

2 EPSOM ROAD

1.1. Property

Owner of property	eThekwini Municipality allocated to ROYAL STOCK (SHI) for Social Housing
Name of property	St John Hall
Title deed number	n/a
Cadastral description	ERF 3405 & 3406
Street ADDRESS	2 Epsom Road Durban
GPS Co- ordinates	S 29°50'59.9424" E 31°1'6.6468"
Local municipality	eThekwini Municipality
District municipality	eThekwini Municipality
Current zoning	General Business (Central)
Present use	Illegally hijacked and derelict
Original date of construction	1931

The property is bound by Epsom , Ingcuve Roads and First Avenue and an unnamed laneway, in central Durban. The building is listed on the new Heritage Register, no 464 as unconfirmed (NHRA Grade 11) . The building is over 60 years old and falls under that legislative clause.

MOTIVATION St John's Hall @ Epsom

"Architecture-housing for all" is not just a tagline; it is a duty, a demand, and a commitment." Thomas Vonier, UIA President.

On a global scale, "Architecture, Housing for all" is a main axis of the 2019 New Urban Agenda of the current UN Sustainable Development Goals.

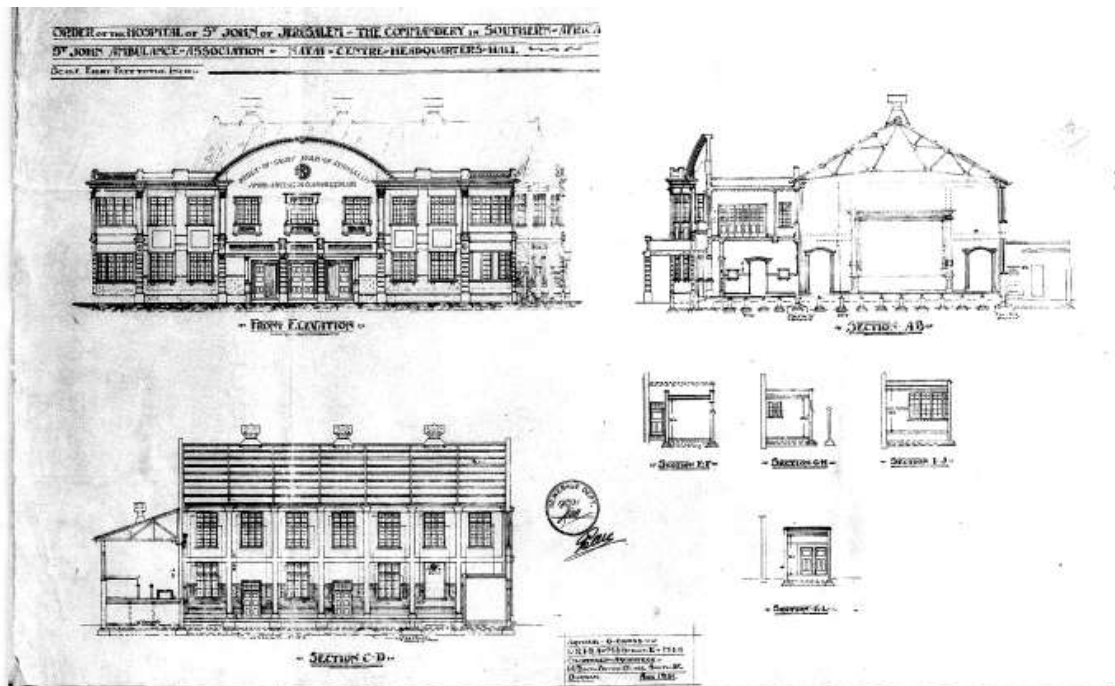
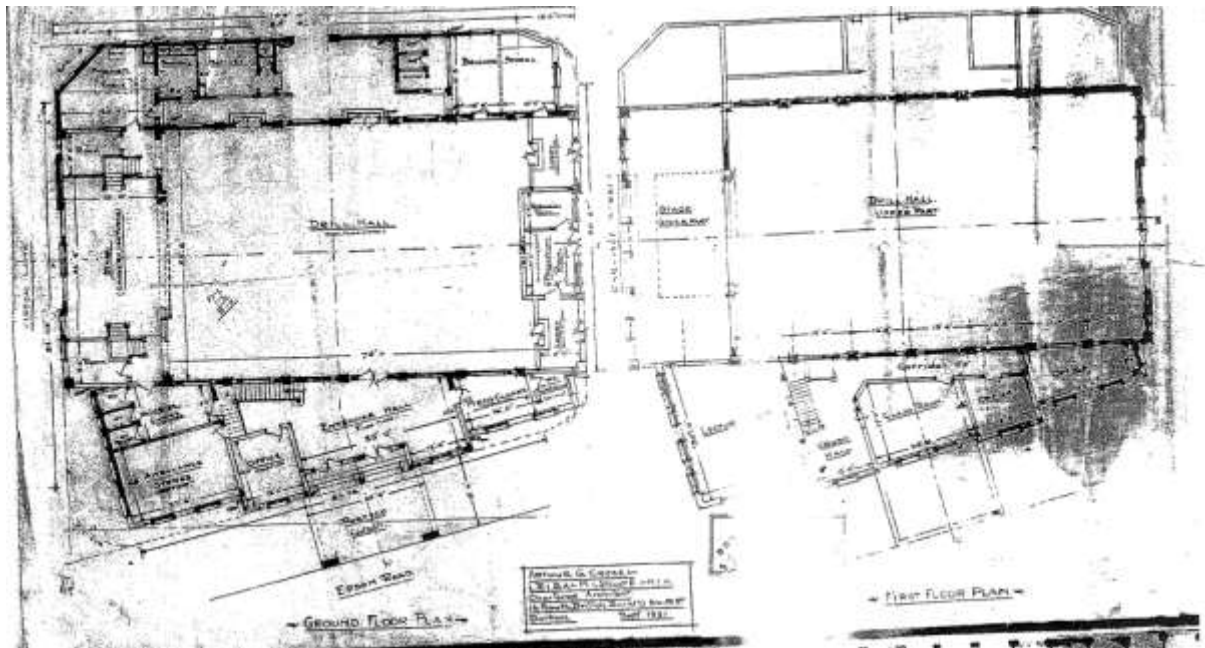
On a national/political scale, the spatial transformation of South African cities has hardly manifested under the new democratic government. Under Apartheid the poor were largely confined to the periphery of South African cities. They spend up to 40% of their wages on transport costs to work in the cities apart from wasting about two hours daily! This proposal by EThekwini plans to reverse this positively. Not only will families have more time together in a secure environment but it is proposed to have a preschool on site as well to reunite families. This will also release young mothers onto the job market. There are abundant work opportunities around the site, e.g. three private hospitals with a variety of public transport opportunities, apart from walking into the nearby CBD.

