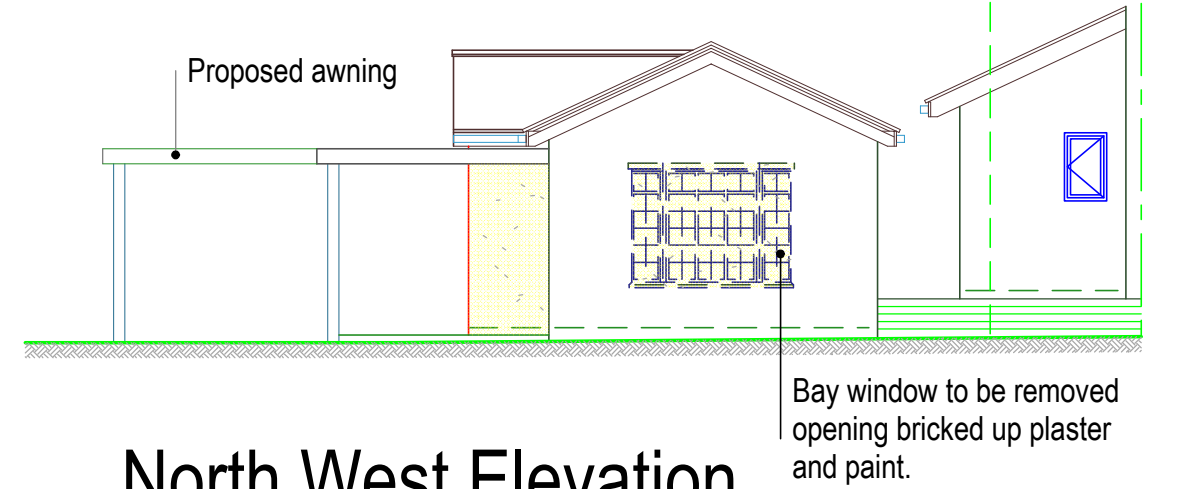
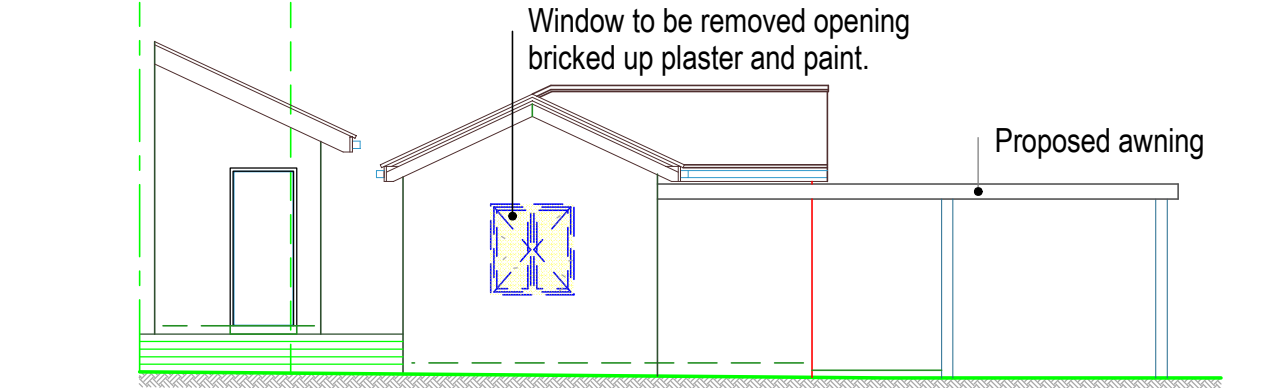


