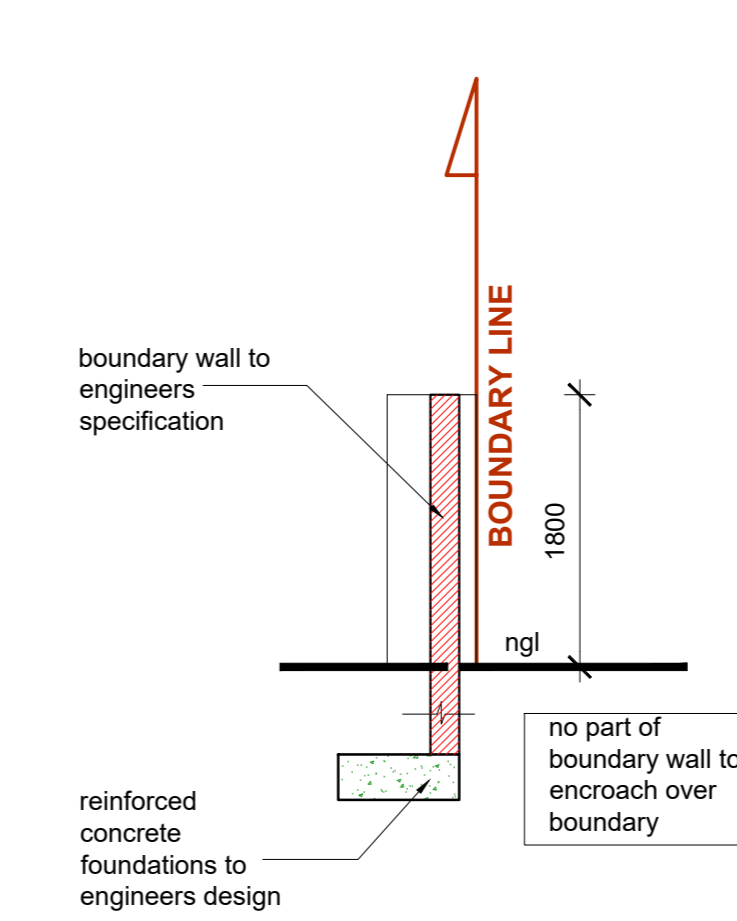
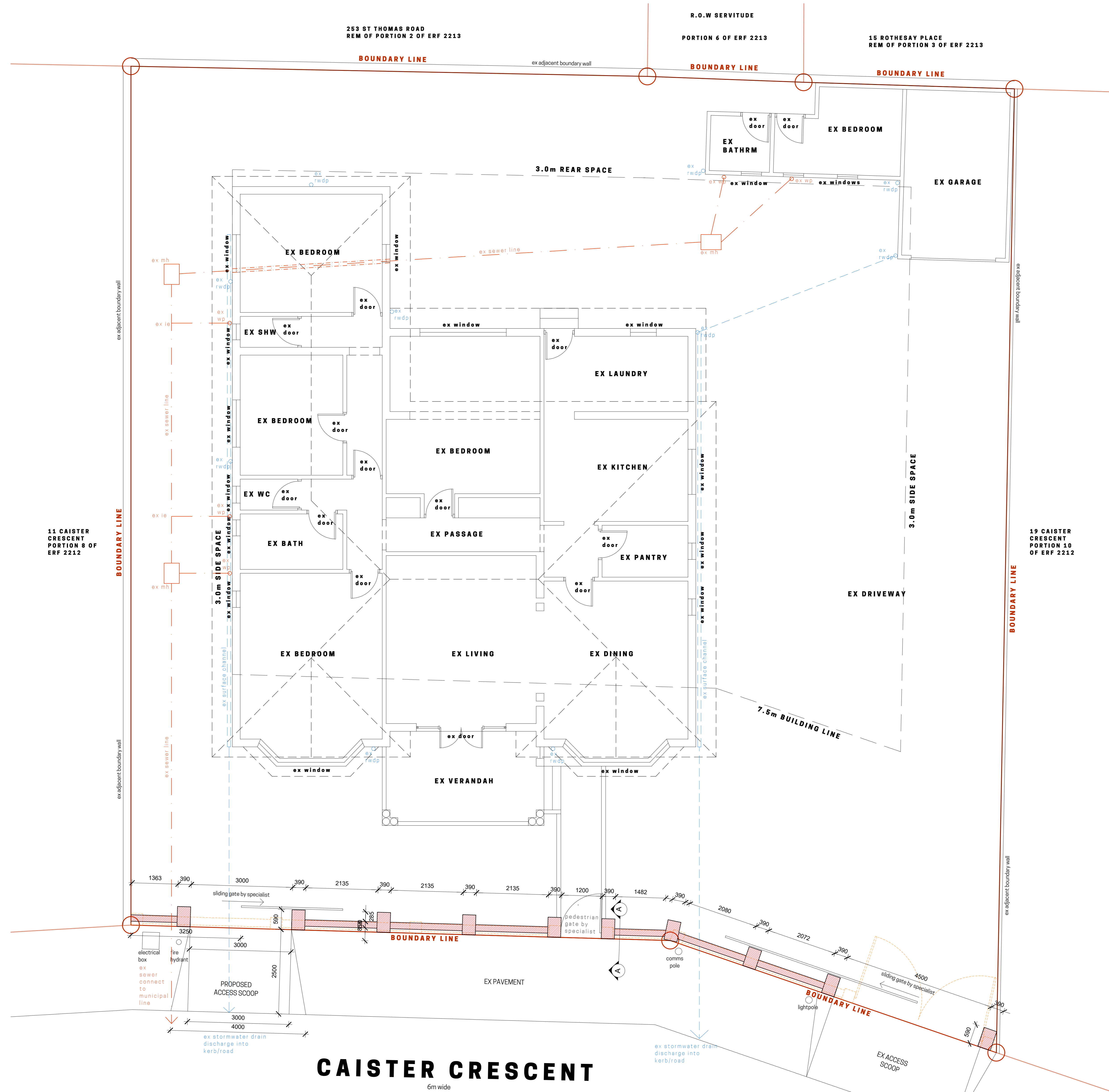