Economically it makes sense to develop a small 2265 sq.m. site to house about 250 families. Since these families have to be formally employed for tenure one can assume that they could be housed in a formal township and not in an informal area. In this case to house the same number would require 10ha of land compared to this proposal. It is therefore over forty times more efficient! More importantly, the road and all services already exist.

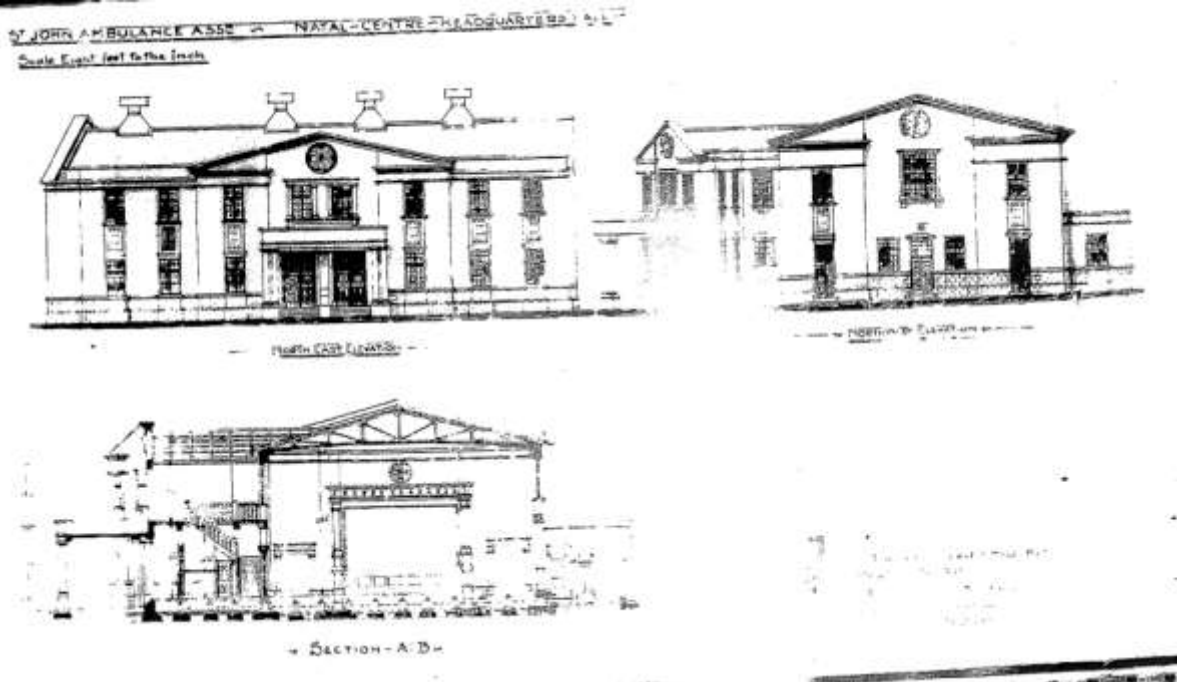
Finally, EThekwini Municipality's commitment to developing a "caring and liveable city" is the focal point of the 2019/20 IDP Review, with a specific emphasis on the alignment of the Municipal Vision, strategy and implementation. The focus of the five 2017/18– 2021/22 IDP is on building a more inclusive developmental local government that would translate the Municipality's vision into action. This proposal is put forward to achieve this.

