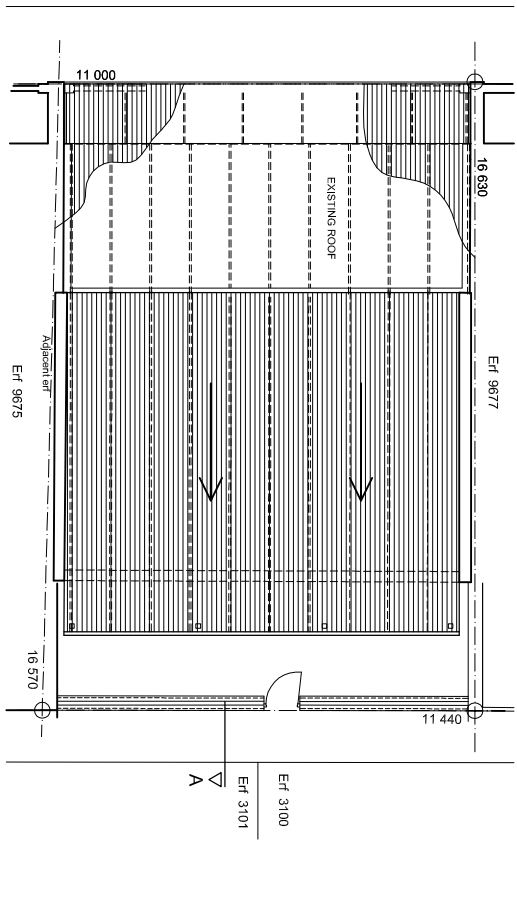
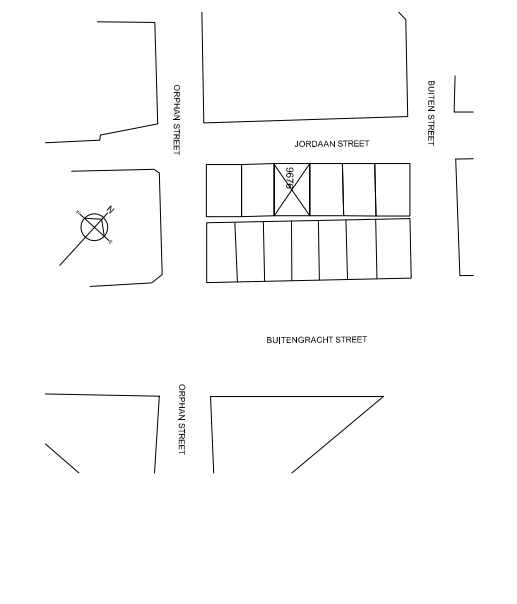


REVISIONS	
R.	DATE
E	24-06-13
E	11-07-13
E	23-07-13
	Submitted to Council for comment
	Design revised to Councils comments
	Council Submission