**NORTH EAST ELEVATION**  
SCALE 1:50



**SECTION A-A**  
SCALE 1:50



**CAISTER CRESCENT**  
6m wide

**GROUND STOREY | SITE PLAN**  
SCALE 1:50

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**GENERAL NOTES:**

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DRAWINGS, THE ELECTRICAL LAYOUT, THE KEY TO THE ELECTRICAL LAYOUT AND THE SCHEDULE OF FINISHES.

ALL BUILDING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH NATIONAL BUILDING REGULATION AND STANDARDS ACT (SABS 0400-1990 & SANS 10400)

ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE, PRIOR TO COMMENCEMENT OF WORK OR MANUFACTURE OF PRE-CONSTRUCTED COMPONENTS

ALL REINFORCED CONCRETE, SLABS, FOUNDATIONS, COLUMN DETAILS, BEAMS, STAIRS, STRUCTURAL STEEL WORK AND RETAINING WALLS ARE TO BE BUILT STRICTLY IN ACCORDANCE WITH PROFESSIONAL ENGINEERS DETAIL AND UNDER HIS SUPERVISION.

ANY QUERIES TO BE REFERRED TO ARCHITECT, PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION

THE ATTENTION OF THE OWNER IS DRAWN TO THE FACT THAT CHANGES TO THE PLAN AND/OR SPECIFICATION AFTER OFFICIAL APPROVAL IS LIKELY TO INVALIDATE THAT APPROVAL.

**LOCAL AUTHORITY:**

1. THE OWNER IS RESPONSIBLE FOR ALL LOCAL AUTHORITY FEES.
2. THE OWNER IS REQUIRED TO OBTAIN ALL NECESSARY CONNECTIONS TO SERVICES.
3. WHERE LOCAL AUTHORITY OR GOVERNMENT REGULATIONS REQUIRE MORE STRINGENT SPECIFICATION THAN SHOWN HEREIN THEY ARE TO BE FOLLOWED WITH PRIOR CONSENT TO THE OWNER.
4. THE CONTRACTOR IS TO INSPECT OFFICIAL APPROVED COPIES OF THE DRAWING TO ENSURE THAT ALL AMENDMENTS HAVE BEEN TAKEN INTO ACCOUNT.
5. ALL SANS10400 (2010) STANDARDS AND SPECIFICATIONS ARE TO BE ADHERED TO AS A MINIMUM STANDARD AND GOOD CONSTRUCTION PRINCIPLES.
6. ALL LEVELS ARE APPROXIMATE.
7. ALL WORK TO COMPLY WITH SANS 10400 (2010).