Rodney Harber Pr. Arch Pr. Pln Oct.2019

1.2. Original plans Architect Arthur J Cross



1.3. Original plans Architect Arthur J Cross cont.



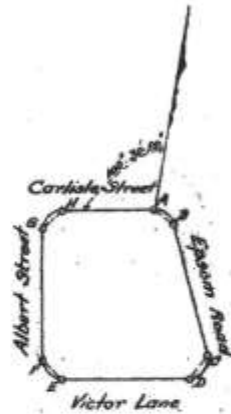
STATES "A ~~THREE~~ TWO STORED UNION PERIOD INSTITUTIONAL BUILDING IN A CLASSICAL IDIOM WITH BROKEN PEDIMENTS, PORTICO AND ART DECO LINEAR PATTERNS, ISLAND SITE, ... ALL OF THESE FEATURES WILL BE PRESERVED

1.2.1. Description of the building typology Exert from AMAFA submission 2019 /20



Ex. of D.

17 JAN. 1928



SIDES		ANGLES	
A.B	15.85 Arc	A	142.10.20
-	14.72 Chd	B	142.10.20
-	12.00 Rad	C	127.43.40
B.C	87.74	D	127.43.40
C.D	21.85 Arc	E	155.0.0
-	18.96 Chd	F	155.0.0
-	12.00 Rad	G	155.0.0
D.E	52.49	H	155.0.0
E.F	13.85 Arc		
-	16.97 Chd		
-	12.00 Rad		
F.G	85.00		
G.H	18.85 Arc		
-	16.97 Chd		
-	12.00 Rad		
H.A	60.65		

Now LOT 3405 DURBAN

37.94?



The above Diagram lettered A Curve B Curve D E Curve F G Curve H represents Acres Road 37.94 Perches of land known as

Lot 55 Block AI

Reg. Div. FU

situates on the Town Lands of the Borough of Durban, Province of Natal. Bounded as indicated above.

Surveyed by me, Now 541

S

[Signature]
Government Land Surveyor.

32043

V. 100. 13351/1939
K 73.

October, 1927.

PLAN OF A
 SECTION 24 (b), Act No. 8 of 1927

S.G. No 2058 / 1938

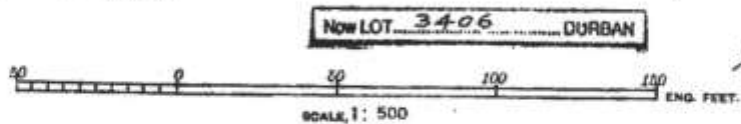
LINE	LENGTH IN FEET	ANGLE	ANGLE
AB	14.72	A	142.10.20
BC	61.55	B	142.10.20
CD	47.39	C	127.49.40
DE	74.29	D	127.49.40
EF	42.43	E	135.00.00
FG	67.00	F	135.00.00
GH	16.97	G	135.00.00
HA	93.74	H	135.00.00
RAD			
AB	12.00		
CD	30.00		
EF	30.00		
GH	12.00		

Approved
J. B. Pradbury
 Surveyor General.
 26 AUG 1938

Reg. Div.
 FU



Description of Beacons:
 A.D. & E. } = 1" Iron Pipes
 F.G. & H. }
 C.D. } = 2" Iron Pipes



The figure A.CURVE B.C.CURVE D E.CURVE F.G CURVE H.
 represents 13480 Square Feet of land being
 LOT 56 BLOCK AI OF THE TOWN LANDS OF DURBAN NO. 1737
 situate in the City of Durban, Province of Natal.

Surveyed in AUGUST 1931 by me *J. B. Pradbury*
 Land Surveyor.

This diagram relates to Transfer No. 133/1933 dated 16 Jan 1939 (3rd) R.S. Vos Registrar of Deeds.	Original diagram relates to Deed of Grant No. 1737 dated 27th July, 1855 Plan D13	File No. 131/15 Survey Records 444 1938 Tracing Degree Sheet Compilation
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