



10 Beckenham Pl

SHEET 1/1 COPY 1/2

**ETHEKWINI MUNICIPALITY**  
CENTRAL  
450 10 06

Plan No. 5658/106

APPROVED in terms of The National Building Regulations and Building Standards Act Number 103 of 1977

29 NOV 2006

Local Authority

This Plan is approved on the basis of the information shown hereon. Approval is given in limited circumstances.

**SITE INSPECTION IN ORDER**

D. B. I. *R. Braum*

S. B. I. *Braun*

DATE 26/10/2006

**ELECTRICITY SERVICES**

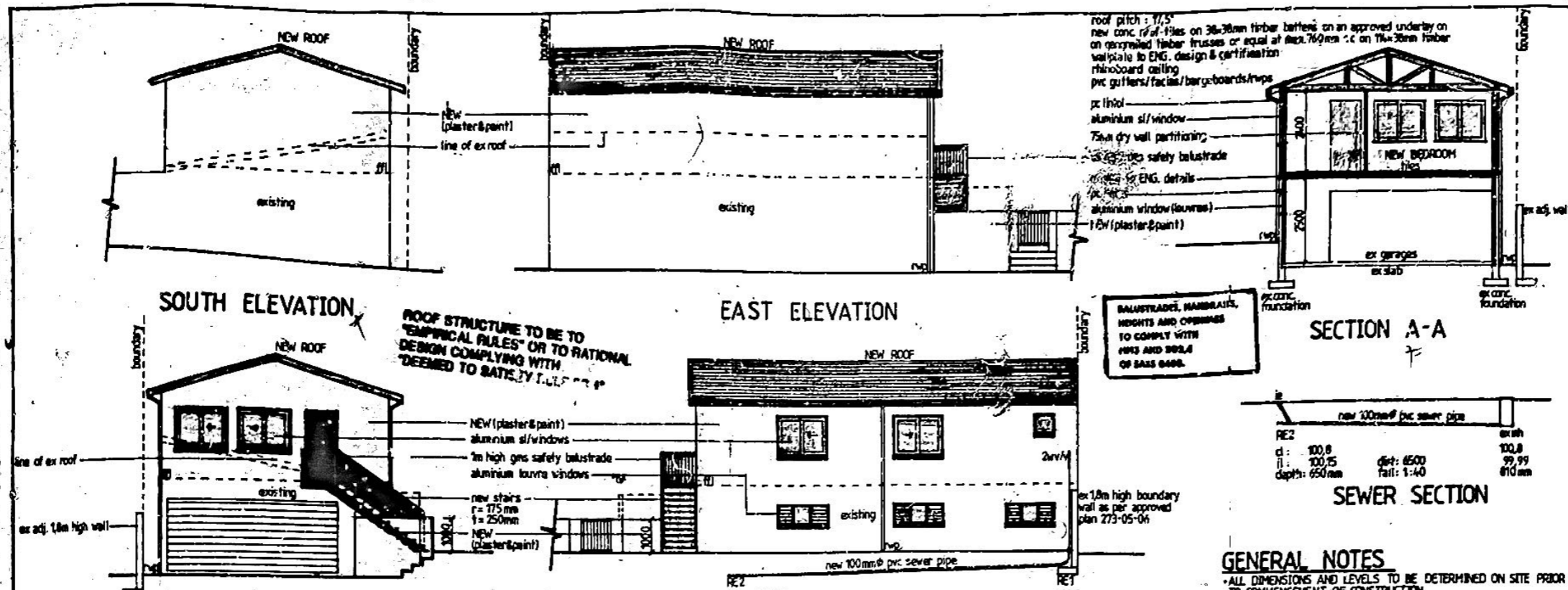
Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Metro Electricity:

- The location of any electrical services and services in the vicinity of the proposed works.
- DME requirements regarding Substation, Meter room, and Cable ducts.

