

Submitter Copy 30/9/02

CITY OF DURBAN
 PLAN No. 511-08-02
 APPROVED BY I. SERJEAN
 3/10/02

GRANTED
 2002-09-03
 Signature: [Signature]

"It should be noted that this plan has been approved on the basis of information thereon."

A. FRONTAGE LEVELS ARE:
 (1) TO CORNER TO THE BACK OF THE CONSTRUCTION FOOTING OR
 (2) TO BE ESTABLISHED BY THE USE OF THE FOLLOWING FORMULA: $H = 0.25D$
 Where H = height of level above finished ground and D = diameter of pipe or manhole.

B. A CONCRETE SLAB AT THE CORNER OF A WALL LEVEL IS TO BE PROVIDED ON EACH SIDE OF THE SAME CORNER TO THE SAME DEPTH AS THE WALL.

C. THE TOPS OF FOUNDATIONS ON ANY FRONTAGE WALLS AT A MINIMUM DEPTH OF 0.25 METRES BELOW FINISHED GROUND LEVEL.

ALL SLABING TO COMPLY WITH SANS 1012 AND 1013 OF 1997.

ELECTRICITY SERVICES
 Any person undertaking the construction of a structure shall be responsible for the provision of electricity services in accordance with the following conditions:
 1) The electrical services shall be provided in accordance with the Code of Practice for Electrical Installations (SANS 1014:1997) as amended and approved by the Council of the City of Durban.
 2) The electrical services shall be provided in accordance with the Code of Practice for Electrical Installations (SANS 1014:1997) as amended and approved by the Council of the City of Durban.
 3) Adequate earthing to the satisfaction of the Director of Electricity Services, D.E.S. is provided.

