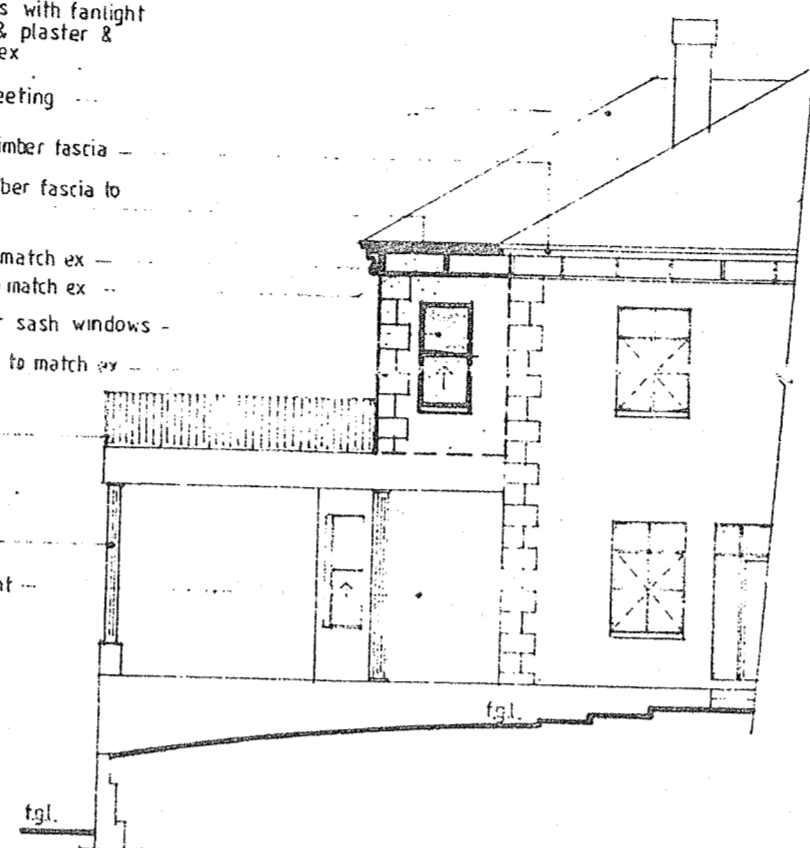




SECTION A-A (1:100)

- demolish ex upstand to form new step
- remove ex timber windows for new timber doors with fanlight brick up rest & plaster & paint to match ex
- ex f.c. roof sheeting
- ex f.c. gutter & timber fascia
- f.c. gutter & timber fascia to match ex
- timber work to match ex
- plaster plinth to match ex
- reuse ex timber sash windows
- plaster & paint to match ex
- ex 1000 high w.i. balustrade
- ex conc slab
- ex p.c. columns
- ex plaster & paint
- ex conc. slab



