

FIRST FLOOR PLAN
scale 1:100

LIGHTING & VENTILATION
Air ventilation and open windows to be provided to the extent of 5% of floor area in accordance with National Building Regulations.
Clear 4mm & 3mm glazing to all windows to be provided for the extent of 10% of floor area in accordance with NBR.
Air conditioning system to comply with T143 of SABS 0400.

WALLS:
-All mortar joints to be 75mm
-All lintels to be provided at windows and doors openings etc.
-Brick force to be provided on each on every 3rd course to external walls
-All windows to be Aluminium with openings as indicated on this plan
-All glazing to comply with SABS 01317 and NBR regulations
-All internal door frames to be miranda for 140mm walls
-All external doors to be Aluminium for 230mm walls.

GENERAL SPECIFICATION:
FLOORS AND CONCRETE:
Termite poison treatment to ground under 25mm sand levels under surface beds. 100mm concrete surface bed on 250 micron Damp Proof Membrane on 25mm sand level on approved filling and compacted surface. 75mm concrete slab-3 parts course aggregate(20-25mm), 3 parts fine aggregate and 1 part Portland cement. (to comply with SABS 471). To achieve 20MPa after 28 days. 25mm screed, steel trowel led composed of 3 parts sieved Umgeni sand and 1 part cement.

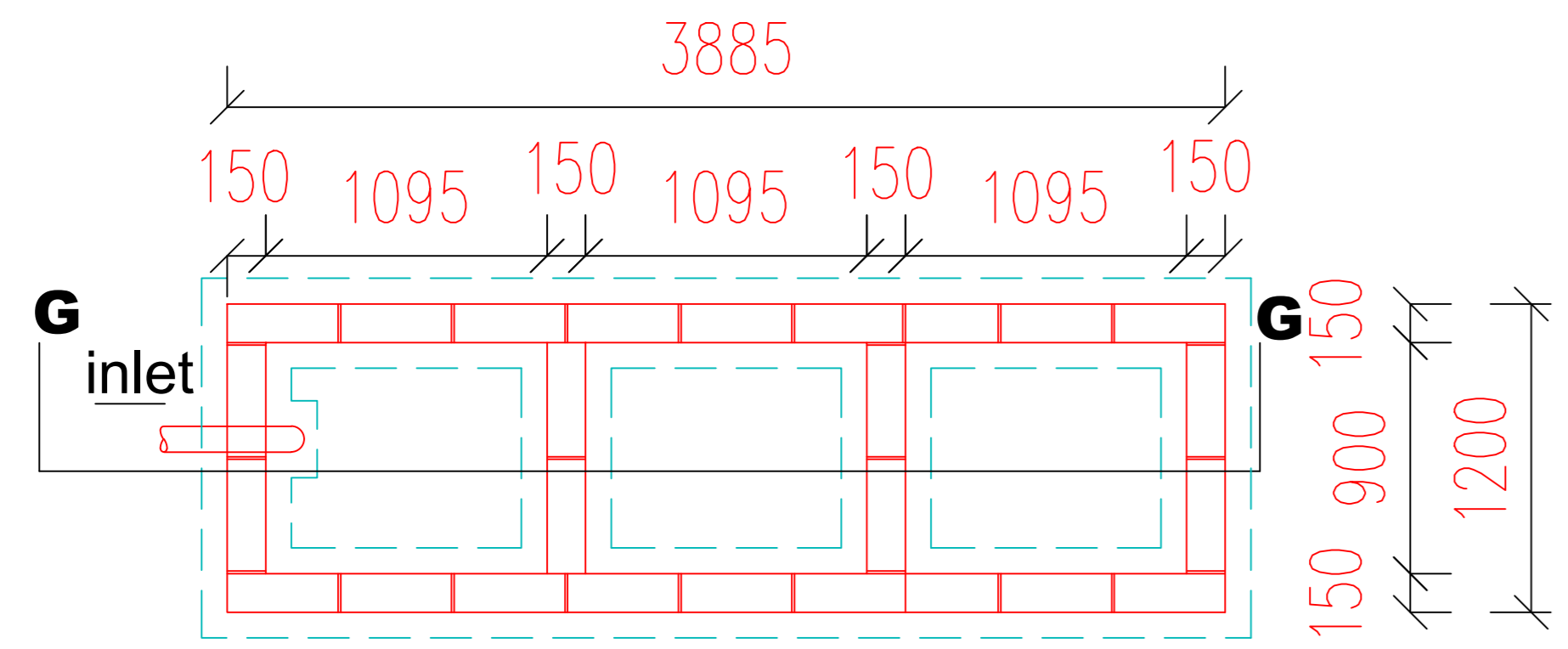
Plumbers notes
Min fall to drains to be 1:40
Min cover to drains to be 450mm
Provide gully blocks to ends of drain falls exceeding 1:5
All drain pipes and fittings to be SABS approved
All waste pipes to be 50p pvc
Provide R/S to ends of runs and bends as per drawing.
All stormwater to be channelled to exist, soakpit or as per details on drawing.
Any drain passing under or adjacent to a building shall not impair the structural stability of the building.
Installation of the drains must satisfy Part PP24 of SABS 0400 1990.
*Plumbing contractor to check invert level of connection prior to commencing, to ensure a reasonable fall.
*Electrical contractor to check existing supply and carry out work in accordance with municipal bylaws.
*Registered contractor to supervise.
*Any discrepancies on drawing to be clarified with the draught person to avoid any complications on site.

