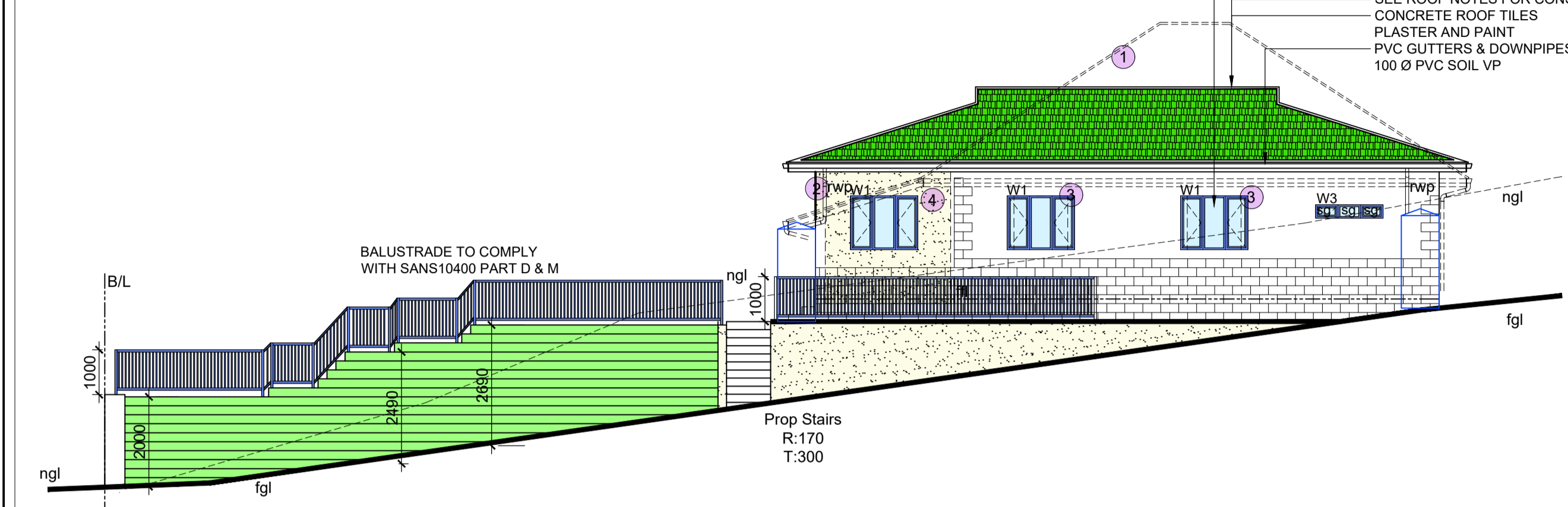