A.S. de Graaf
 OWNER: 16 MILLER GROVE
 BEREA, DURBAN
 DATE: 27/09/02
 TEL: 2093562

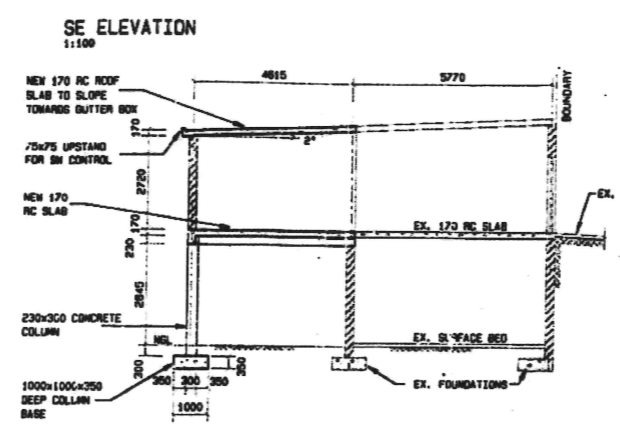
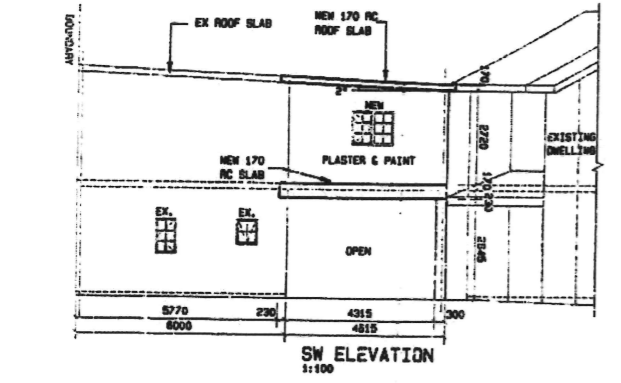
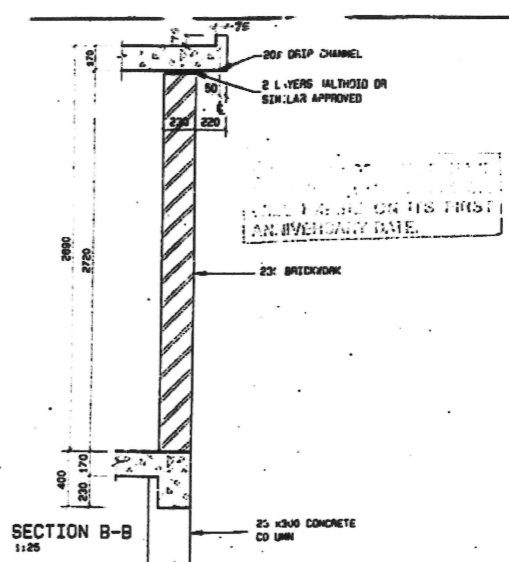
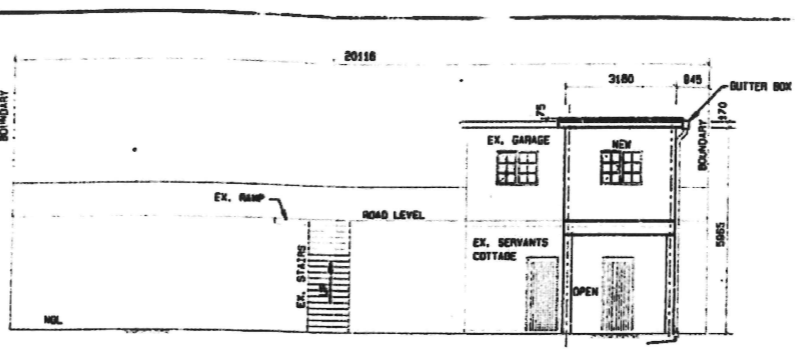
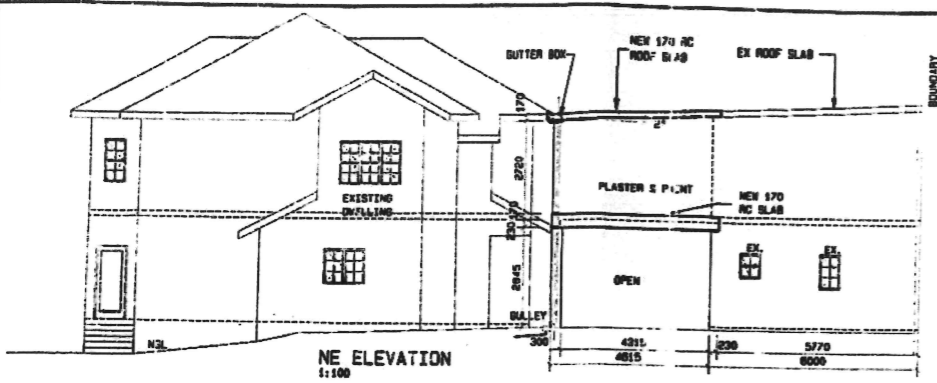
ELECTRICITY SERVICES
 Any person undertaking the construction of a structure with this plan is required to obtain from the Executive Director of Durban Electricity Services:
 1) The location of any electrical services and services in the vicinity of the proposed works.
 2) DMS engineer's details for Substation, Meter rooms, and Cables etc.

SUBMITTALS
 SITE PLAN CHECKED
 2002-09-03
 Signature: [Signature]