**GENERAL SPECIFICATIONS**

**WALLS:**

1. EXTERNAL COROBLOK M200 - PLASTER AND PAINT
2. TWO COURSES OF BRICKWORK TO BE REINFORCED IN WITH BRICK FORCE SOLID CEMENT MORTAR JOINT BELOW WINDOW CILL LEVEL
3. ALL BRICKWORK BELOW GROUND LEVEL TO BE BRICKS RECOMMENDED FOR THE PURPOSE BY THE MANUFACTURER.
4. ALL WALLS TO ENGINEERS DETAILS TO COMPLY WITH SANS 10400 PART K

**ELECTRICAL:**

1. TO BE CARRIED OUT BY A REGISTERED TRADESMAN.

**SITE WORKS & EXCAVATION:**

1. ALL BOUNDARY BEACONS ARE TO BE FLAGGED BY A REGISTERED LAND SURVEYOR AND THE CONTRACTOR IS TO OBTAIN A CERTIFICATE STATING THAT THE WORK HAS BEEN CORRECTLY SET OUT BEFORE PROCEEDING WITH EXCAVATIONS
2. CONTRACTOR IS TO CHECK ALL DIMENSIONS AND LEVELS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO DRAWING SERVICE.
3. CONTRACTOR IS TO CONFIRM AND ENSURE CORRECTNESS OF FLOOR AND ENTRANCE LEVELS PHYSICALLY ON SITE WITH LOCAL AUTHORITY INSPECTOR BEFORE COMMENCING WORK.
4. IF THE SITE IS FOUND TO CONTAIN CLAY, SHALE, GROUND WATER OR ANY OTHER SUSPECT SOIL CONDITION, THEN ALL FOUNDATIONS ARE TO BE TO PROFESSIONAL ENGINEER'S DETAILS AND BUILT UNDER HIS SUPERVISION.
5. ALL FOUNDATIONS TO BE TAKEN TO HARD VIRGIN GROUND, NO BACK FILLING OVER EXCAVATED AREAS WILL BE PERMITTED ON THE SITE REPORT AND DRAWINGS

**ZONING: GENERAL RESIDENTIAL 1  
PROPOSED OCCUPANCY: H4**

**G.P.S CO-ORDINATES:  
29°50'38.68"S | 31°0'2.82"E**

DEVELOPMENT PARAMETERS	
<b>SITE AREA :</b>	674.00m <sup>2</sup>
<b>COVERAGE</b>	
PERMITTED (50%)	337.00m <sup>2</sup>
EXISTING COVERAGE	233.00m <sup>2</sup>
PROPOSED COVERAGE	8.00m <sup>2</sup>
COVERAGE ON HAND	104.00m <sup>2</sup>
<b>FLOOR AREA RATIO (FAR)</b>	
PERMITTED (1:2)	888.00m <sup>2</sup>
EXISTING FAR	200.00m <sup>2</sup>
PROPOSED FAR	0.00m <sup>2</sup>
FAR ON HAND	688.00m <sup>2</sup>
<b>HEIGHT RESTRICTION</b>	N/A
<b>SPACE ABOUT BUILDINGS:</b>	
BUILDING LINE	7.5m
SIDE SPACE	3.0m
REAR SPACE	3.0m
<b>***NO ADDITIONAL FLOOR AREA ADDED</b>	

BRICKWORK LEGEND:	
	existing walls/ fittings to be demolished and removed and made good
	new walls
	existing walls

**PROJECT DESCRIPTION**  
PROPOSED BOUNDARY WALL

**Street Address**  
15 CAISTER CRESCENT, MUSGRAVE

**Site Description**  
PORTION 9 OF ERF 2212 OF DURBAN

Number	Rate	Volume	Sub

**Client / Company Name**  
ESSBRO INVESTMENTS (PTY) LTD

**Member** MOHAMED URAAZ ESSA  
**ID No.** 8211075166087  
**Tel.** 0828106037

**Drawing Title**  
LOCAL AUTHORITY SUBMISSION

Project No	Drawing No	Status	Revision
2022-08	001	SP	00

Pre-Preparation	Site Design	SPH Submission Plans

Drawn	Responsible Person	Date	Scale
A.O.	A.O.	28.11.2022	as shown

Checked	Issued	Date	Sheet Size
A.O.	A.O.	22.01.2023	Sheet Size

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