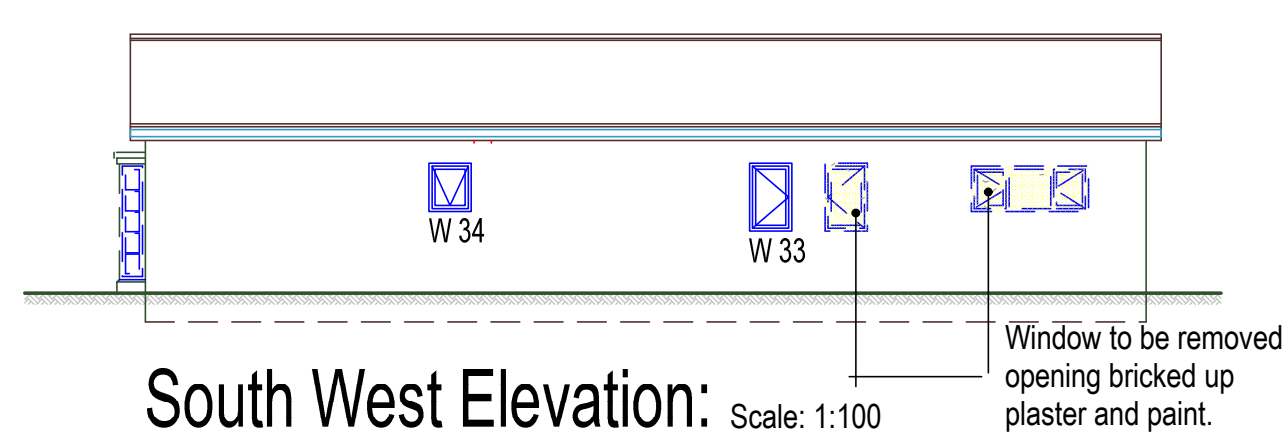
North East Elevation



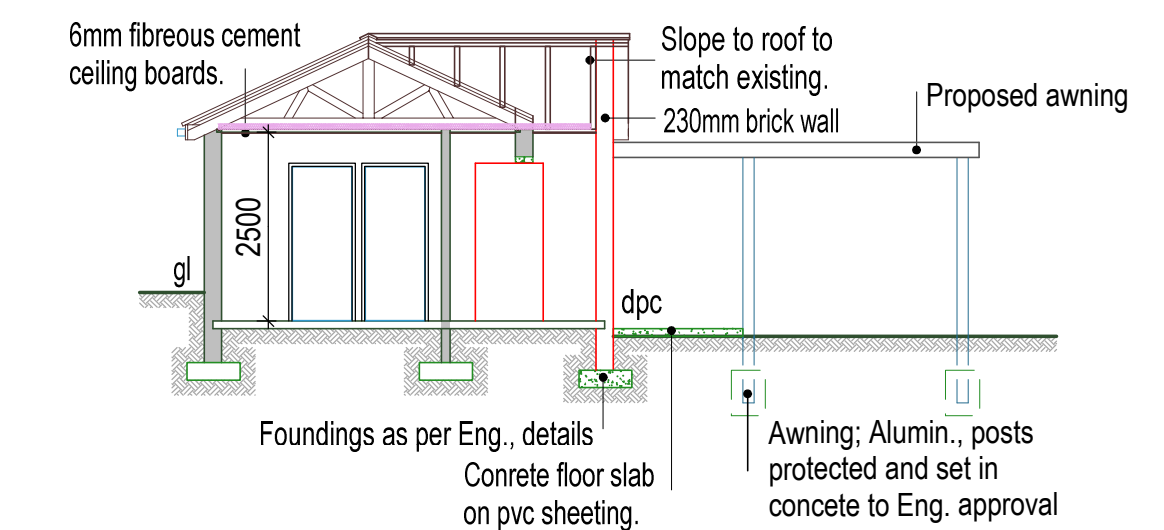
North West Elevation



South East Elevation



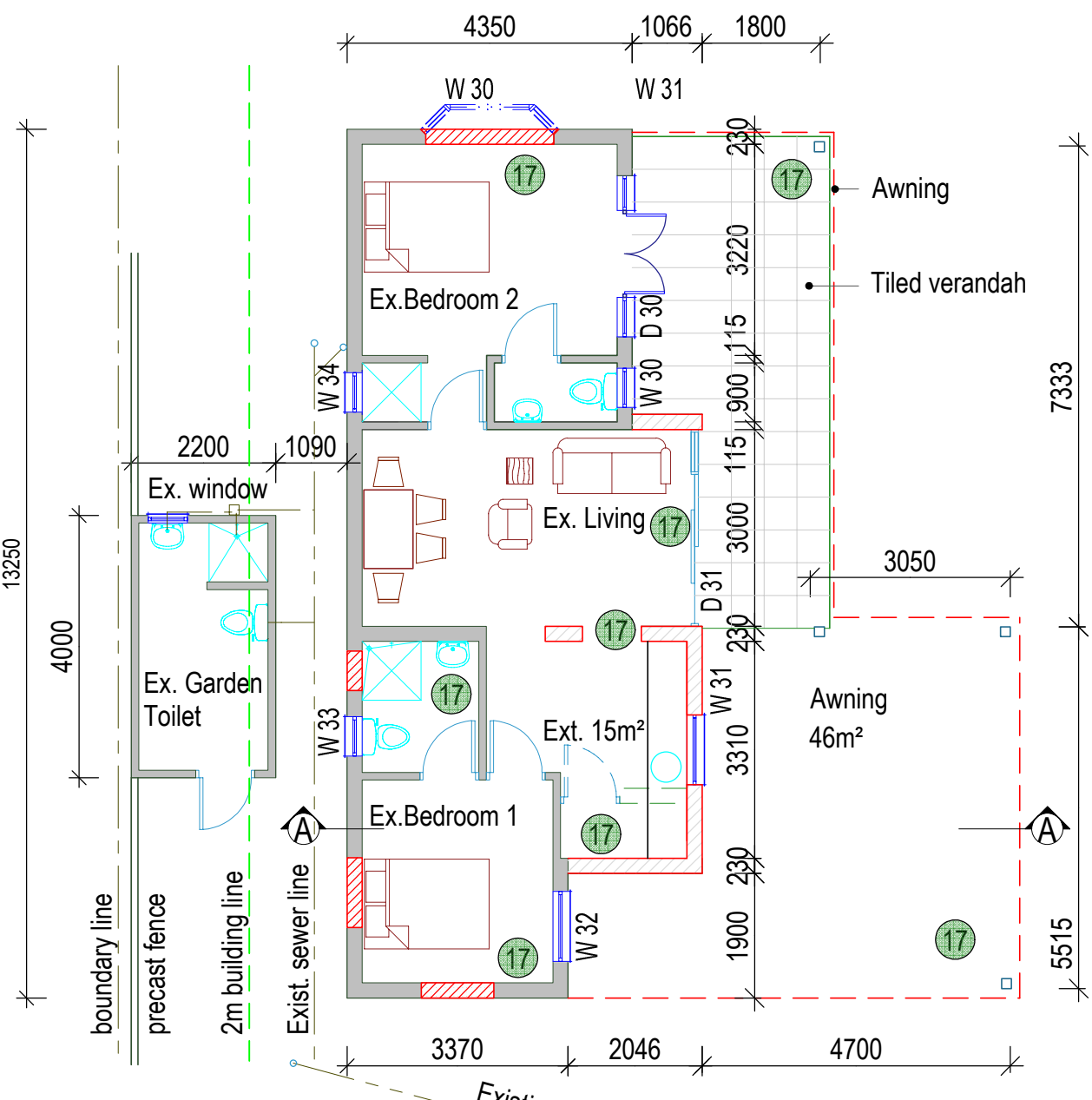
South West Elevation:



Section A - A

Extent of Work

- 17 Ancillary Unit: Remove existing door and frame, wall to be demolish. Existing ancillary unit room to be extended, by 15m², with foundations, brick, roof extended, plaster, floors to be screeded etc. Windows removed, opening bricked up and plastered with sliding door and windows added. Bathroom to be reconfigured with access from bedroom 1. Verandah tiled. Roof insulated.
- 17 Ancillary Unit: (continued). Awning (46m²) to be installed in accordance with Engineer's det
- 18 Existing Garden Store: Break out opening. Install window and make good, etc. Supply and fix new door. Install new plumbing fittings.
- 19 Gazebo: Existing Gazebo upgraded. Provide tiled concrete floor. Remove thatch roof and replace chromadeck roof sheets.