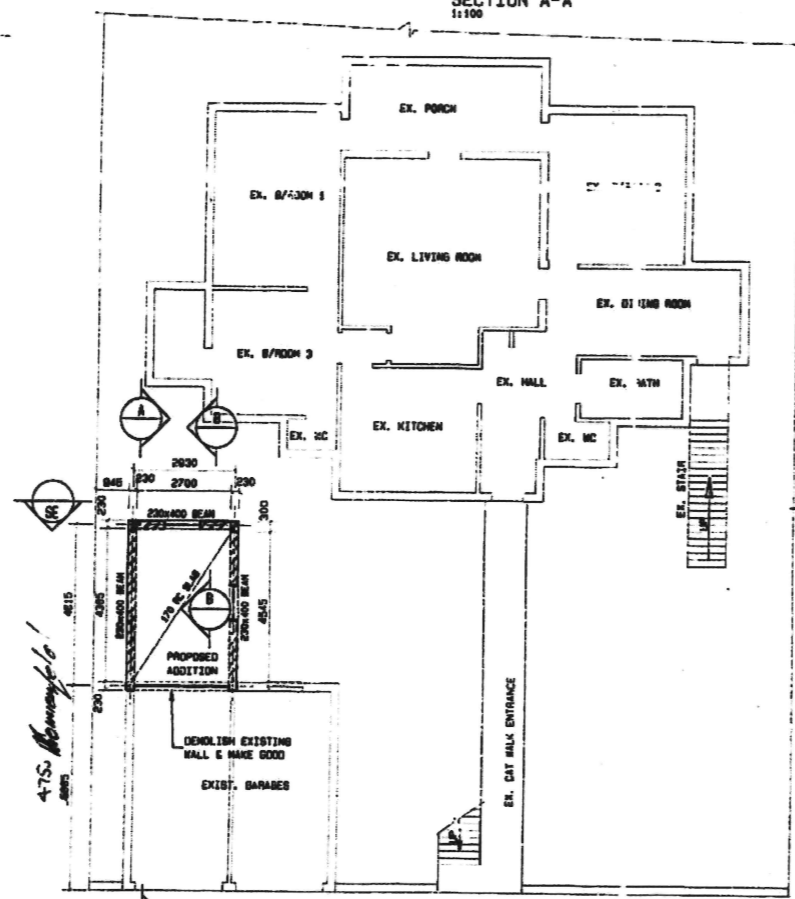
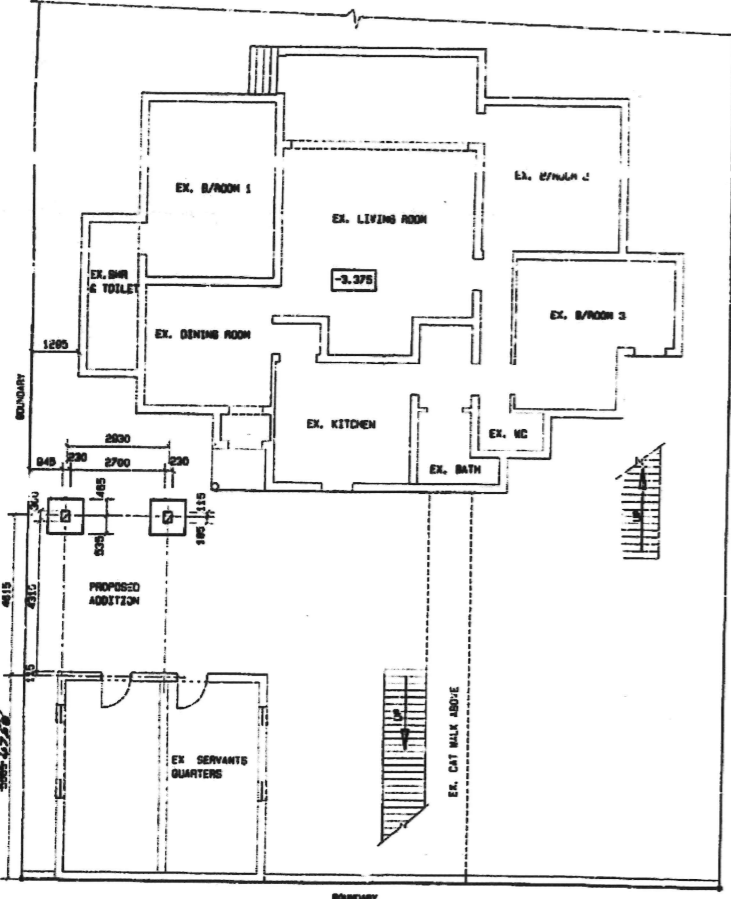
NO CONCRETE PERMITTED OVER D.C. SERVITUDES

WELA CONSULTING ENGINEERS (PTY) LTD
 MECHANICAL ELECTRICAL STRUCTURAL CIVIL
 11 Pulpit Road, Westville, Durban 4001 P.O. Box 8078 Durban 4000
 Tel: 031 262001 Fax: 031 262004 E-mail: wela@wela.co.za