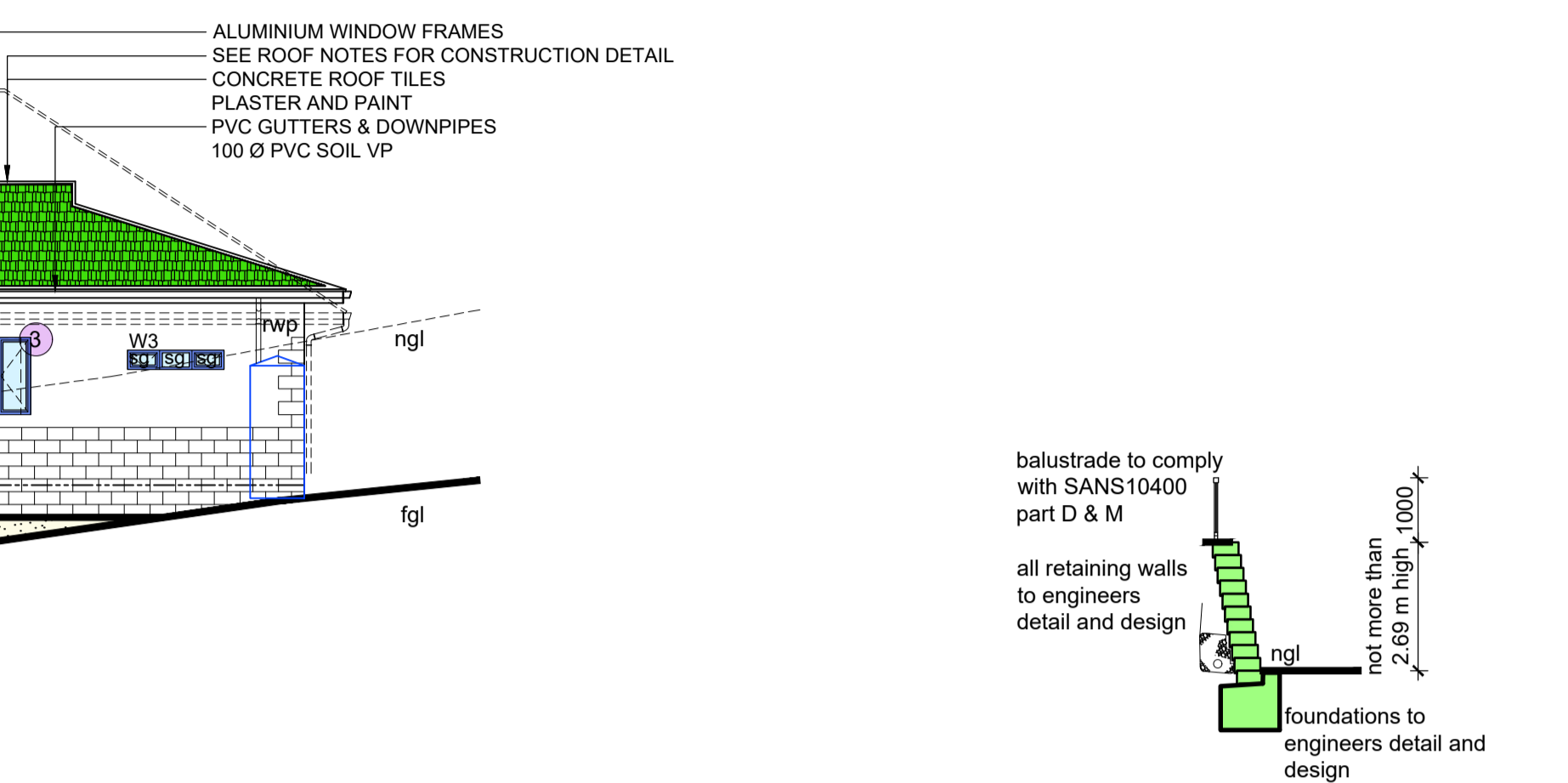