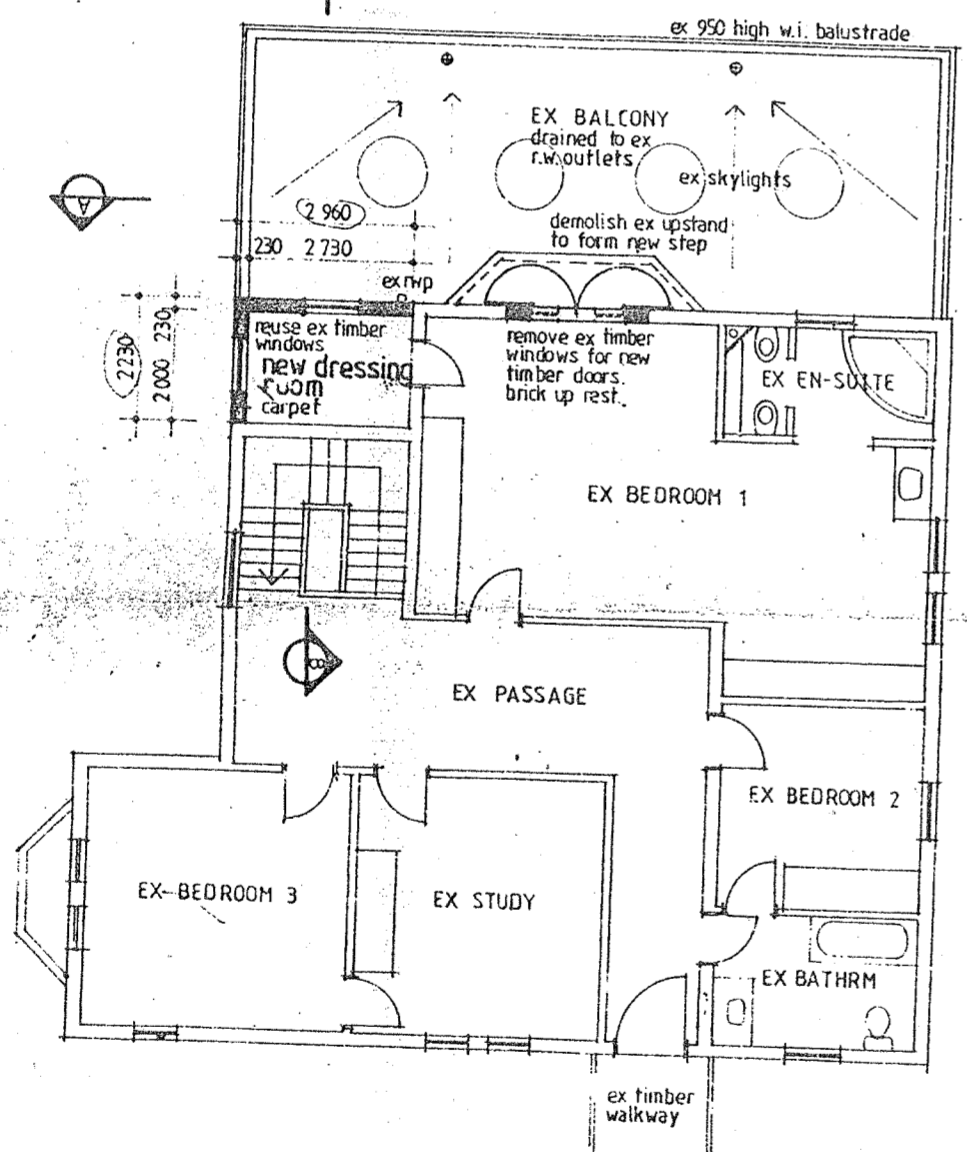
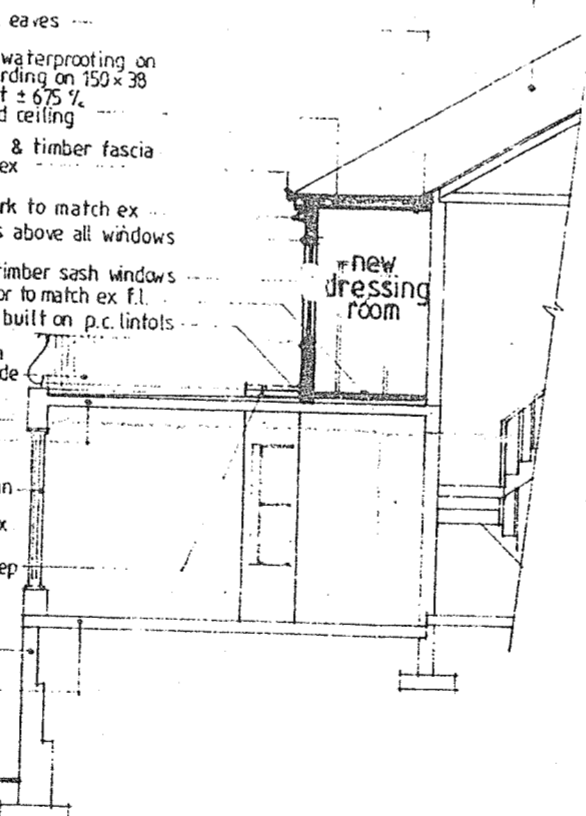
NORTH ELEVATION (1:100)

FRONTAGE LEVELS ARE:  
 (1) TO CONFORM TO THE BACK OF THE CONSTRUCTED SIDEWALK, OR  
 (2) TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA:  $F_L = E + 0,15m \times D$   
 (WHERE F\_L = FRONTAGE LEVEL, E = LEVEL OF EDGE OF HARDENED ROAD AND DISTANCE IN METERS BETWEEN EDGE OF ROAD HARDENING AND F\_L = RESERVE BOUNDARY)  
 A CONCRETE BEAM AT THE CORRECT FRONTAGE LEVEL IS TO BE PROVIDED AT EACH ENTRANCE/EXIT AT THE SAME GRADE AS THE KERB OR ROAD.

THE AUTHOR OF THE PLAN IS RESPONSIBLE FOR SHOWING ON THE APPLICATION DRAWINGS THE TOPS OF FOUNDATIONS OF ANY FRONTAGE WORKS AT A MINIMUM DEPTH OF 0,230 METERS BELOW FRONTAGE LEVEL.

- ex f.c. roof sheeting
- cut off ex eaves
- derbigum waterproofing on f & g boarding on 150 x 38 rafters at  $\pm 6,75\%$  rhinoboard ceiling
- f.c. gutter & timber fascia to match ex
- timber work to match ex
- p.c. lintels above all windows
- reuse ex timber sash windows
- screed floor to match ex f.l.
- new walls built on p.c. lintels
- ex 1000 high w.i. balustrade
- ex slab
- ex p.c. column
- demolish ex upstand to form new step
- ex ref. wall
- ex slab

SECTION B-B (1:100)



FIRST FLOOR PLAN (1:100)

It should be noted that this plan has been approved on the basis of information thereon.

