

revisions:	rev no.	date
issued to local authority for approval	0	16/09/13

AREA SCHEDULE	
Service Area	14
Pay Point	6.9
Staff Change	13.8
Store Room	14.9
Ablutions	21.7
Seating Area	32.9
Cold rooms	15.9
Take Away Area	40.3
Customer Serving Area	25
Kitchen	28.4
Scullery	34.2
Total	248
EXTERNAL AREAS	
Drive Through Canopies	34.2
Outdoor Eating	22.8
Childrens play Area	28.5

general notes:
 this drawing is copyright and remains the property of H2 ARCHITECTS
 all dimensions and levels are to be checked on site prior to construction
 all dimensions and levels on this drawing are to be taken in preference to scaling off
 any discrepancies on this drawing are to be reported to the office of the architect prior to construction
 all work is to be carried out in accordance with the national building regulations SANS 10400
 all retaining walls, piles footings, slabs, beams, columns and agricultural drains to engineer's details and design
 all foundations/piling to structural engineer's detail and design
 all foundations are to be checked by a competent person
 the main contractor to check the land surveyors drawings for confirmation of setting out levels and dimensions of site
 building work may only commence on approval of the building plans from the local authority construction prior to approval will be at the risk of the owner

lighting and ventilation
 lighting and ventilation to comply with SANS 10400 part O
 lighting
 artificial lighting to be provided at a rate in accordance with the SANS 10400, part O
 mechanical ventilation
 ventilation extraction to be a minimum of 20l/sec/fitment
 fresh air to be supplied at a rate of 7.5 litres per person per second
 uniform air distribution and a maximum air velocity of 0.5 m/second.