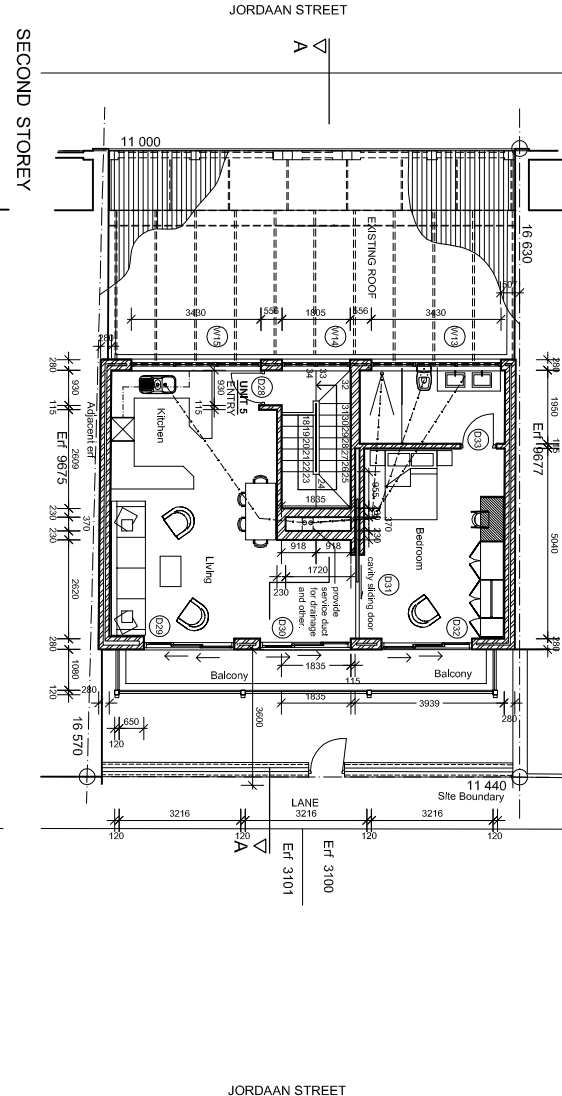
NOTES

- GENERAL NOTES**
- This drawing is the copyright of the Architect.
 - All work to be carried out in strict accordance with local authority regulations and by-laws, contractor must check all levels and dimensions on site before the commencement of any work. Any such responsibility of the contractor, written dimensions should be used in preference to scaling the drawings. All work to be carried out in strict accordance with the drawings. Any discrepancies or omissions of information shall be the responsibility of the contractor. Should any portion of the drawing be unclear or contain insufficient information for construction it should be reported to the architect immediately. Discharge connection point and levels to be verified by the planning contractor before commencement of any work.
 - All balustrades to be min. 1000mm high, and rear standing between balustrades at 100mm.
 - All steps to have a tread of min. 250mm and rise of max. 200mm.
 - External walls 'rock' dry brick 280 cavity wall, ground walls - 115mm or 150mm brickwork, all other walls - 115mm brickwork.
 - Vertical and horizontal gaps to conform to SANS 10000 window with regard to quality and positioning.
 - All portions of structural timber built into walls to be wrapped in damp proofing.
 - Roof structure to be min. 1000mm high, and rear standing between balustrades at 100mm.

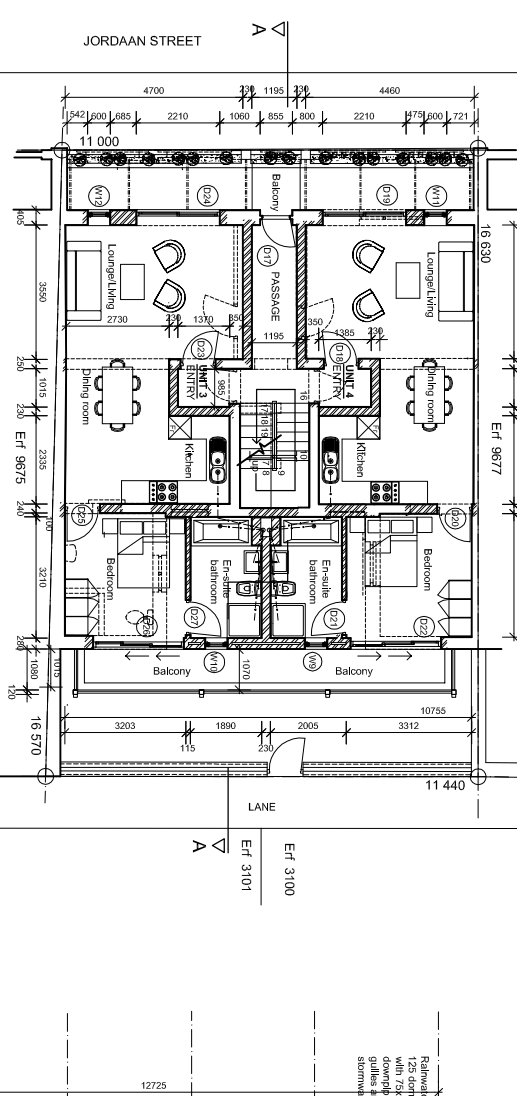
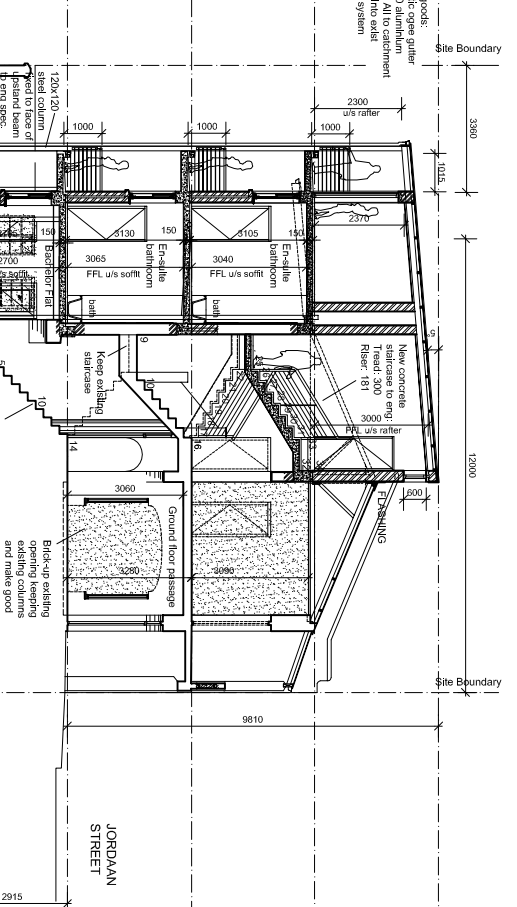