FLOORS: CONCRETE SURFACE BEDS TO ENGINEERS DETAILS APPROVED DPM AND SOULFOSSON TO BE USED.
WALLS: 230 PLASTER AND PVA - EXTERNALLY
140 PLASTER AND PVA - INTERNALLY
WIND: BRONZE ANODISED ALUMINIUM WINDOW TO WINDOW SCHEDULE
DOORS: REFER TO DOOR SCHEDULES
***S, G = SAFETY GLAZING TO COMPLY WITH NBR.
ROOFS: IFR SHEETINGS AT 18° ROOF PITCH
IBR SHEETINGS AT 10° FOR LOWER ROOF PITCH
ALL FLASHING AND WATERPROOFING TO COMPLY WITH NBR

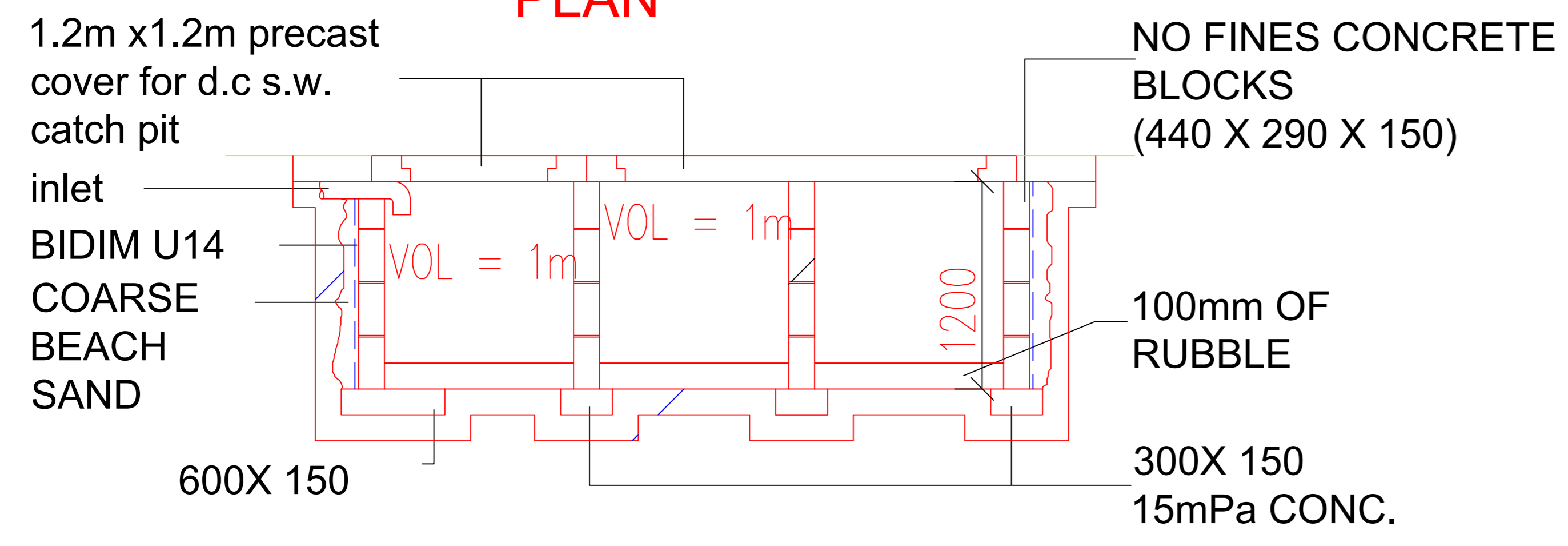
Builders Notes
All Foundations to be min 650x200 unless otherwise noted
25mm screed on 75mm 15 Mpa conc. & mesh slab on pvc membrane on compacted hardcore backfill
Dpc under all windows, cills & doors
Glazing to comply with part N of SABS 0400 1990 NBR
All work to comply with NBR SABS 0400 of 1990 & to local authorities bylaws
Soil passing to SABS 0124 & 0400 1990 part F