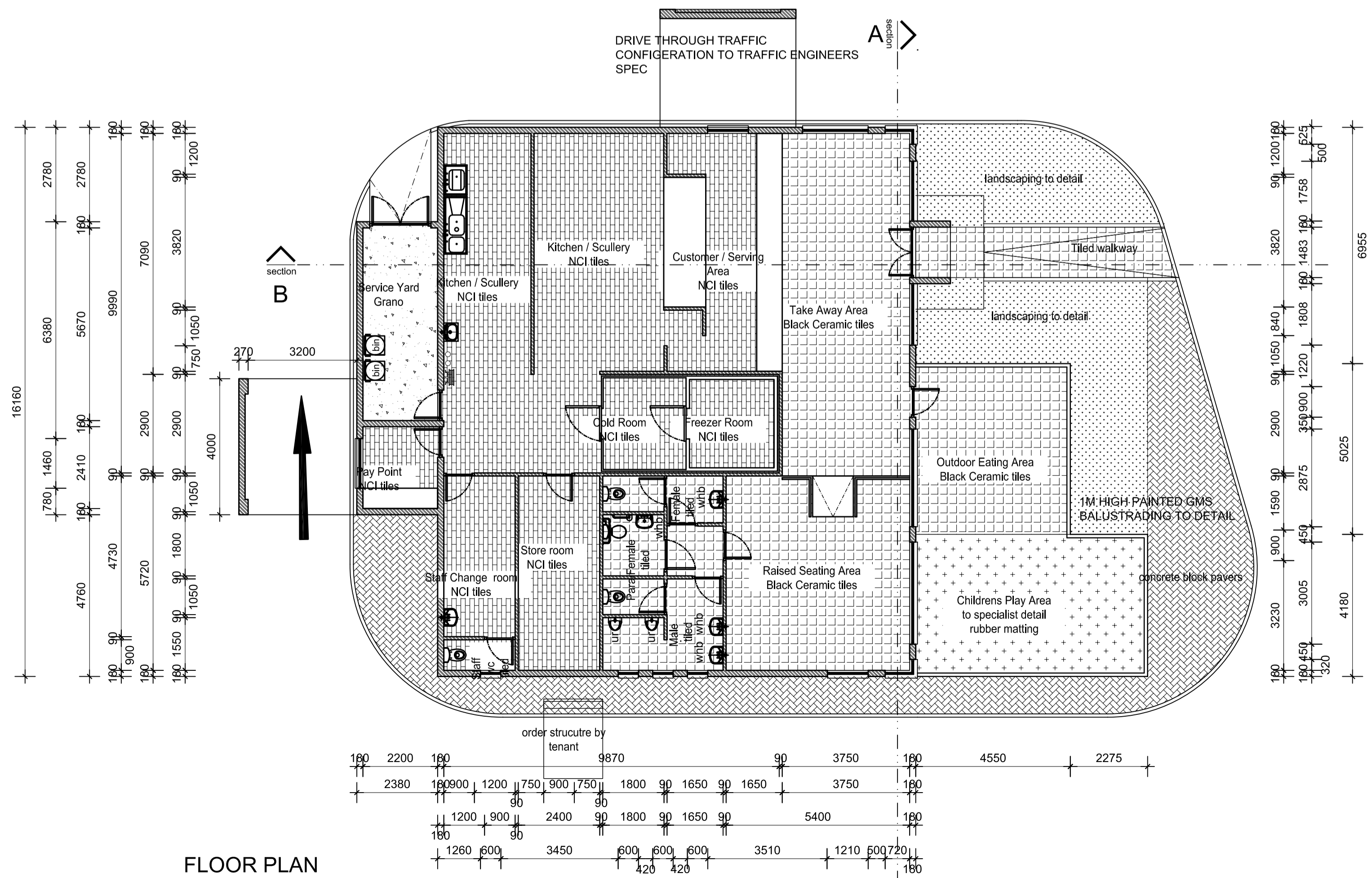
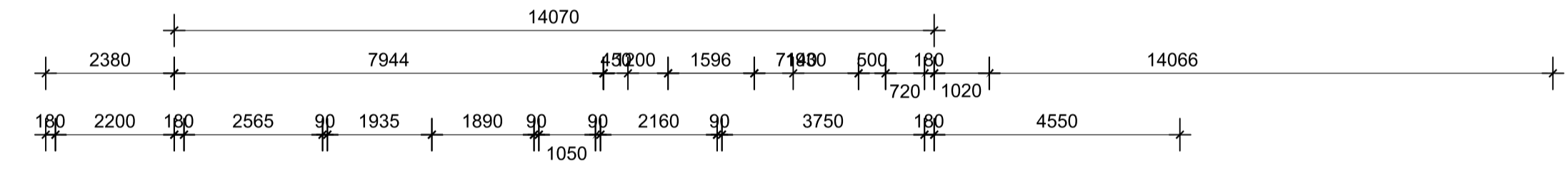
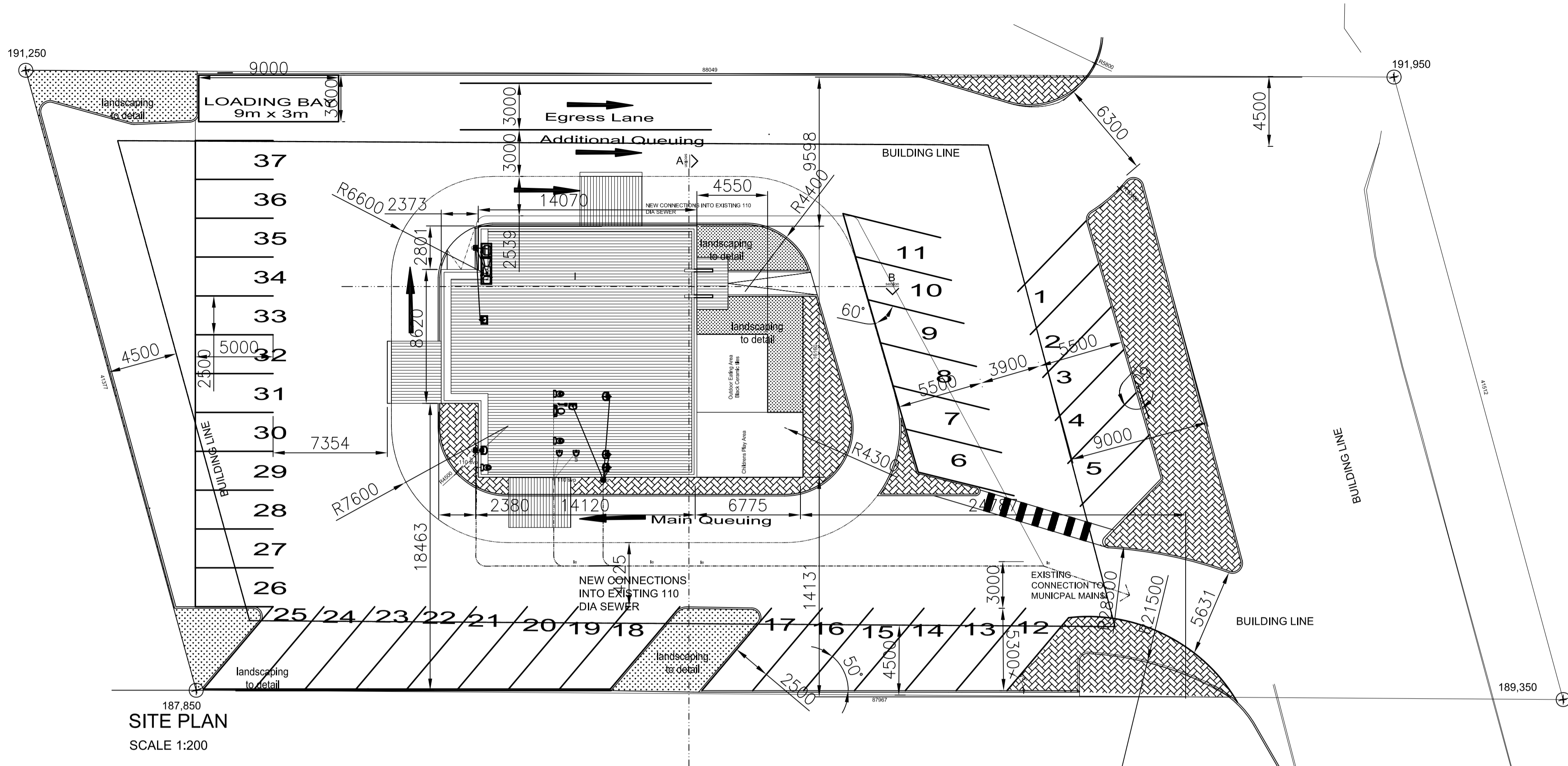
facilities for disabled persons
 all facilities for disabled persons to comply with SANS 10400, part S.
 ramps to comply with SANS 10400 part SS2, DD3 and part TT23.
 lifts to comply with SANS 10400, part SS3.
 toilet facilities to be provided in accordance with SS5.
 signage to comply with SANS 10400 part SS9.