± 2100	1500	1170	1500	900	900	1400
Unfinished floor	W1	W2	W3	D1	D2	D3
Window / Door Number No. Required	9	1	1	1	1	1
Frame	Standard powder coated aluminium window frames	Standard powder coated aluminium window frames	Standard powder coated aluminium window frames	Standard hardwood solid core door - painted	Standard hardwood stable door - painted	Standard powder coated aluminium door
Pane	Glass thickness @ 4mm	Glass thickness @ 4mm - obscure glass	Glass thickness @ 4mm			
U-Value	5.6	5.6	5.6			
SHGC	0.77	0.77	0.77			

- Notes:
- 1) All glass to comply with part n of SANS10400.
 - 2) Safety glass where indicated s.g.
 - 3) All tenders should be AAAMSA members.
 - 4) All details as per AAAMSA guidelines and specs - SANS10137.
 - 5) Supplier to check window & door openings on site prior to manufacture of frames.

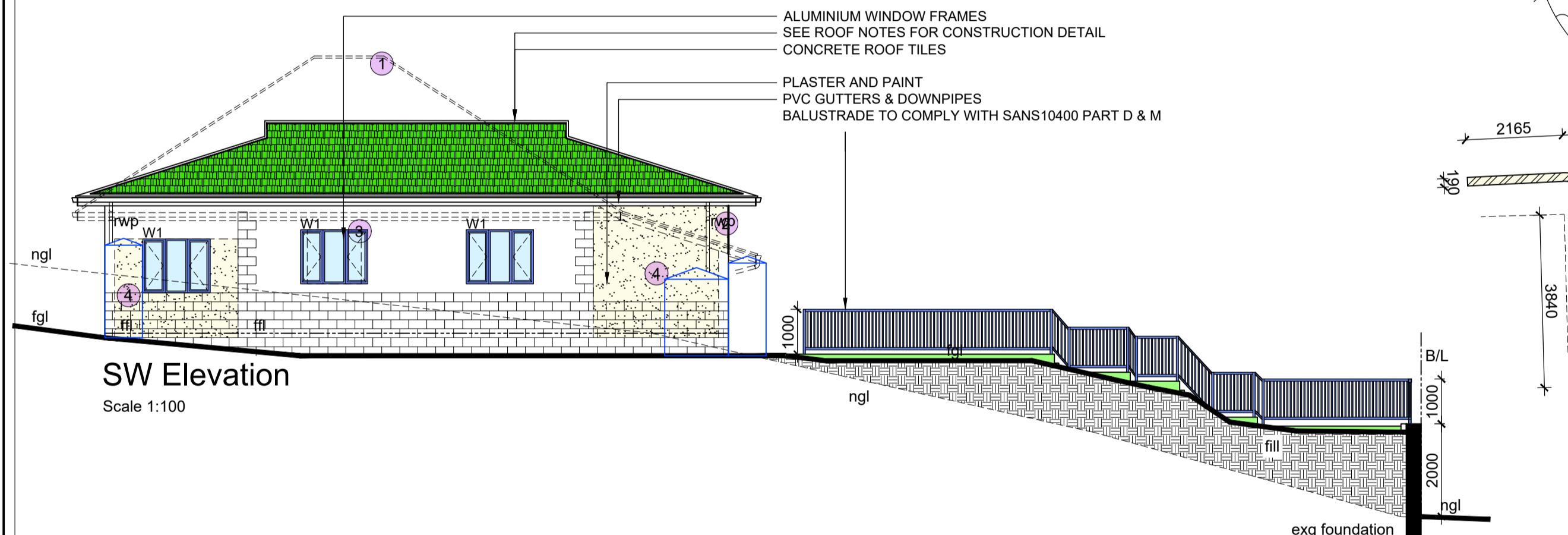
Driveway section

Scale 1:100



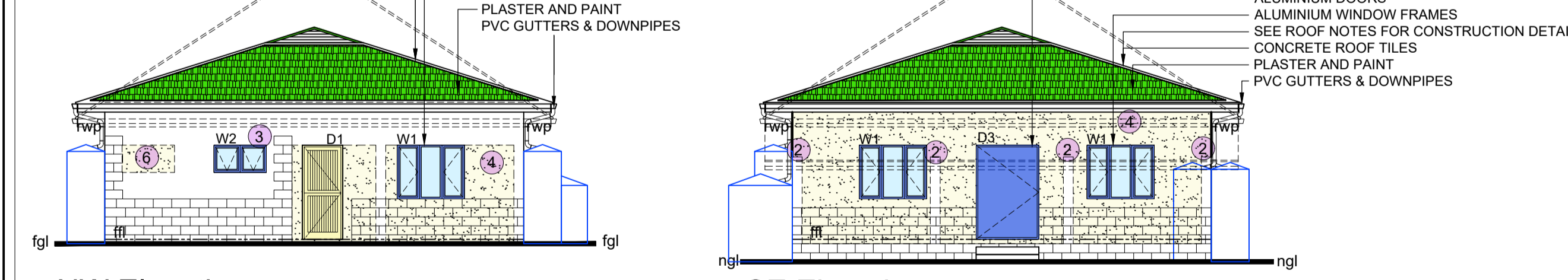
NE Elevation

Scale 1:100



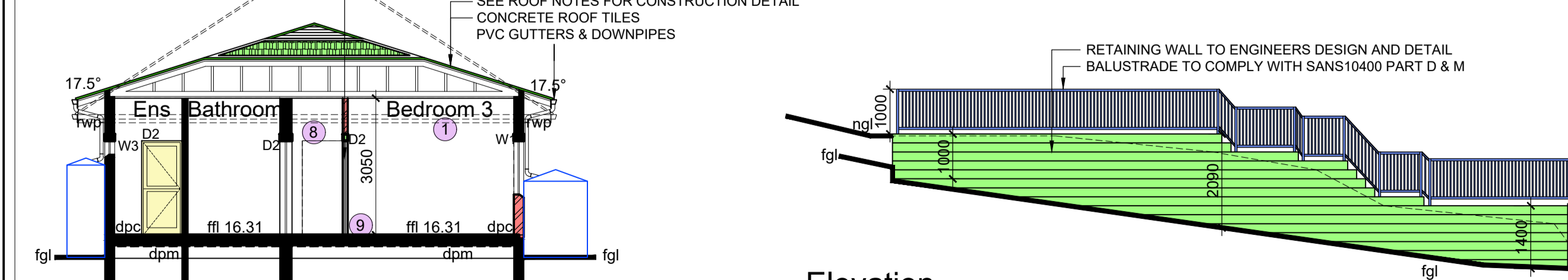
SW Elevation

Scale 1:100



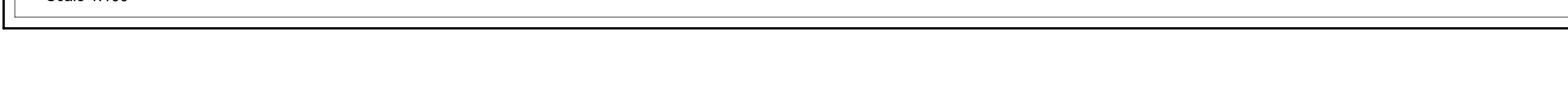
NW Elevation

Scale 1:100



SE Elevation

Scale 1:100



Section A-A

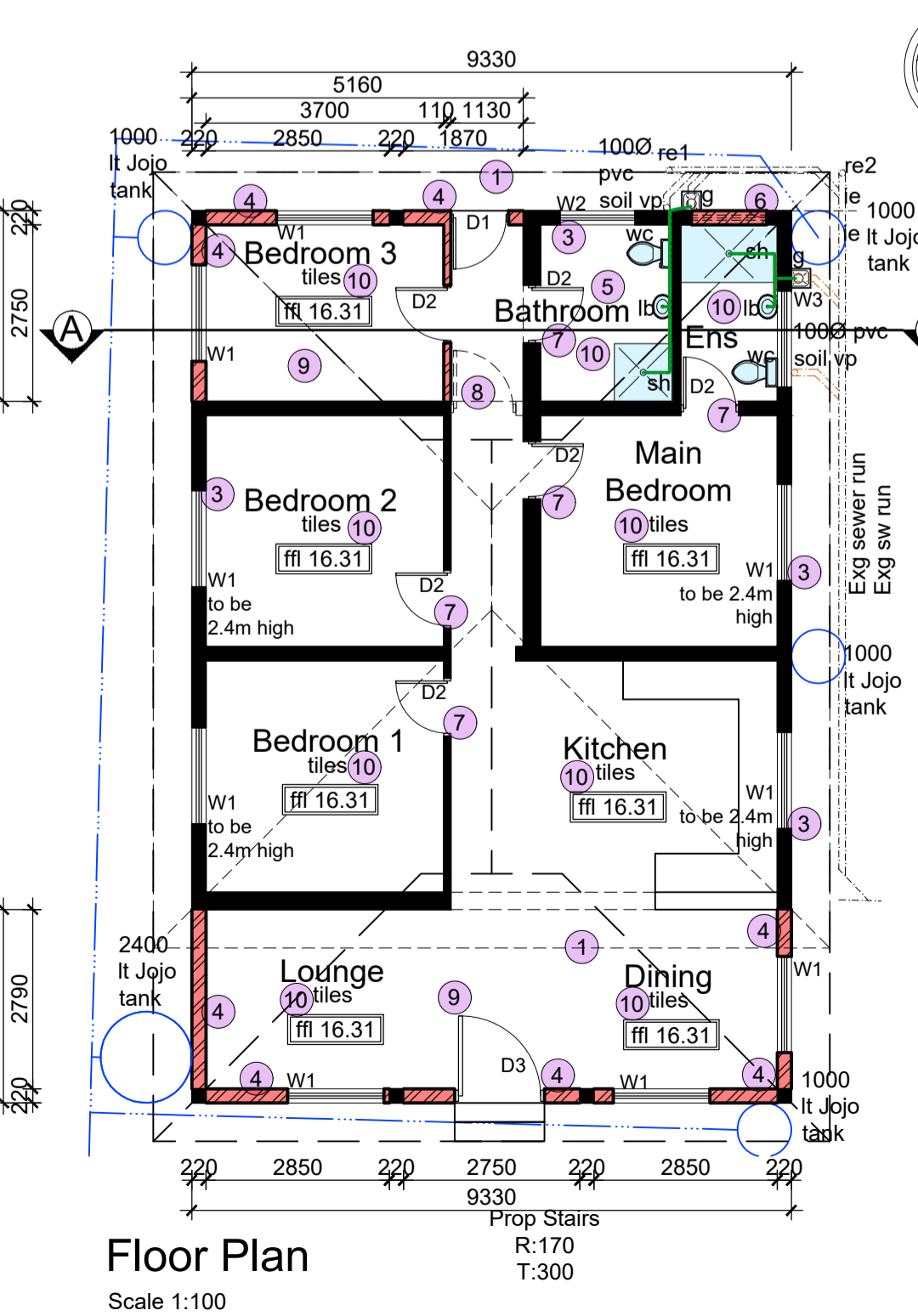
Scale 1:100

Elevation Retaining wall A-C

Scale 1:100

Floor Plan Retaining Wall

Scale 1:100



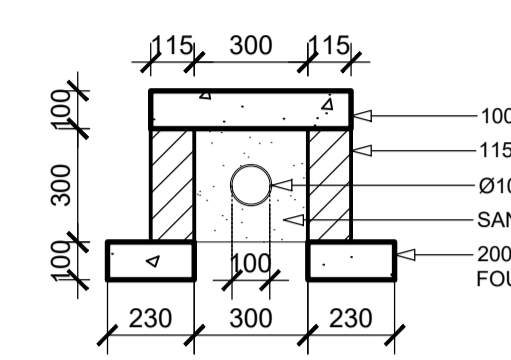
Floor Plan

Scale 1:100

Roof-(Tiles)
Concrete roof tiles on 38x38mm tiling battens on 250 micron pvc underlay on 115x38mm trusses at 690mm max. centers at 17.5° roof pitch on 115x38mm wall plates. Fibre cement Fascias and barge boards. Rain water goods- pvc. Roof loading certificate to be issued on completion.

Walls
All walls to be reinforced with 2 courses "brickforce" at window head and sill levels throughout.
Surface Bed
100mm concrete surface bed reinforced with 1 layer BRC mesh ref. 100 on 250 micron pvc underlay on well compact poision fill in accordance with SANS10400.

Drainage
Encase in concrete beneath all slabs and hardened surfaces and bridge over beneath walls.
General
Corner beacon pegs to be exposed prior to commencement of work. All levels are to be confirmed on site prior to commencement of works. Works should not be implemented prior to full approval from all departments of the local authorities unless written permission to do so is given by local authority. All dimensions and levels to be verified on site. Do not scale drawings. Soil poisoning in accordance with SANS10400. Engineers certificate of stability to be issued on completion.