ENGINEER'S NOTES

- DESIGNS, CONSTRUCTION AND PROJECT INSPECTION**
1. Reinforced concrete slabs
 2. Reinforced Concrete Column
 3. Reinforced conc. Staircases
 3. Reinforced conc. Beams

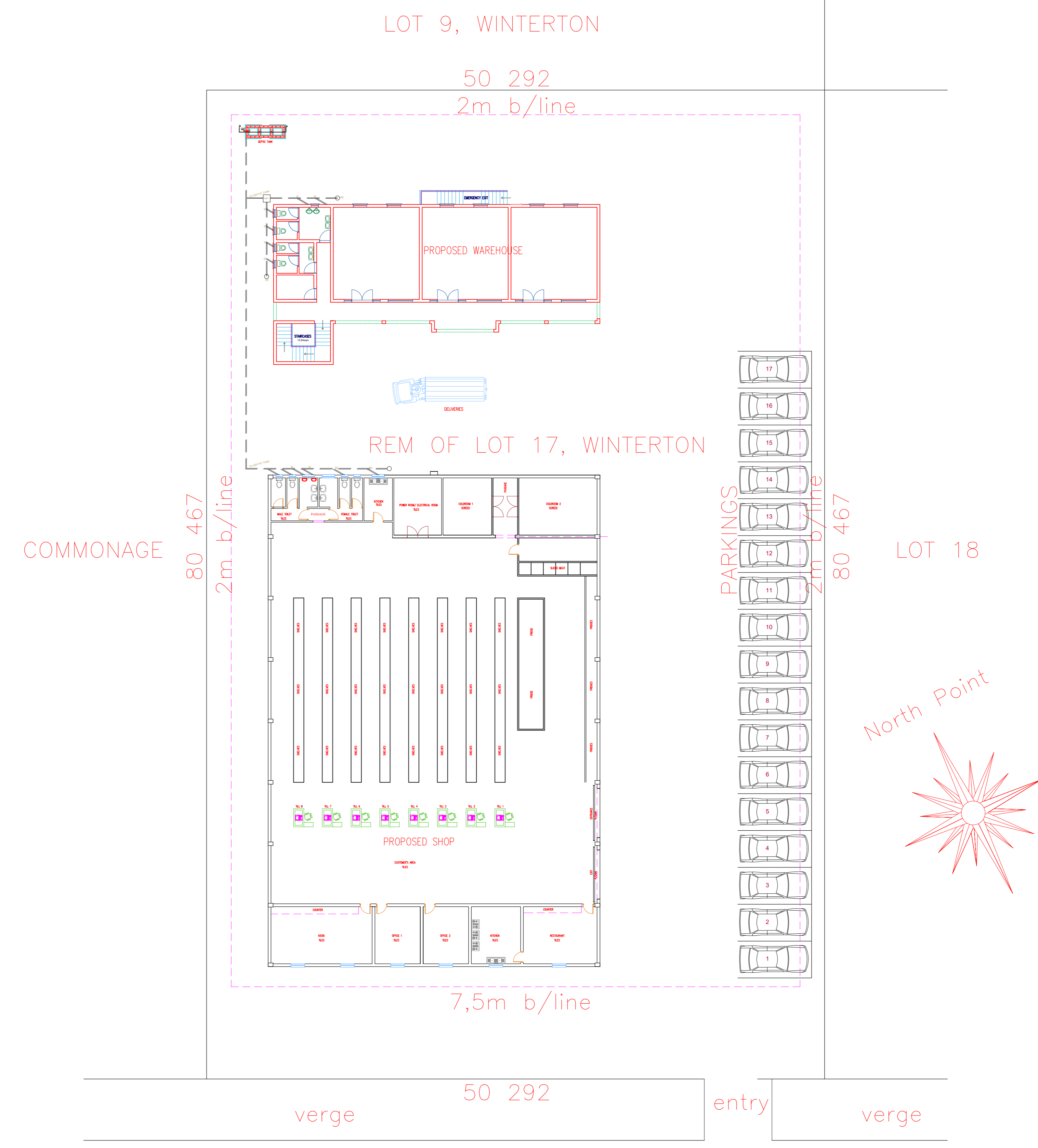


PLAN



SECTION G-G

3m SOAKWAY DETAIL DIAGRAMATIC



SITE PLAN
scale 1:500

Approval stamp

GENERAL NOTES
*Drawing not to be scaled
*All work to be in accordance with National Building Regulations.
*All dimensions to be checked on site.
*All electrical and drainage shown is diagrammatic
*50p Waste pipes to pierce outer wall just above floor level & to discharge into gully where applicable.
*4mm Obscure glass to bathroom, 3mm Clear float glass to all other windows.
*Plumbing contractor to check invert level of connection prior to commencing, to ensure a reasonable fall.
*Electrical contractor to check existing supply and carry out work in accordance with municipal bylaws.
*Registered contractor to supervise.
*Any discrepancies on drawing to be clarified with the draught person to avoid any complications on site.