drainage
 all drainage to comply with SANS 10400 part P.
 110Ø pvc waste pipes to be a minimum of 450mm below finished ground level and to have a minimum fall of 1:60.
 rodding eyes to be provided every 23m.
 inspection eyes to all fittings
 2 way vent valves to be fitted at the head of all drain runs.

public safety:
 stairs and balustrading to comply with SANS 10400 part M.
 glazing to comply with SANS 10400 part N.
 minimum clear openings to doors to be a minimum of 750mm in accordance with the SANS 10400 part SS4.
 all sewer and stormwater pipes are to be housed in oversized sleeves where they pass through walls to allow for movement, all in accordance with SANS 10400 part PP24.3
 all vent valves to be 2 way vent valves.
 vent stacks to comply with SANS 10400 part PP15 and PP20.4
 stairs to comply with SANS 10400 part M.

national building regulation notes:
 notes in respect of S.A. standard code of practice - the application of the national building regulations SANS 10400 PART T

fire protection:
 Safety distances to comply with TT2.
 All materials to comply with TT5.
 Fire resistance of occupancy and division of separating elements to comply with part TT6.
 All access doors to emergency routes to be SABS class B 120min. fire rated doors fitted with self closers in compliance with TT10.4 and locks in compliance with TT19.9.
 Doors between interior of building and smoke lobbies to be fitted with self closers.
 Roof assemblies and coverings to comply with TT12.
 All ceilings to comply with TT13.
 All floor coverings to comply with TT14.
 All wall finishes to comply with TT15.
 Feeder routes to comply with TT18 -
 Ventilation to stairs to comply with TT24.
 Signage to be provided in accordance with TT29, TT32, TT55.4, and TT55.5.
 Emergency routes to be lit in accordance with TT30.
 Fire detection and alarm systems to be provided in accordance with TT31, to comply with SABS 0139.
 Fire reticulation to comply with TT33.
 Hose reels to comply with TT34.
 Hydrants to comply with TT35.
 Portable fire extinguishers to be provided in accordance with TT37, at 1/200 m.
 Any inaccessible concealed space with a dimension greater than 5 M to be stopped in accordance with TT39.
 Service shafts to be fire stopped in accordance with TT40.5
 Service pipes, conduits, and sleeves to comply with TT41.
 All floors to have provision for smoke ventilation in accordance with TT42.
 Air conditioning system to comply with TT43.
 Basement ventilation in accordance with TT42.
 Escape routes to comply with TT16.
 Escape / emergency routes to comply with TT17 to TT30.
 Lift shaft to comply with TT45 - 60 minute structural stability requirement.
 Lift and doors to comply with TT46 - doors to be class B with a 2 hour fire rating.



SCHEDULE OF RIGHTS		
PROPERTY DESCRIPTION		
Erf / Portion:	6140	Site area: 3512.69
Township:	Queensburgh	Title deed No -
ZONING INFORMATION		
Town Planning Scheme	Durban	
Use Zone	Gr 2	
DEVELOPMENT CONTROL MEASURES		
Permissible	Control	Actual
3	Height zone	Gr 2
3	Height of buildings	Single Storey
30%	Coverage	Proposed = 288m2 (8%)
0.5	F.A.R	Proposed Total = 248m2 (7.8%)
PARKING		
TOTAL PARKING BAYS REQUIRED	30 provided 37	

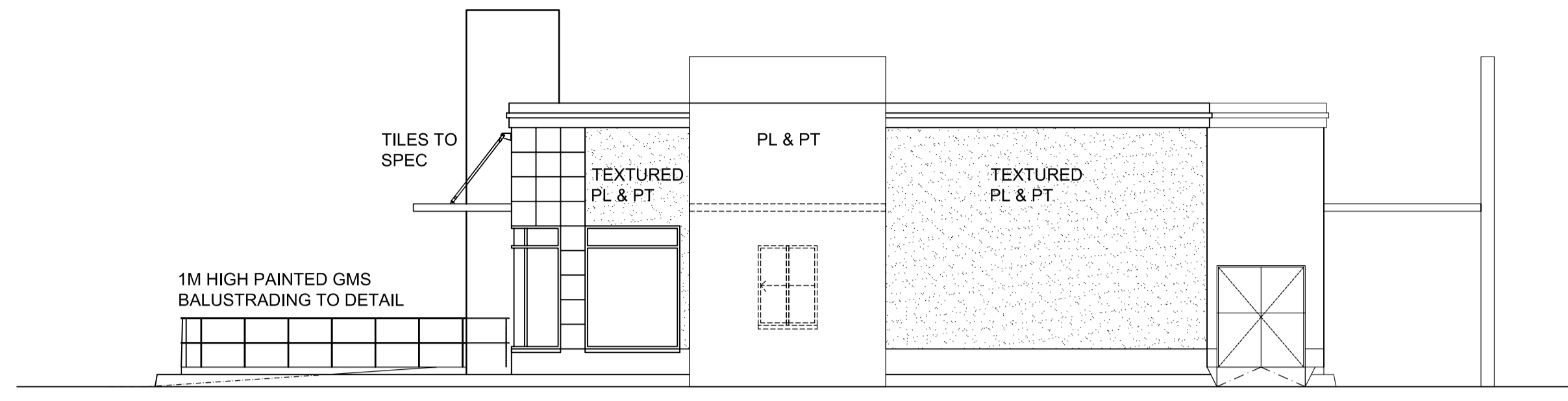
Owner's signature:	
Architect's signature:	
Client:	COLOSSUS PROPERTIES
Project:	PROPOSED DRIVE THROUGH FOOD OUTLET
Address:	295 OLD MAIN ROAD QUEENSBURGH
Cad des:	LOT 6041 QUEENSBURGH