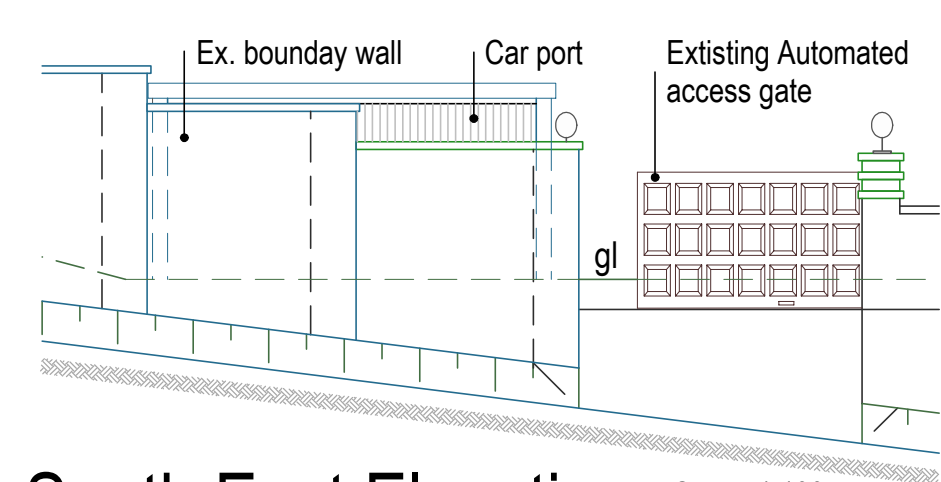
Plan

Area: Ancillary Unit: 63.350m²
Garden Toilets: 8.800m²

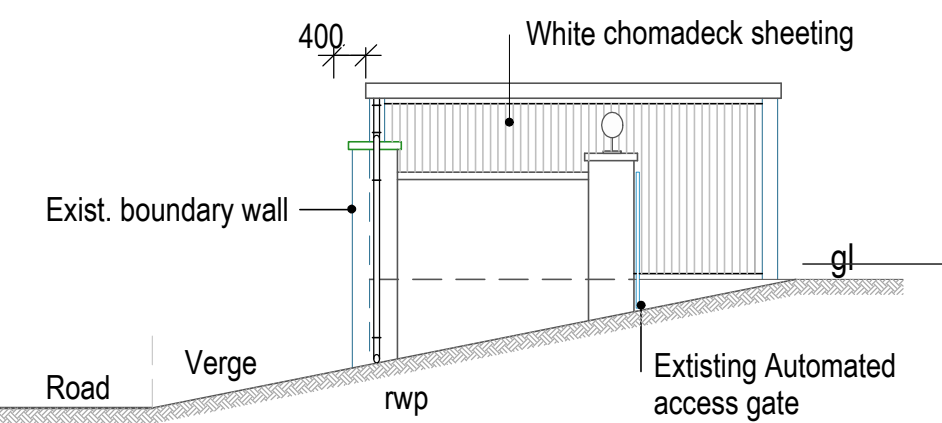
TYPE N	TYPE O	TYPE P	TYPE Q	TYPE U	TYPE T	TYPE V
No off: Area: Material: Glazing:	1 off W 30 1.320m ² Ex. Timber Ex. Glazing	1 off W 31 1.395m ² Ex. Timber Ex. Glazing	1 off W 32 0.990m ² Ex. Timber Ex. Glazing	3 off W 33 0.358m ² Ex. Timber Ex. Glazing	1 off W 34 0.358m ² Ex. Timber Ex. Glazing	1 off D 31 6.300m ² Bronze aluminium 6mm toughened glass

Window Schedule:

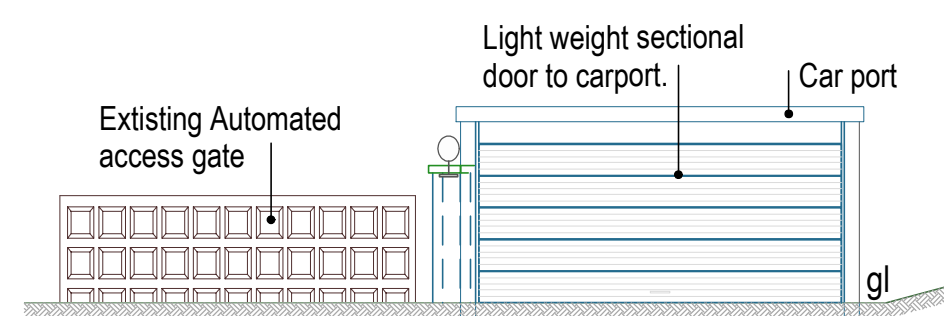
Ancillary Unit



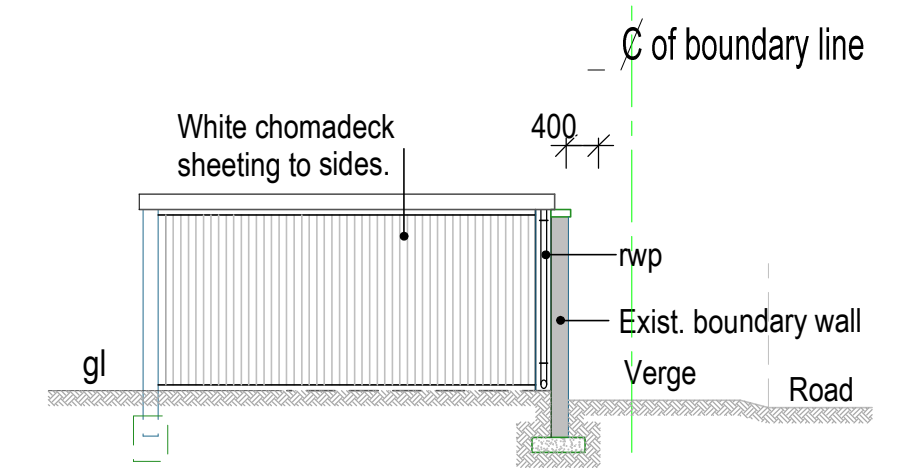
South East Elevation



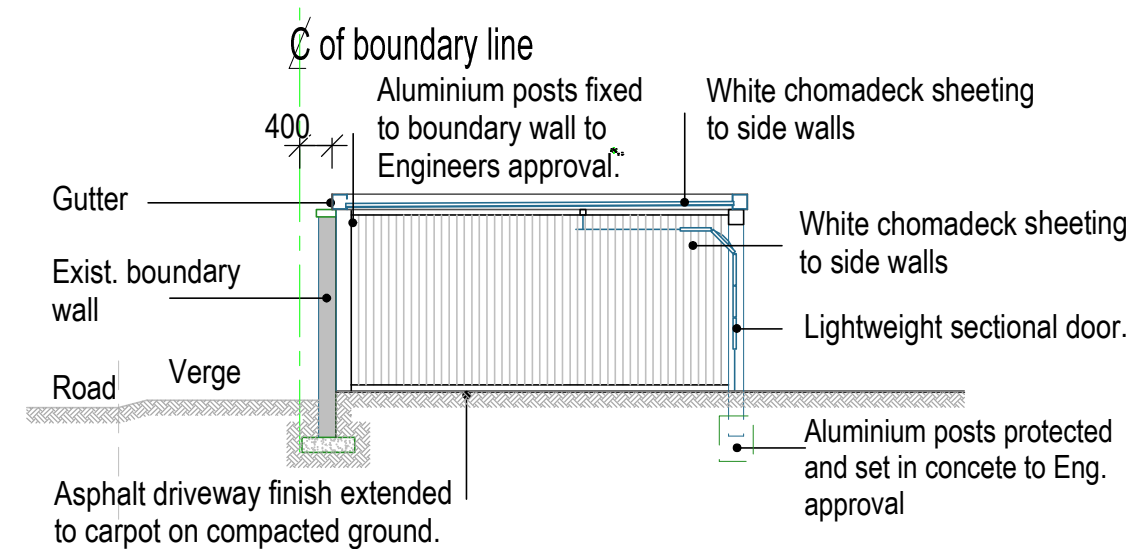
North East Elevation