ROOF PLAN

LOCALITY PLAN



SECOND STOREY

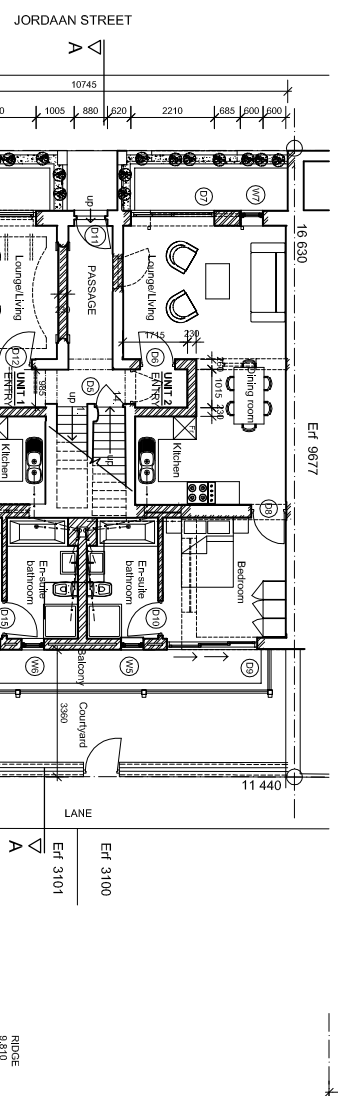


FIRST STOREY

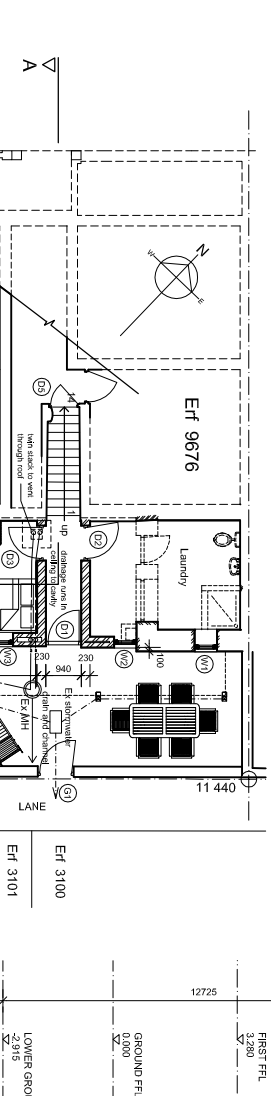
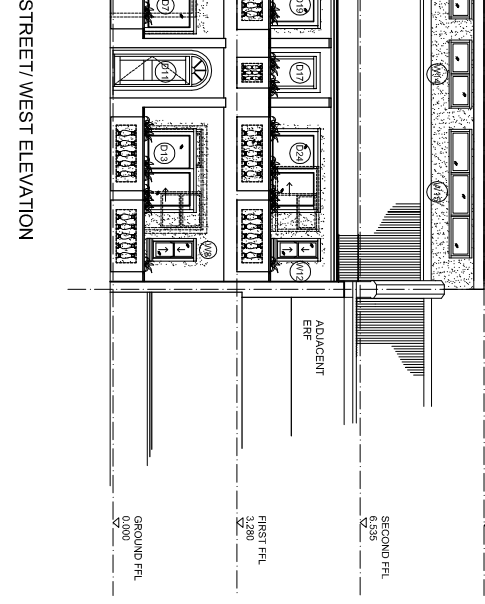
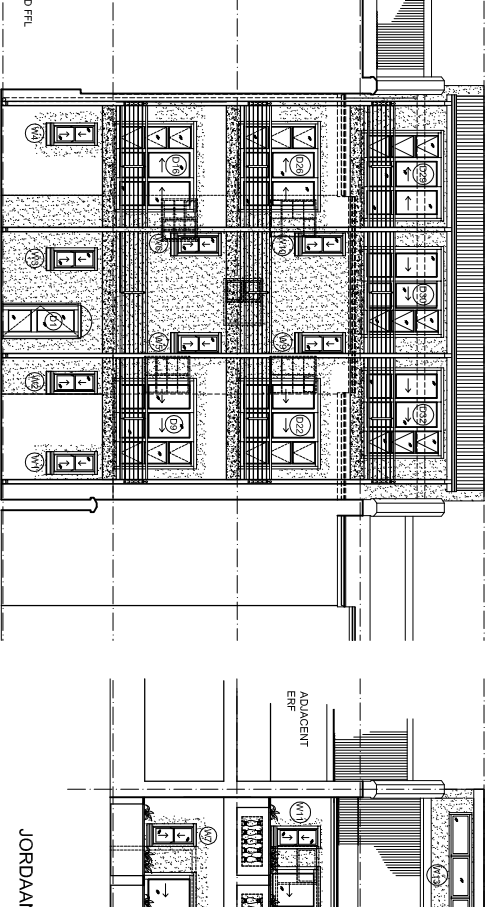
WINDOW AND DOOR SCHEDULE
(excludes internal semi-solid doors)