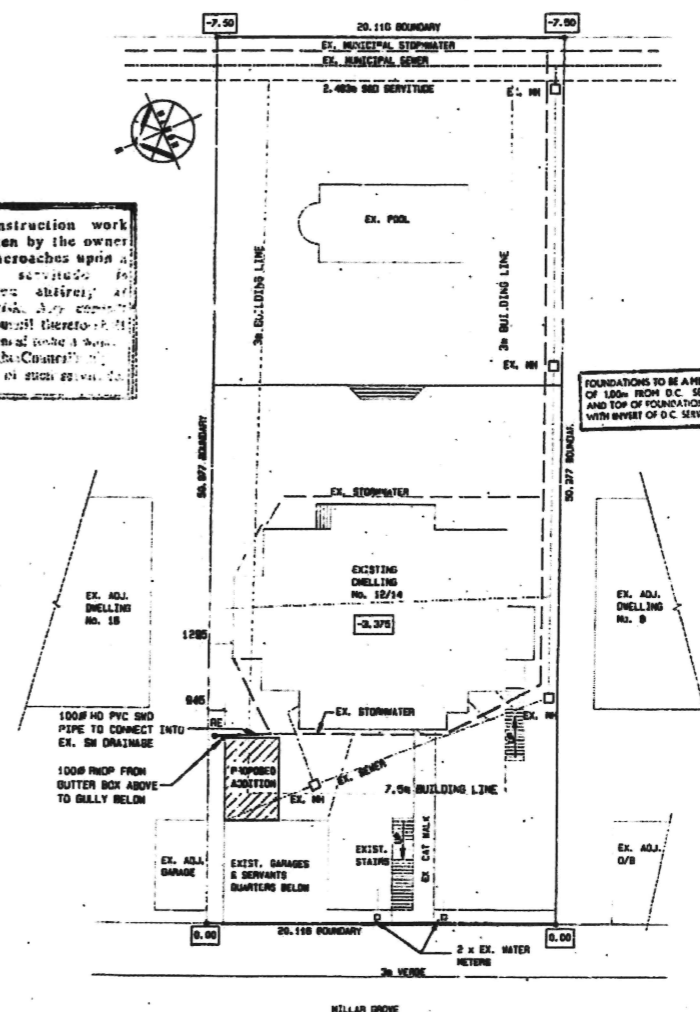
PROPOSED TANDEM GARAGE ADDITIONS TO EXISTING GARAGE AT 12/14 MILLAR GROVE, BEREA NORTH
 PLANS, ELEVATION AND SECTION



ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE 88.4"



Any construction work undertaken by the owner which encroaches upon a Council servitude is prohibited unless the owner has obtained the written consent of the Council Director of the City of Durban. The Council Director's consent shall be given on the basis of such evidence as the Council may require.



SITE PLAN - LOT 6 OF 3037 DURBAN
 RATE NO. 98906775099

<p>NOTE:</p> <ol style="list-style-type: none"> ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE VERIFIED BEFORE COMMENCING WORK. ALL SERVICES TO BE LOCATED PRIOR TO EXCAVATION. FIGURED DIMENSIONS TO BE TAKEN, DO NOT SCALE DRAWING. ALL STRUCTURAL CONCRETE, FOUNDATIONS, REINFORCEMENT ETC. TO ENGINEERS DETAILS. ALL CONCRETE TO BE CLASS 25MPa/20mm. ALL WATERPROOFING BY SPECIALISTS. 	<p>6. ALL BUILDING WORK AND MATERIAL TO COMPLY TO S.A.S. 0400 AND LOCAL AUTHORITY BY-LAWS.</p> <p>7. ROOF SLAB TO SLOPE TOWARDS GUTTER BOX FOR STORMWATER DRAINAGE.</p>	<p>AREA OF SITE PERMITTED FAR (MAY BE 2x SITE AREA) = 1025.00m²</p> <p>PERMITTED COVERAGE (40%) = 410.00m²</p> <p>EXISTING FAR = 489.50m²</p> <p>EXISTING COVERAGE = 228.00m²</p> <p>PROPOSED FAR = 29.17m²</p> <p>PROPOSED COVERAGE = 14.58m²</p> <p>NEW TOTAL FAR = 488.67m²</p> <p>NEW TOTAL COVERAGE = 242.58m²</p>	<p>CONVEYING PROPERTY OWNER</p> <p>NAME: G.A.B. ENG</p> <p>ADDRESS: 16 MILLER GROVE, BEREA</p> <p>TEL: 209-5022</p> <p>SIGNATURE: [Signature]</p> <p>DATE: 28-4-2002</p>	<p>CONVEYING PROPERTY OWNER</p> <p>NAME:</p> <p>ADDRESS:</p> <p>TEL:</p> <p>SIGNATURE:</p> <p>DATE:</p>	<p>REV DATE BY DESCRIPTION</p> <p>A 28-08-02 JR AMENDED AS PER B/INSPECTORS LETTER 10-08-02</p>	<p>SCALE: AS SHOWN DATE: JULY 2002 DESIGN: JEB</p>	<p>CLIENT: BODY CORPORATE DITONY</p> <p>PROJECT: PROPOSED TANDEM GARAGE ADDITIONS TO EXISTING GARAGE AT 12/14 MILLAR GROVE, BEREA NORTH</p> <p>TITLE: PLANS, ELEVATION AND SECTION</p> <p>DRWING NO.: SW2002/09-100 REVISION: A</p>
---	---	---	--	---	---	--	---