GENERAL NOTES

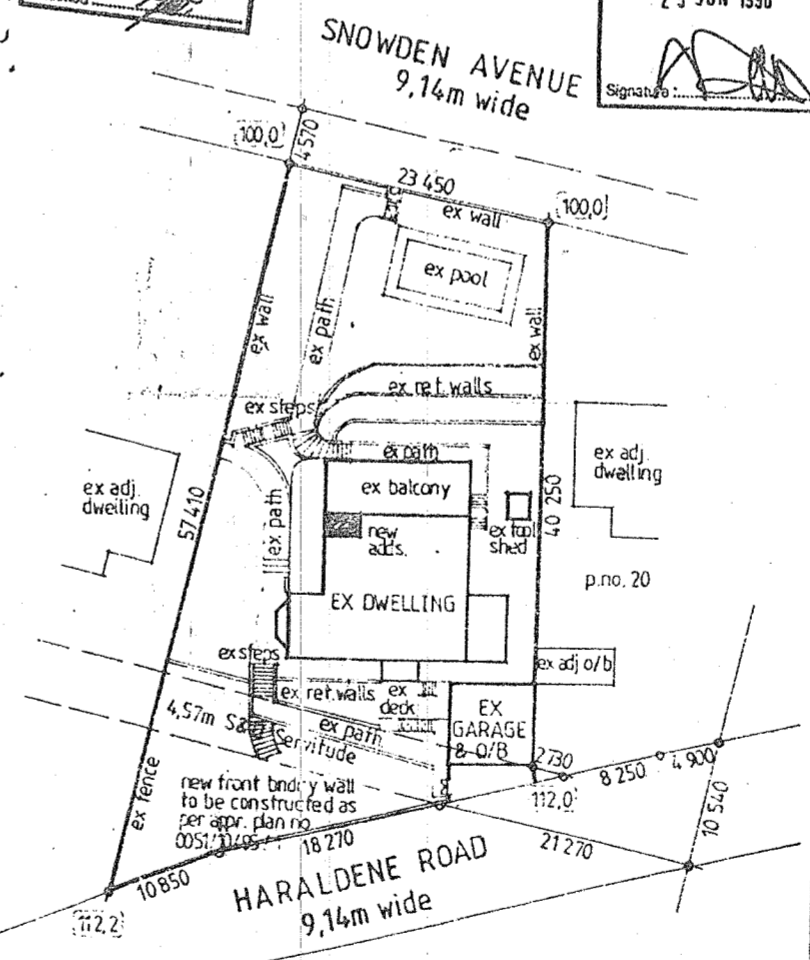
- All dimensions and levels to be checked on site prior to work commencing.
- All new work to be in accordance with national building regulations.
- The works to be set out from approved local authority plans only.
- All new work to match existing.
- All structural work to be certified by an engineer.
- All doors and windows with a glazed section greater than 1m<sup>2</sup> to have safety glass.

SCHEDULE OF AREAS

site area	1716,00m <sup>2</sup>
AREAS	
ex dwelling	227,30
g floor	156,40
new addition	6,60
ex garage	45,50
ex o/b below q	45,50
ex tool shed	5,00
Total area	486,30m <sup>2</sup>
Total coverage	277,80

PLANNING CONTROL BRANCH  
 TOWN PLANNING AUTHORITY  
**GRANTED**  
 04 JUL 96  
 Signature: *[Signature]*  
 Checked: *[Signature]*

DEVELOPMENT APPROVED  
**SITE**  
 25 JUN 1996  
 Signature: *[Signature]*



SITE PLAN (1:500)

ALL GLAZING TO COMPLY WITH PART NN2 AND NN3 OF SABS 0400.

ENGINEERS DETAILS REQUIRED

SHEET 1/1 COPY 3

CITY OF DURBAN  
 PLAN NUMBER

0630-06-96-4

APPROVED: P.A. MOORE  
 EXECUTIVE DIRECTOR, PHYSICAL ENVIRONMENT SERVICE UNIT

DATE: 27/06/96 PER: *[Signature]*

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIVE ANNIVERSARY DATE.

ELECTRICITY SERVICE

- Any person undertaking building work in accordance with this plan shall refer to ascertain from the Executive Director, Electricity Department:
- 1) The location of any electrical service and servitudes in the vicinity of the proposed works.
- 2) Departmental requirements regarding Substation, Meterrooms and Cables.

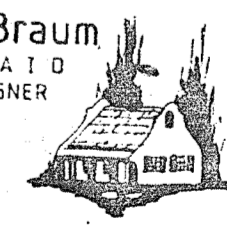
additional area : 6,60m<sup>2</sup>

DATE NO: 03/1589/96/1/000

OWNER'S SIGNATURE TELEPHONE

ALTERATIONS & ADDITIONS TO EXISTING DWELLING FOR I. GILLIES AT 22 HARALDENE ROAD ON LOT 12366 OF DURBAN

Graham P. Braum  
 MSAIBD MSAID  
 BUILDING DESIGNER



360 UMBILO RD DURBAN TELEPHONE 254142

SCALE 1:100, 1:500  
 DESIGNED G. P. BRAUM  
 DRAWN M. ENGELBRECHT (N.D.p. Arch)  
 DATE JUNE 1996

Drawing No 4229/96