Window/Door	Dimensions	Notes
D10, D26, D29	2210 x 2400	Double glazed, 2 panes
D7, D19	1596 x 2210	Double glazed, 2 panes
D9, D22, D30, D32	2210 x 2400	Double glazed, 2 panes
W1 TO W12	3000 x 1800	Double glazed, 2 panes
W13, W15	3000 x 1800	Double glazed, 2 panes
W14	1800 x 1800	Double glazed, 2 panes
SOLID TIMBER 2 PANEL DOOR	D1, 2, 3, 6, 11, 12, 17, 18, 23, 28	Double glazed, 2 panes

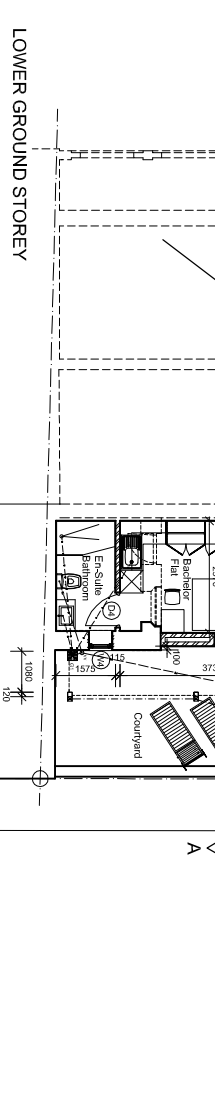
WINDOW AND DOOR SCHEDULE
(excludes internal semi-solid doors)



GROUND STOREY



LOWER GROUND STOREY



GROUND STOREY

Zoning of proposed building is GR4
Maximum Height = 24m

Coverage:
Allowed = 80% of site area
Proposed coverage = 130m²
70% (10% over)

Floor Areas:
Lower Ground = 41m²
Ground = 130m² (coverage)
First = 125m²
Second = 84m²
Total Building Area = 380m²
Floor Factor for GR4 is 1.5
186 x 1.5 = 279m²

total proposed building area 380m²
difference between allowed area and proposed 101m² (38% more)

Client: SELLESA PROPERTIES

Project: PROPOSED ALTERATIONS TO NO: 41 JORDAAN STREET BO-KAAP, CAPE TOWN, ERF 9676

Drawings: PLANS, SECTIONS AND ELEVATIONS

Project Number: 01311

Drawing Number: C-1001

Date: 23-07-13

Scale: 1:100 @ A1

Drawn: ES

Checked: MS

Architect: Remmie Scurr Adendorff

Address: 53 New Church Street, Cape Town 8000

Contact: T: +27 (0) 21 424 9398, F: +27 (0) 21 424 9398

Architects: SACCA 4380