**ELECTRICITY SERVICES**

Any person undertaking erection of a structure/sign in accordance with this plan is to ensure that:

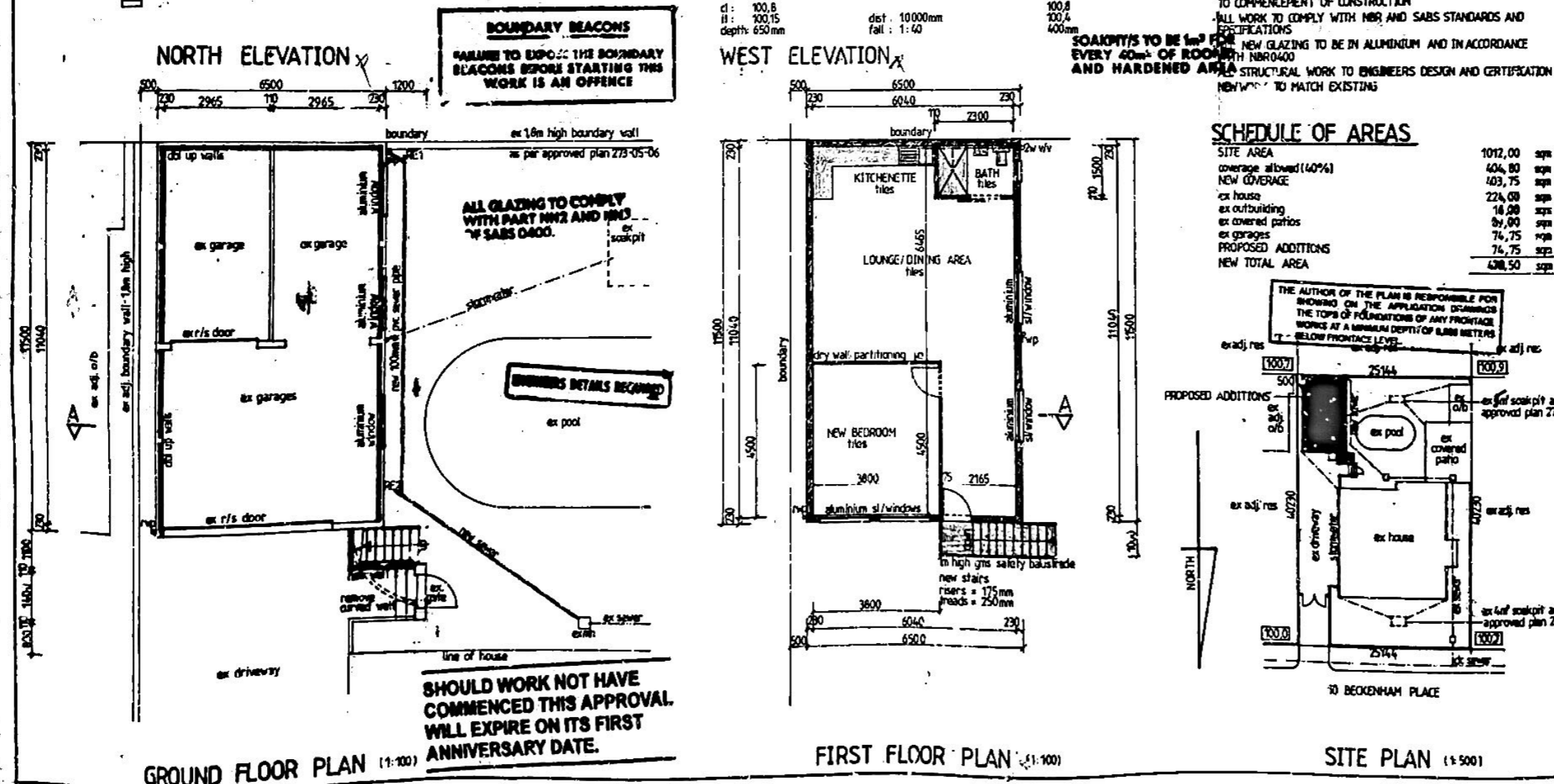
- The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142-1997, as amended, and the Occupational Health and Safety Act 85/1993
- A certificate of Compliance and Application for Permission to Connect is lodged with DME prior to electrical connection to the supply source
- Adequate earthing to the satisfaction of the Director. Transmission, DME is provided.