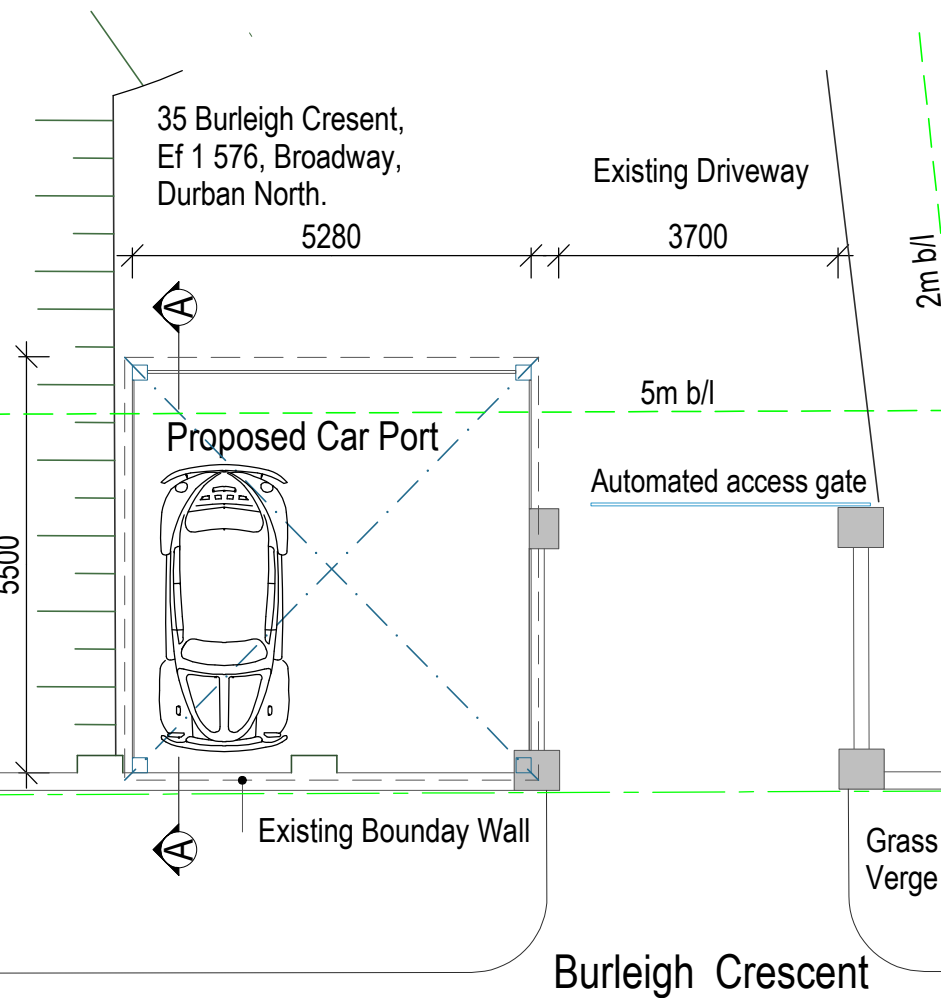
North West Elevation



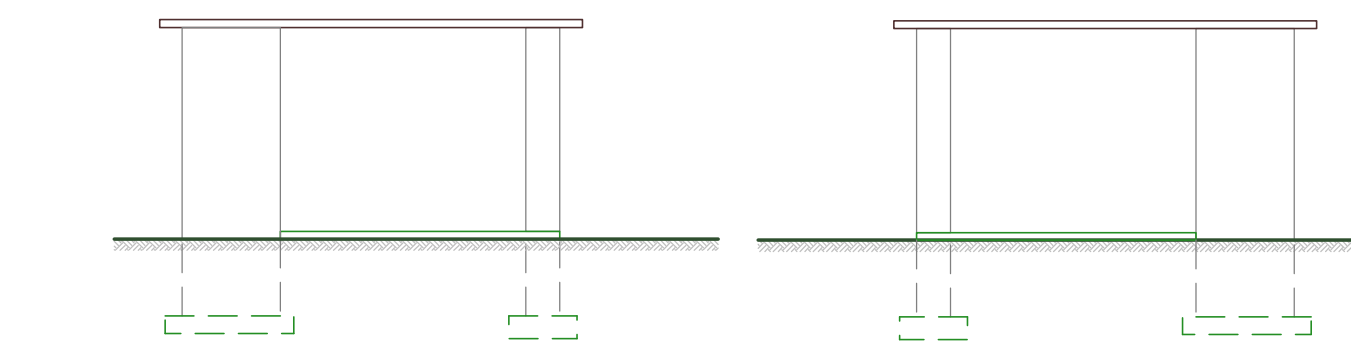
South West Elevation



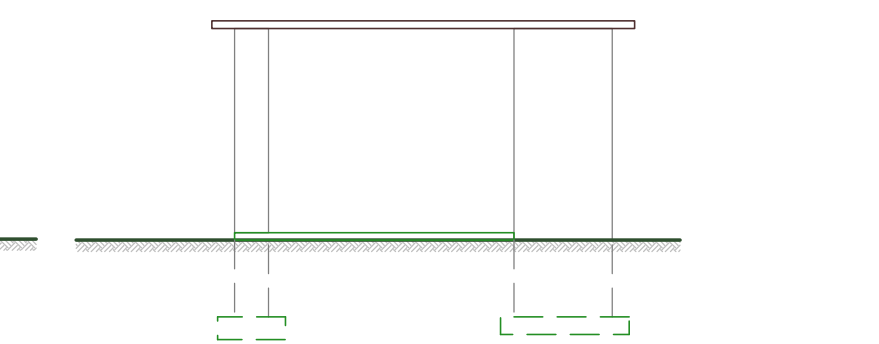
Section A - A