Sewer bridging detail

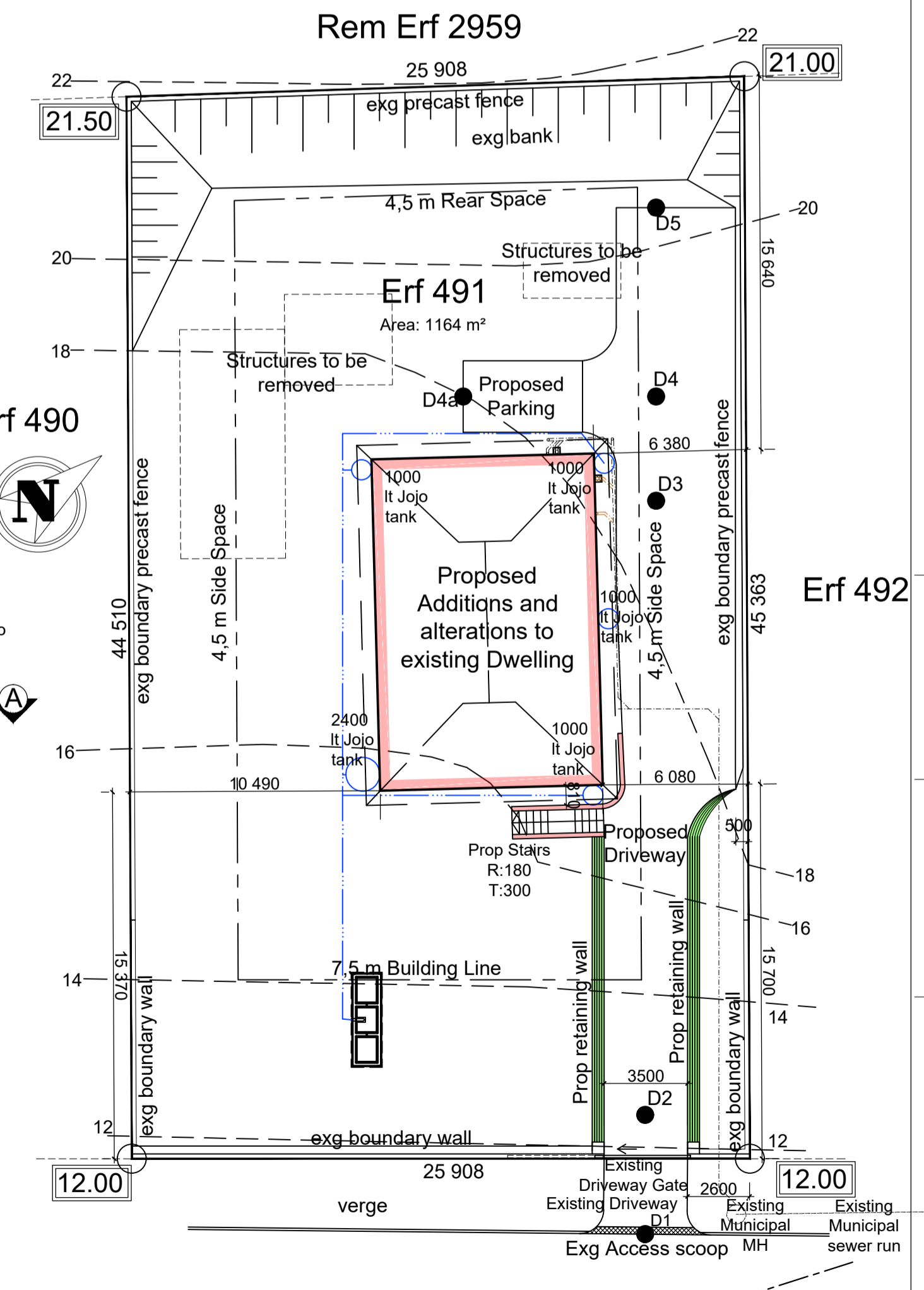
Scale 1:20

Additions and alterations List:

1. Remove asbestos roof and trusses and replace with new concrete roof tiles and trusses
2. Extend existing walls to accommodate new roof design
3. Remove existing wood frame windows and replace with Aluminium frame windows
4. New wall added
5. Bathroom redesigned
6. Remove window and brick up
7. All Doors replaced with new doors
8. Remove existing door and make good
9. Increase slab height to match existing dwelling
10. Wood floors replaced with tiles

Room	Area	Requirements 10%	5%	Allocated
Bedroom 1	13.32	1.33	0.67	1.80
Bedroom 2	13.32	1.33	0.67	1.80
Bedroom 3	10.18	1.02	0.51	3.60
Main bedroom	13.25	1.33	0.66	1.80
Ens	4.13	0.41	0.21	0.45
Bathroom	5.63	0.56	0.28	0.71
Kitchen	18.29	1.83	0.91	1.80
Lounge/Dining	24.80	2.48	1.24	5.40

Area Schedule	Occupancy: H4
Existing F.A.R.	42.78 m ²
Proposed F.A.R.	43.41 m ²
Total F.A.R.	86.19 m ²
Existing Coverage	129.59 m ²
Proposed Coverage	0 m ²
Total Coverage	129.59 m ²
Total Area of New Development	43.41 m ²
Site Area	1164 m ²



Site Plan

Scale 1:200

Beach Road

(Width Varies)

ALL LEVELS & DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT. ANY DISCREPANCIES TO BE REPORTED TO ARCHITECTURAL CONCEPTS

VERY IMPORTANT PLEASE READ
 Council approved drawings must be strictly adhered to.
 Any deviations must be approved by architect / council prior to implementation.
 Sans 10400 is now mandatory.
 Council may fine if deviations are made without their approval.

Title: Working Drawing
 Client: Malcap Properties Pty (Ltd)
 Client Signature:

Project: Proposed Alterations and Additions to Exg Dwelling
 Site: Erf 491
 64 Beach Road
 Amanzimtoti
 Scale: As-Shown Date: July '22

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