**SCHEDULE OF AREAS**

SITE AREA	1012.00	sqm
coverage allowed (40%)	404.80	sqm
NEW COVERAGE	403.75	sqm
ex house	224.08	sqm
ex outbuilding	14.08	sqm
ex covered patios	37.00	sqm
ex garages	74.75	sqm
PROPOSED ADDITIONS	74.75	sqm
NEW TOTAL AREA	498.50	sqm

ADDITIONAL AREA 74.75 sqm



OWNER'S SIGNATURE *T. McDonald* CONTACT NO. 5438057

RATE NO. 8729 4020 1000

**PROPOSED ADDITIONS AND ALTERATIONS TO GARAGES AND NEW ANCILLARY UNIT FOR MR. T. McDONALD AT 10 BECKENHAM PLACE ON 568 OF 958 OF DURBAN NORTH**

**Graham P. Braum**  
R. S. Arch. T.  
ARCHITECTURAL DESIGNER  
REG. NO. 57 007

360 UMBILO ROAD DURBAN TEL 205442

SCALE 1:100 / 1:500  
DESIGNED G. P. BRAUM  
DRAWN M. R. AZMUTH  
DATE OCTOBER 2006

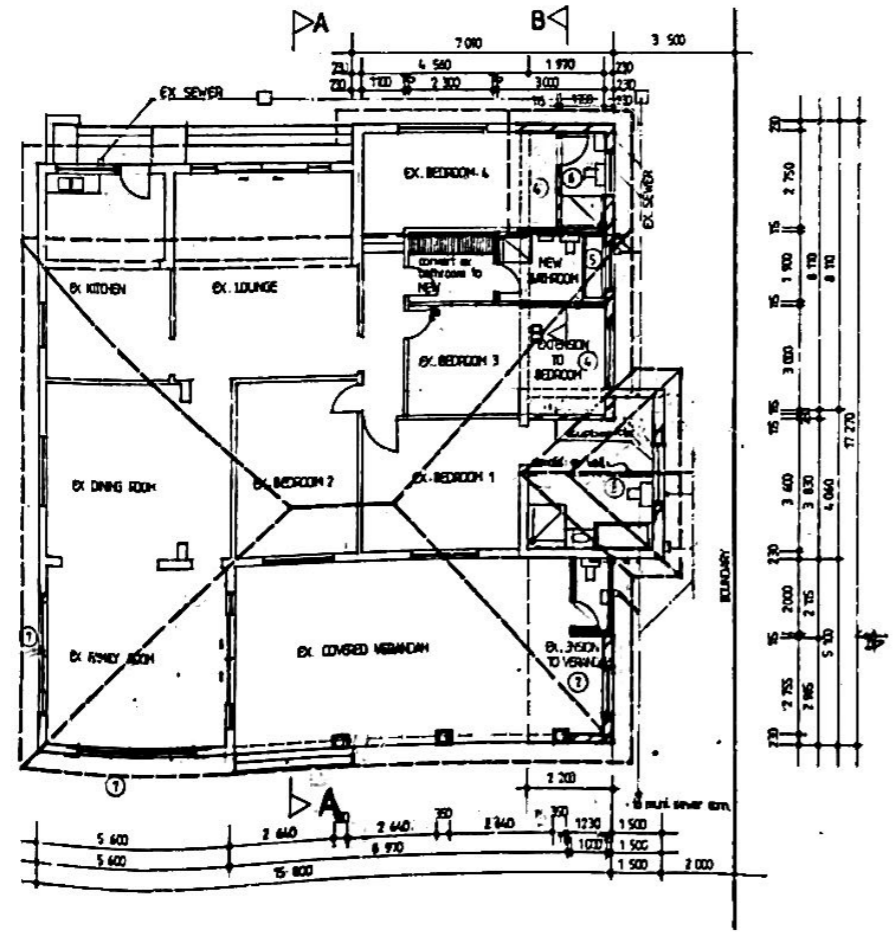
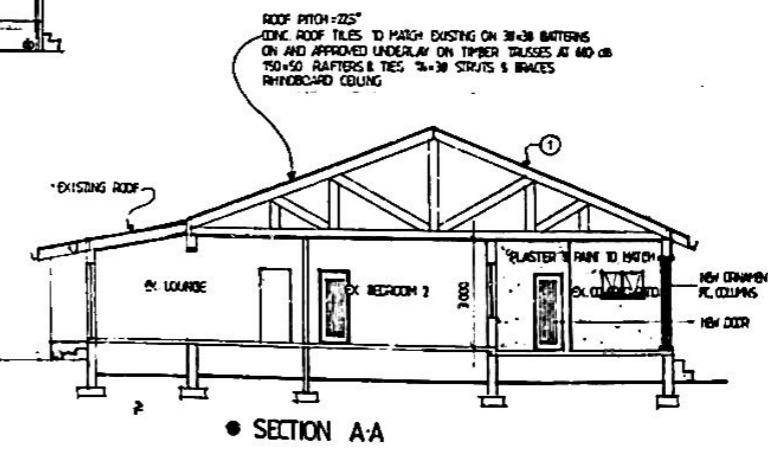
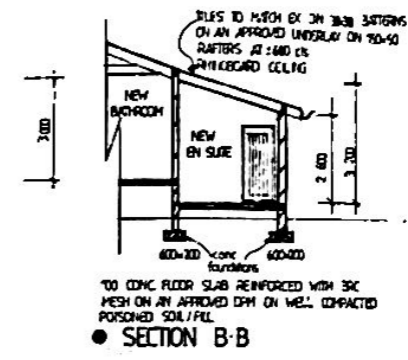
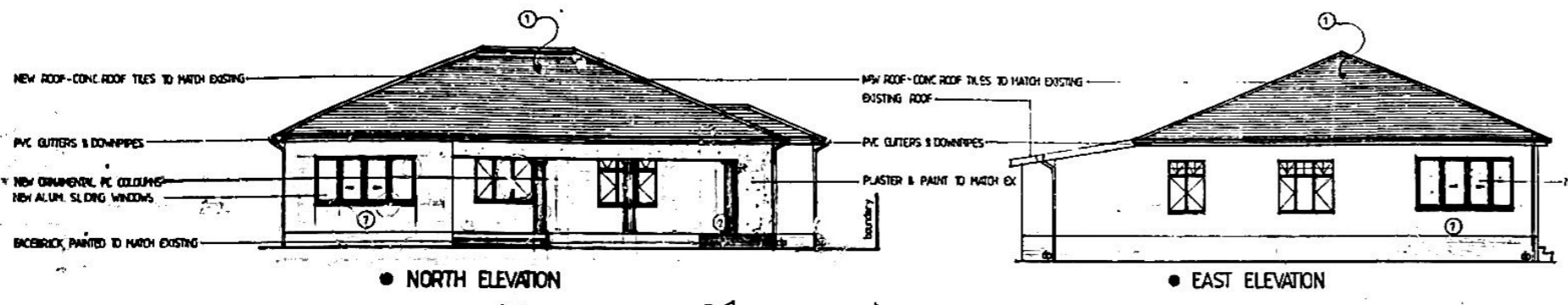
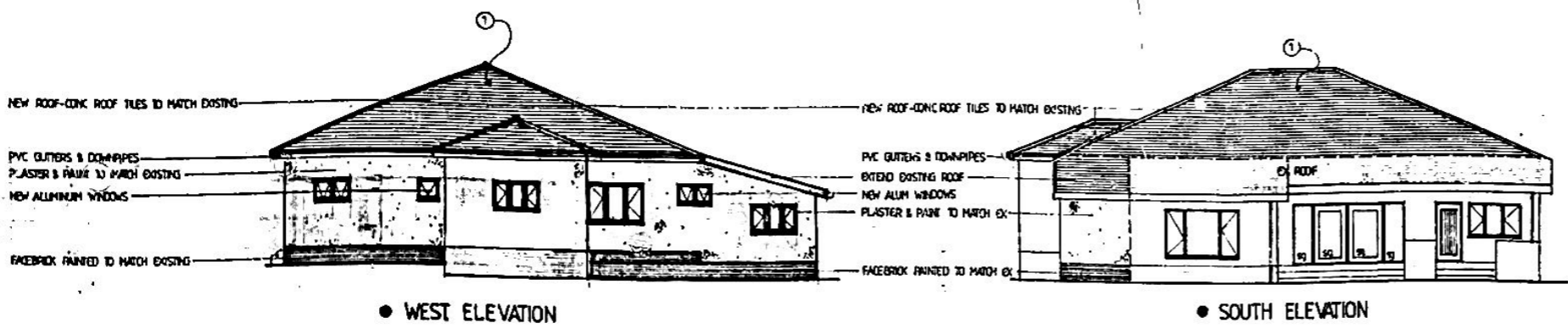
Drawing No: 5658 / 06



SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

ALL GLAZING TO COMPLY WITH PART FIVE AND FIVE OF SABS 9408.