Drawing Title:	SITE PLAN AND LAYOUT PLAN	
Date:	20/09/2013	Scale: 1:100
Proj. no:	031	Rev. no:
Drawg. no:	300	Revision:

GENERAL SPECIFICATION NOTES:

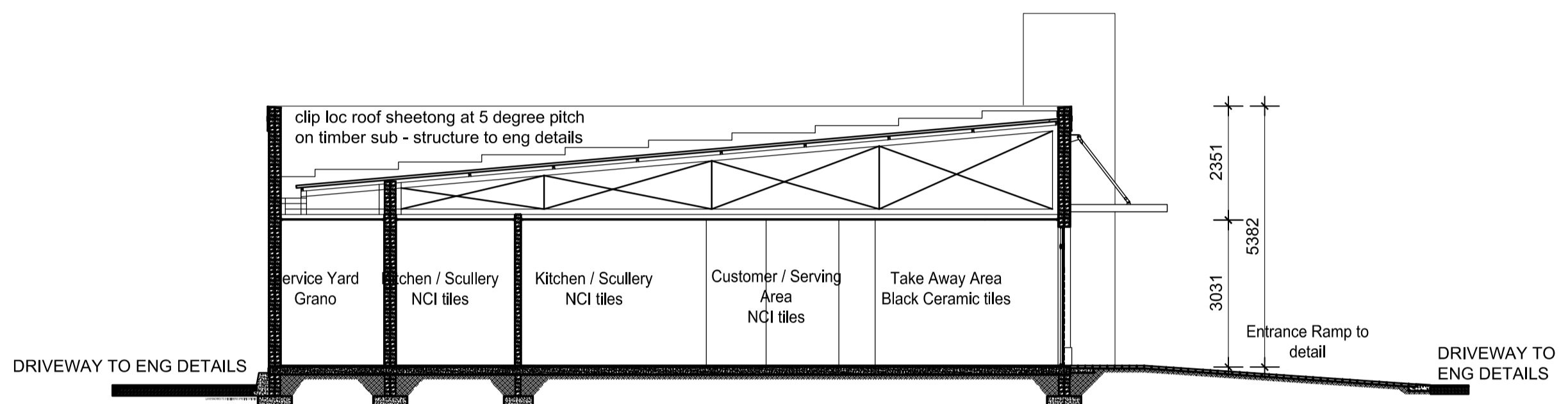
- 1. roof sheeting as per CLIP LOCK profile fixed to 75 x 50 sap battens and on timber trusses to engineers specification, colour of sheeting to be confirmed and gauge of sheeting as per manufactures specification.
- 2. 255mm reinforced concrete roof slab to eng detail with min 40mm screed laid to min fall of 1:80 to full bore outlets with min 4mm torch-on waterproofing membrane over to be dressed into outlets as per specialist detail, finished with 2 coats aluminium paint
- 3. roof design and fixing according to manu spec and eng detail and appointed sub-contractor or eng to submit shop drawings for client/architect's approval
- 4. insulation to roof sheeting as per sisalation 420 supported on plastic coated wire to manufactures specification AND 100 mm thick mineral wool blanket layed over ceiling branderling
- 5. insitu grp box gutter to take water from mono pitch roof into exiting rainwater sumps and soakaways, parking areas surface bed and channelled into existing storm water management channels to engineers specification
- 6. coloured gms standard flashing to engineers details to match roof sheeting colour
- 7. 1200 x 600 drop in gypsum tiles with vinyl covering in exposed t suspension grid with flush plastered bulkheads and feature panels to detail
- 8. 12mm fully skimmed gypsum internal ceiling with taped joints and selected "romulun" oea polyurethane profiled cove cornice
- 9. 25mm thick x 600mm wide T&G Isoboard ceiling panels with Isopine finish, fixed to timber sub-frame branderling, with profiled shadowline cornice
- 10. brick on edge to create parapets and upstands to concrete roof slab edges, with waterproofing membrane dressed up and over the parapet, with 75mm thick x 20mm plaster coping to outer edge, all finished with one coat plaster primer and two coats "wall & all" oea
- 11. 90mm thick internal brick work walls, all internal plastered surfaces finished with two coat plaster with gypsum skim finishing coat and painted one coat filler coat and one plaster primer and two coats selected "wall & all" oea
- 12. 180mm thick external brk walls made up of two 90mm brickwork skins. External face of internal skin to be painted with bitumen based brick seal. Finished with textured plaster as 'gamma zenith' to specialist detail
- 13. selected 100mm cut tile as supplied to match floor tiles, colour and tile type to be advised.

