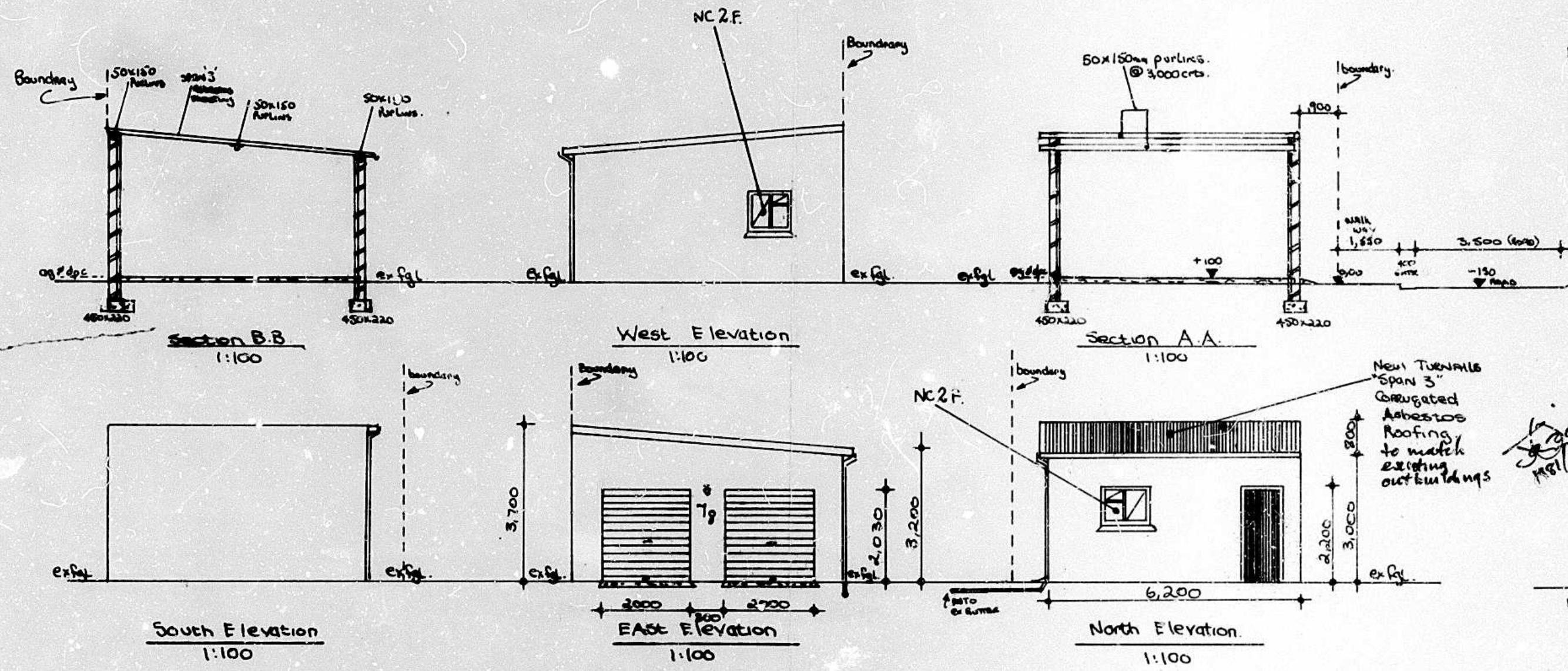


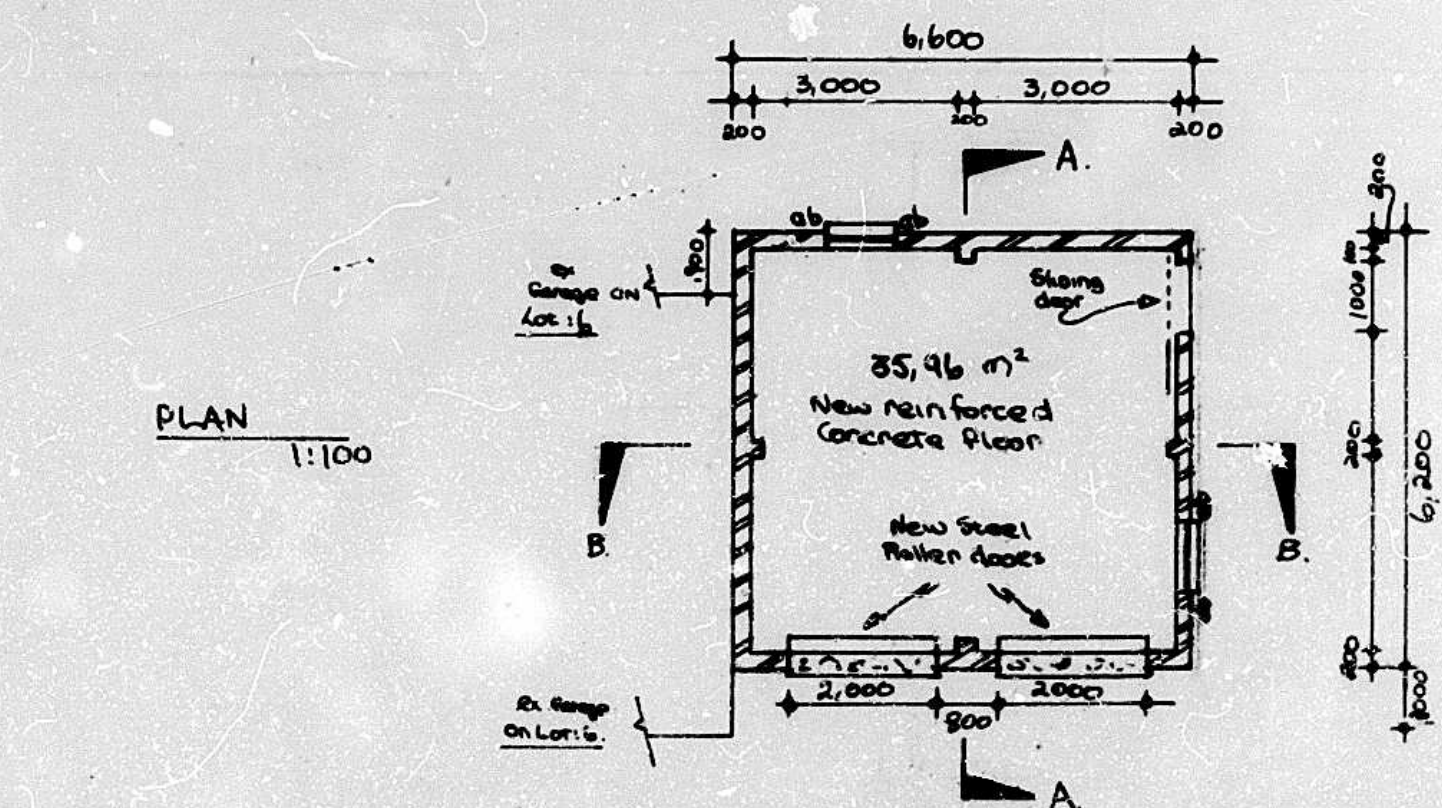
- NOTES:**
1. All levels & dimensions to be checked on site. Ground to floor area to be thoroughly prepared. All construction materials to be of approved standard.
 2. New Concrete blocks shall be used. These shall comply with S.A.B.S 527 specification.
 3. Floor Slabs: Shall be 100mm re-inforced concrete with mesh ref: 193 (193 kg/m²) - on well rammed hardcore.
 4. All walls: Shall be plastered & painted.
 5. Air Bricks: Shall be provided on top left & right corners - 1x course above each window
 6. A.R. & D.P.C.: Shall be provided on floor slab in between first course.
 7. Doors: Shall be: New 'Wespico' Type Roller door to main entrance. Pedestrian door & windows shall be constructed from new timber.
 8. Footing: Shall be 40x220 New Concrete with blue stone well mixed therein.
 9. Lintels: Shall be provided over all wall openings (i.e. doors & windows)
 10. 2x Courses Brick face to be provided at sill & wall plate levels.
 11. Roof: Shall be 'Turnalls' Span 3 asbestos sheeting mounted on 50x150 purlins spaced at 3,000m. curves with a 38x38 batten nailed left & right side as per the manufacturers specification. Asbestos shall be fixed to purlins by means of 4x150mm annular grooved nail complete with fins & neoprene washer, again all as per 'Turnalls' specification, for span 3 roofing. The pitch shall be no less than 5°



N.B. FRONTAGE LEVELS TO CONFORM TO BACK OF EXISTING FOOTPATH.