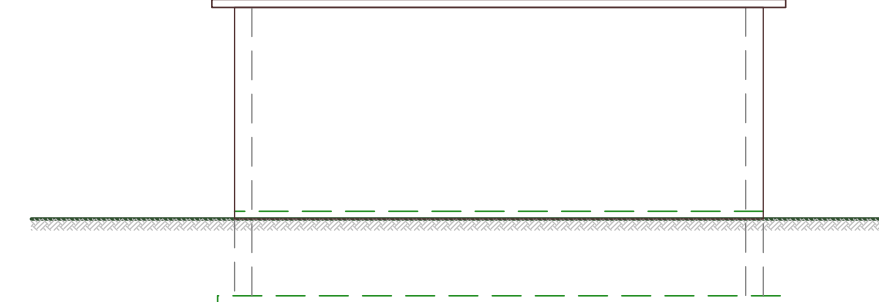
Car Port Layout



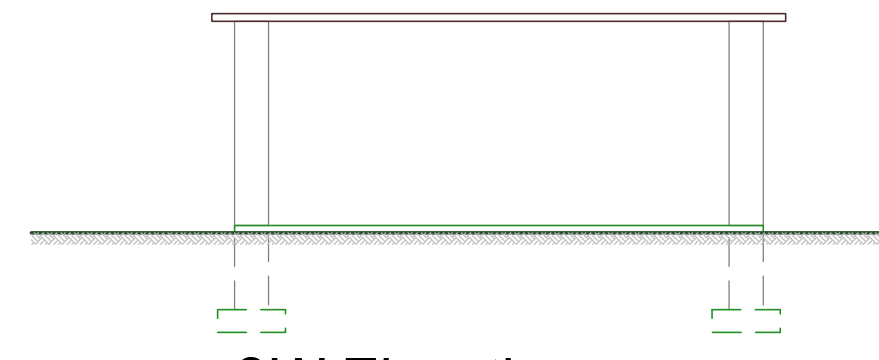
SE Elevation



NW Elevation

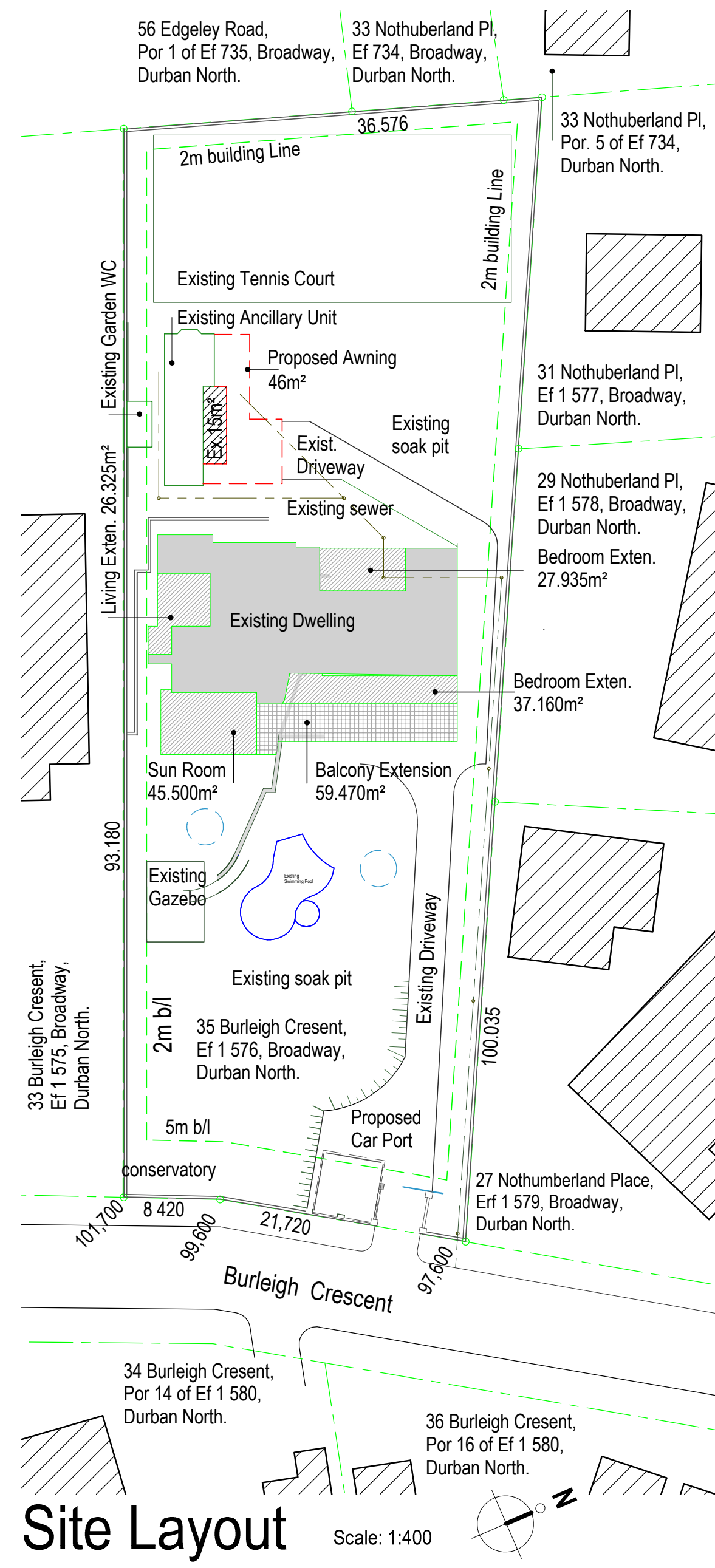


NE Elevation



SW Elevation:

Plan of Gezebo



Site Layout

- A. General Notes:
- All notes apply to all drawings, details, specifications and any supplementary information.
 - Figured dimensions only to be read, do not scale. Any discrepancies to be reported in writing to the designer in writing prior to continuation of work.
 - All boundary beacons to be exposed with levels and dimensions checked on the site prior to construction and any discrepancies to be reported to the designer/client before commencing any work.
- B. Notes to Owner and Contractor:
- The attention is drawn to the owner and contractor that changes to the plan and/or specifications after official approval are likely to invalidate the said approval and may be in contravention of the National Building Regulation (SANS 10400).
 - The contractor is responsible for reporting any proposed deviations that differs from approved architectural drawings and specifications, (even if requested by the client and/or consultants, as this may invalidate approved drawings). Written approval is required from the designer prior to construction and installation commencing on any variations.
 - The contractor will be held responsible for rectifying at his costs any unauthorised work being carried out. The designer accepts no responsibility for errors resulting from the misinterpretation of drawings or specifications. If in doubt, query details etc.
 - The owner and Contractor are responsible to obtain all necessary certificates required for occupation certificate to be issued by the Municipality.
- C. Statutory Requirement:
- The contractor is responsible for compliance with the current NBR, Sans 10400, Code of Practice, and NHBC (when applicable), local authority regulations and manufacturer's recommendations.
 - This requirement shall not be deemed to be superceded by the provision of any other contract.
 - The Contractor is responsible for all construction procedures and methodology being carried out and implemented in strict accordance with the latest occupational health and safety act and regulations.
 - The contractor is responsible for all local authority notices and to supplying all necessary certificates required to obtain occupational/completion certificate.
 - The contractor is required to obtain all necessary connections to services.
 - Any disputes or disagreements that may not be resolved by negotiations, shall at the discretion of the designer, be referred to arbitration or to the Small Claims Court for a final decision.

DEVELOPMENT SCHEDULE


Address:	35 Burleigh Crescent, Durban North
Site:	Erf 1 576, Broadway, Durban North.
Zoning:	SR 1200 Occupant: H4
Site Area:	3 188m ² Parking Bays: 6
Max Permitted Areas:	
Site coverage:	40% 1 275.20m ²
Floor area ratio:	N/A
Height:	2 storey

Location:	Additional:	Existing:
Main Building:		264.300
Bedroom 4:	27.935	
Master bed & 2,3	37.160	
Balcony:	59.470	
Wind break room:	45.500	
Living:	26.320	
Sub- Total	196.385	196.385
Total Main Building		460.685
Gazabo:		35.000
Ancillary Unit:		49.800
Extension SQ:	15.000	
Awning:	47.000	
Garden Wc:	8.800	
Sub-Total:	70.800	70.800
Total Site Coverage:		616.285m ²
Lower Ground Level:		
Games Room:		72.570m ²
Workshop:		38.050m ²
Garage:		70.330m ²

Owner:	Wendy Fay Van Heerden
ID No:	6410130142081
Signature:	W. Van Heerden
Address:	34 Burleigh Crescent, Broadway.
Owner:	Michael John Simes + STELLA SIM
ID No:	6201065131081
Signature:	M. Simes
Address:	36 Burleigh Crescent, Broadway.
Owner:	John Alexandre Cole
ID No:	4711045026182
Signature:	J. Alexandre Cole
Address:	27 Northumberland Place, Broadway
Owner:	Johannes Marthinus Bezuidenhout
ID No:	5206205061080
Signature:	J. Marthinus Bezuidenhout

A	Ancillary Unit indicated	2021/09/15
Rev No:	Revisions/Details/Author	Date:
Signatures:		
Owner:	Wendy Fay Van Heerden	
Sign in acknowledgement of understanding of the drawing and contents therein.		
Author:	JD Cookson	REG No: ST2110

CLIENT:	Mr. C. B. Wilkins		
LOCATION:	35 Burleigh Crescent, Durban Noth, Erf 1 576, Broadway, Durban North.		
PROJECT:	Deviation and Extension to approved Plan 198-06-02		
DRAWING:	Floor Plans		
DRAWN:	JD Cookson	DRAWING No: BUR-1001	REV: A
DATE:	2020/12/20		
SCALE:	1:100, 1:400		

	<p>P. O. Box 51 165, Musgrave Road, 4062.</p> <p>Tel: 031 201 4423 Cel: 082 709 2586 eMail: soko@sai.com</p>	
ISSUED FOR: Submission:	Sheet 1 of	A1