- 14. 1.0m high painted gms balustrading to detail, with vertical rails as per detail
- 15. 1.0m high brickwork balustrades with 75mmx15mm plaster coping finish to top, smooth plastered and painted finish, colour to match main walls
- 16. concrete "planks" or in-situ concrete stairs or steel stairs @ min 250mm tread and max 200mm risers - as per engineers detail
- 17. selected powdercoated alum windows & doors to sabs standard, samples to be submitted for client/architect's approval - as per window and door schedule
- 18. semi-solid timber internal door with "wood grain" finish and painted one coat primer and two coats selected "double velvet" enamel oea with architrave to match
- 19. Minimum 200mm thick concrete surface bed on approved 250 micron dpm on well compacted and poisoned earth fill to receive floor tiling to specialist detail
- 20. in-situ concrete footing reinforced ground beams or piling to eng design and detail
- 21. Minimum 50mm thick non-combustible, lightweight Glasswool "geyser blanket" around geysers. Minimum 20mm thick "snap-on" insulation to pipework 1,0m either side of geyser to hot and cold water supply pipe
- 22. Minimum 200litre horizontally mounted 1.5KW "Kompakt" Electric water heater, to be connected to new geysers.



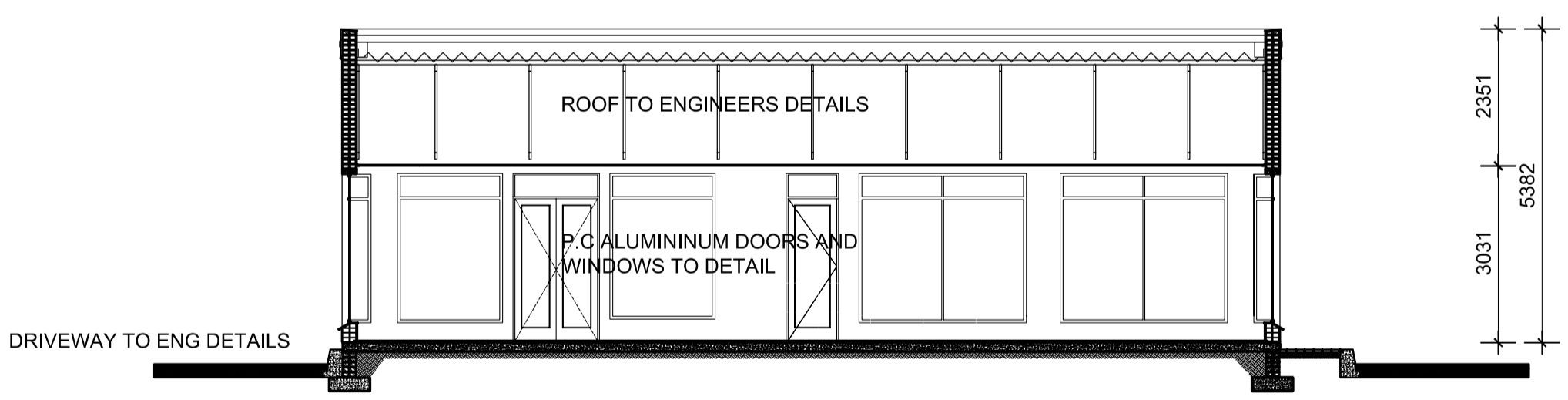
NORTH WEST ELEVATION

Scale 1:100



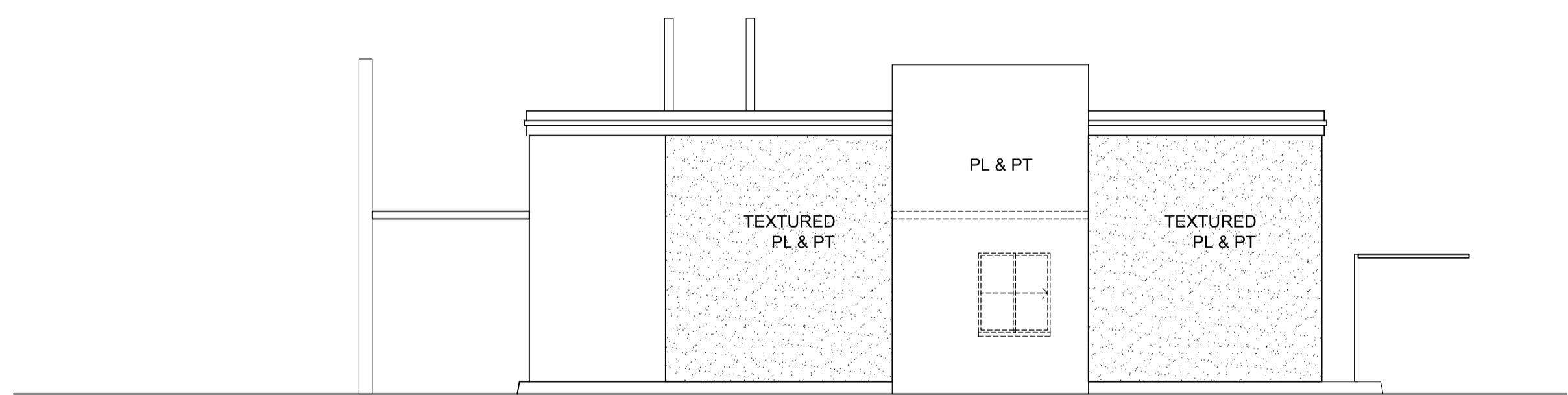
