAR GLASS TO COMPLY WITH SANS 10400 N	
IRONMONGERY	ALUMINUM HINGES AND FITTED WITH ALUMINUM HANDLES AND STAYS	

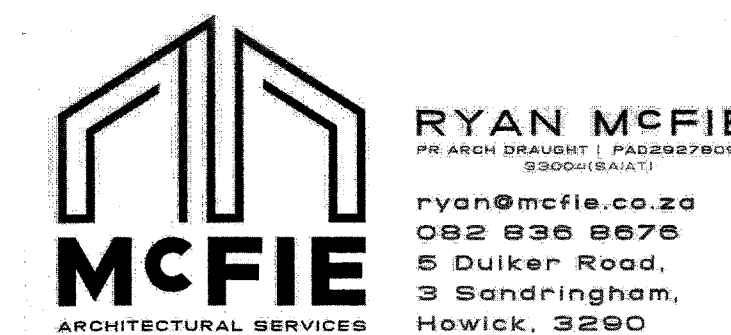
DOOR SCHEDULE

WINDOW CODE	D1	GLAZING AREA: 5.06m ²
NO. REQUIRED	1	
DESCRIPTION	2740mm wide x 2100mm high ALUMINUM SLIDING DOOR	
	SPECIALIST CERTIFICATION TO COMPLY WITH SANS 10400 N	
IRONMONGERY	ALUMINUM HINGES AND FITTED	

WINDOW CODE	D1	GLAZING AREA: 3.04m ²
NO. REQUIRED	1	
DESCRIPTION	1760mm wide x 2100mm high ALUMINUM SLIDING DOOR	
	SPECIALIST CERTIFICATION TO COMPLY WITH SANS 10400 N	
IRONMONGERY	ALUMINUM HINGES AND FITTED	

FENESTRATION CALCULATIONS

ENTRANCE FOYER		
WINDOW AREA	D2	3.04 = 3.04m ²
NET HABITABLE AREA x 15%	21.00m ² x 0.15%	= 3.15m ²
FENESTRATION CALCULATIONS LESS THAN THE 15% MAX. ALLOWANCE, ENERGY EFFICIENCY CALCULATIONS COMPLY.		
MANAGERS OFFICE		
WINDOW AREA	W1	0.96 = 0.96m ²
NET HABITABLE AREA x 15%	7.16m ² x 0.15%	= 1.74m ²
FENESTRATION CALCULATIONS LESS THAN THE 15% MAX. ALLOWANCE, ENERGY EFFICIENCY CALCULATIONS COMPLY.		



registered property owner

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scale	author Ryan McFie (PAD23278098)	author sign	client sign
as per plan	082 836 8676		
sheet number	date		
2 of 9	19 - 04 - 2022		

CLASSIFICATION H4

PROPOSED

2018-001-WD-002

FIRE NOTES:
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 2018-001-001 SHEET NO. 1-9