Stacey
1981/11/10

Stacey
1981/11/10



TOWN PLANNING DIVISION

Town Planning Scheme in course of Preparation.

Application No. 513/9/81

Approved

Approved subject to conditions attached

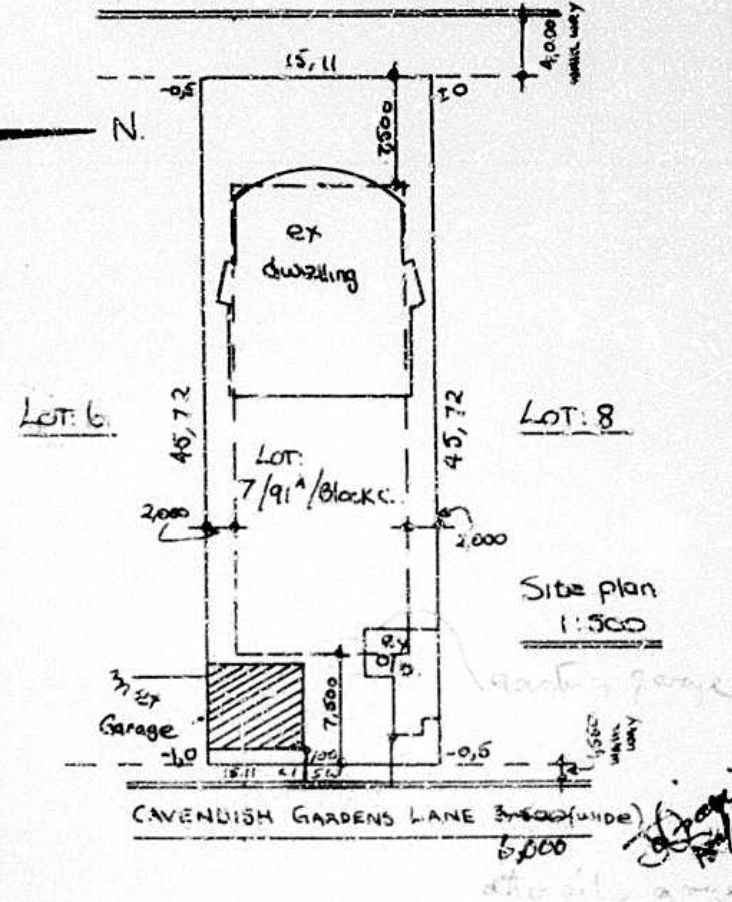
Not Approved

by City Engineer on _____

by Works & Planning _____

by Council on _____

NOTE: Approval in terms of Sec. 87 bis of Town Planning Ordinance No. 27 of 1977 does not constitute approval in terms of the Building By-Laws.



OFFICIAL STAMPS.

Scale: 1/1 | Copy: 3

CITY OF DURBAN

PLAN NUMBER 513/9/81

APPROVED

DATE 26 NOV 1981

B.C. MACLEOD
CITY ENGINEER

IMPORTANT

APPLICATION FOR REFUND OF PORTION OF BUILDING FEES ON ABANDONED PLANS MUST BE RECEIVED BY THE CITY ENGINEER'S DEPARTMENT BEFORE FOURTEEN (14) DAYS PRIOR TO THE EXPIRY DATE OF APPROVAL OF THIS PLAN.

AS BUILT ORIGINAL

Proposed new Double Garage to existing residence of Mr. J. Visagie on Lot 7 of 91st Block C bounded N.W. by Lot 6 & S.E. by Lot 8 at No 78 M'Donald Road Durban.

Area's - Floor - 35,96 m²
- ROOM Building - 40,92 m²

Colour Code:

- Brown - New Wood
- Green - New Concrete
- Blue (Corrugated) - New G.I.B.S.
- Blue - New Steel
- Orange - New Concrete Blocks
- Yellow - New Plaster
- Violet - New asbestos roofing
- Red - New window sill tiles

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