SECTION B

Scale 1:100



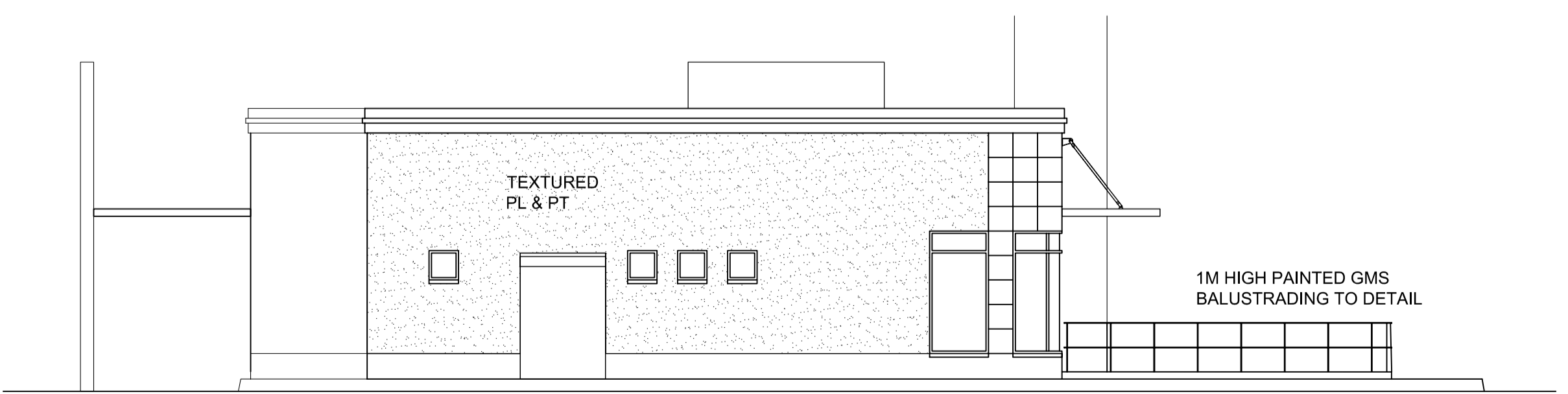
SECTION A

Scale 1:100



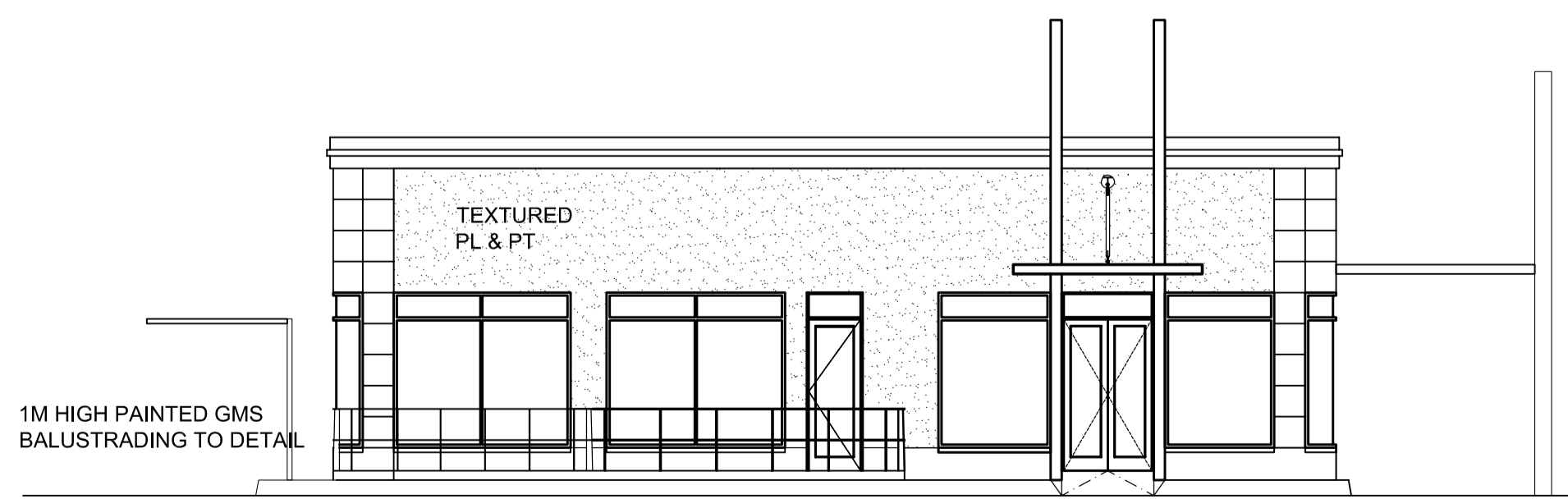
SOUTH WEST ELEVATION

Scale 1:100



SOUTH EAST ELEVATION

Scale 1:100



NORTH EAST ELEVATION

Scale 1:100

EAST ELEVATION
SCALE 1:100

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Owner's signature: _____
 Architect's signature: _____

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Client: COLOSSUS PROPERTIES
 Project: PROPOSED DRIVE THROUGH
 FOOD OUTLET

Address: 295 OLD MAIN ROAD
 QUEENSBURGH

Cad des: LOT 6041 QUEENSBURGH

Drawing Title: ELEVATION & SECTIONS

Date: 20/09/2013 Drawn: ACH Scale: 1:100

Pj. no.	Drwg. no.	Revision
031	301	0