ROOFS TO BE IN ACCORDANCE WITH PART FOUR AND FIVE OF SABS 9408.



**LIST OF DEVIATIONS**

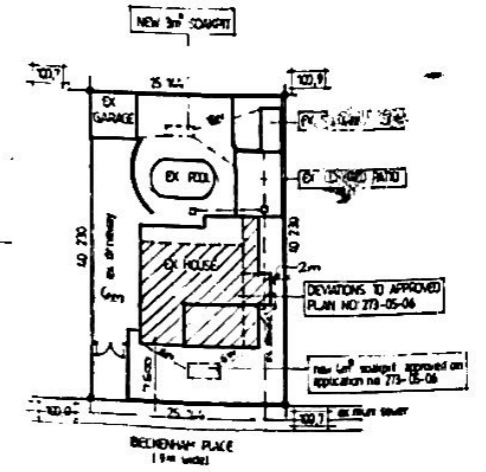
- 1 RE-DESIGN ROOF
- 2 EXTEND FRONT VERANDAH
- 3 RE-DESIGN EN SUITE
- 4 EXTEND BEDROOMS 3-4
- 5 RE POSITION BATHROOM
- 6 NEW EN SUITE TO BEDROOM 4
- 7 WINDOWS ON NORTH & EAST ELEVATION CHANGED

**GENERAL NOTES**

- ALL LEVELS AND DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK
- FIGURED DIMENSIONS TO BE READ AND NOT SCALED
- ALL NEW WORK TO MATCH EXISTING
- ALL WORK TO COMPLY WITH NATIONAL BUILDING REGULATIONS
- ALL NEW FITTINGS CONNECTED TO EX. SEWER (WHEREVER)

**SCHEDULE OF AREAS**

• SITE AREA	107,00 m <sup>2</sup>
• EX. HOUSE	108,70 m <sup>2</sup>
• EX. GARAGE	39,00 m <sup>2</sup>
• EX. COVERED PATIOS	89,51 m <sup>2</sup>
• EX. SERVANTS ROOM	18,73 m <sup>2</sup>
• TOTAL EXISTING	355,94 m <sup>2</sup>
• PROPOSED ADDITIONS	28,08 m <sup>2</sup>