ELECTRICAL LEGENDS

Lightswitch (standard height to apply)
Ceiling mounted light point
Wall light point
Fluorescent light
TSA Socket (standard heights applicable)
Stove oven & cooker unit Isolator
Distribution board with 20% spare space & 19 mm² overhead into ceiling
Meter box
Geyser

FIRE

FHR	30m fire hose reel
FE	fire extinguisher

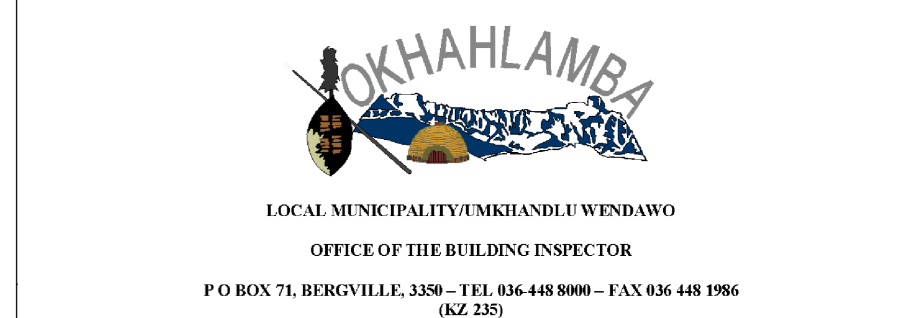
SCHEDULE OF AREA

Site area	2181m²
Proposed shop	1080,00m²
Proposed warehouse ground floor	277,27m²
Proposed warehouse first floor	277,27m²
Total area	1634,54m²
F.A.R.	0,75
Total coverage	75m²

NEW PROPOSED SHOP & WAREHOUSE TO BE BUILT ON REMAINDER OF ERF 17, WINTERTON FOR THE I & S GHADIA FAMILY TRUST.

CLIENT
THE I. & S. GHADIA FAMILY TRUST

CELL	082 616 5429 / 060 636 7302
ADDRESS	1 MIMOSA CRESCENT ESTCOURT 3310
DATE	31 AUGUST 2023
SIGNATURE	
EMAIL	



Project:	Rem of erf 17, Winterton	Drawing:	Floor plan	Sheet:	4 of 4
Date:	31/08/2023	Site plan:	Septic tank	Drawn by:	Bylase N.R
Scale:	as shown			Drawn by:	Bylase N.R
				Signature:	