**ELECTRICAL SERVICES**  
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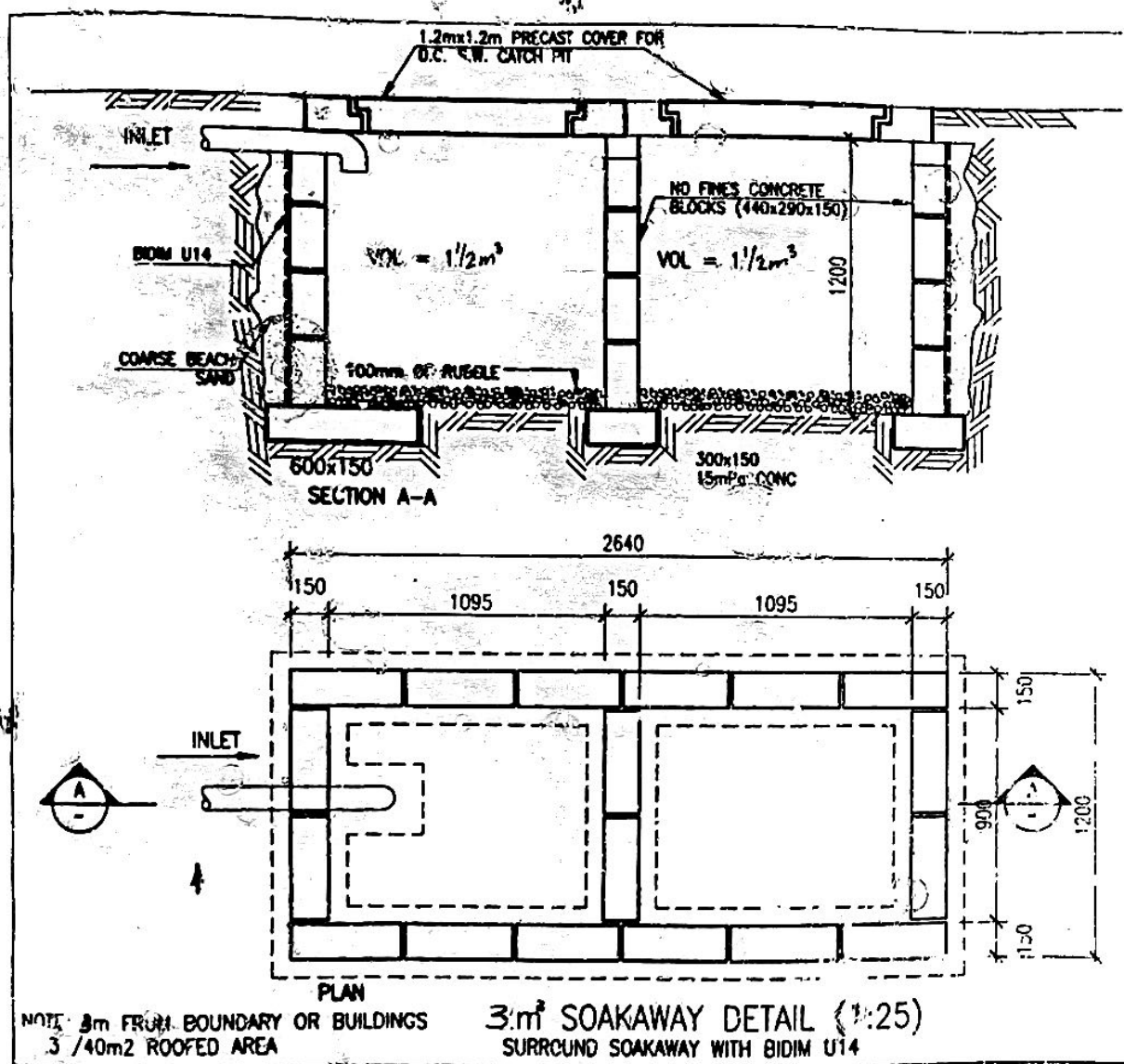
**ELECTRICITY SERVICES**  
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ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO NATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE 9408"

ADDITIONAL AREA = 28,08 m<sup>2</sup>  
**DEVIATIONS TO APPROVED PLAN NO: 273-05-06 FOR MR. T. McDONALD AT 10 BECKENHAM PLACE ON 56 OF 958 OF DURBAN NORTH**  
 RATE NUMBER: 040424000  
 OWNER'S SIGNATURE: T. McDonald  
 OWNER'S TELEPHONE: 5638057

**GRAHAM P. BRAUM**  
 ARCHITECTURAL DESIGNER  
 REG. NO. 51070  
 Pr S. Arch T  
 360 UMBILO ROAD  
 DURBAN  
 4001  
 TELEPHONE NO 256482  
 SCALE: 1:100 1:500  
 DESIGNER: G.P. BRAUM  
 DRAWN: B. BRAUM  
 DATE: SEPTEMBER 2008  
**DRAWING NO: 5643/06**

SHEET 1/2 2  
 ETHEKVA MUNICIPALITY  
 CENTRAL  
 Plan No: 350 09 06



ADDITIONAL AREA = 2129 sqm

*G.P. Braum*  
 ARCHITECT'S SIGNATURE 5638057  
 TELEPHONE NO:

DEVIATIONS TO APPROVED  
 PLAN NO: 273-05-06  
 FOR MR. T. Mc DONALD  
 AT 10 BECKENHAM PLACE  
 ON 56 OF 958 OF DURBAN  
 NORTH

RATE NUMBER: 08/0929 4020/000

**GRAHAM P BRAUM**  
 ARCHITECTURAL DESIGNER  
 Pr. S. Arch T  
 REG NO: ST0010

360 UMBILO ROAD  
 DURBAN  
 4001 TELEPHONE: 205 4142

SCALE: 1:25  
 DESIGN: G.P. BRAUM  
 DRAW: G.M. BRAUM  
 DATE: SEPTEMBER 2006

DRAWING NO: 5643/06