

of FRAMINGTON DRIVE

FRONT ELEVATION

SECTION A-B

SECTION C-D

PROPOSED RESIDENCE
FOR
W. CRAWFORD Esq
Scale 1/2" = 1'-0"

GROUND FLOOR PLAN

FIRST FLOOR PLAN

SIDE ELEVATION

BOROUGH OF DURBAN
PLANS APPROVED
24/8/1907

MORROD ROAD
Lot 8a - Block A & B
Block 247
Scale 1" = 100'

Outbuildings

Detail of entrance or porch

Detail of window or door



6712 3

pic-6549

SHEET 3/3 COPY 3

ETHEKWIN MUNICIPALITY
CENTRAL
424 06 03

APPROVED in terms of the National Building Regulations and Building Standards Act No. 103 of 1977

DATE: 26/10/03 LOCAL AUTHORITY

This Plan is approved on the basis of the information shown hereon. Attention is drawn to alterations to construction.

INCORPORATING APPROVED PLAN

NO. 349/01/02 APP. 26/10/03

NO. APP.

GRANTED

NO. 48-12

Signature: [Signature]

Checked: [Signature]

M. L. O. O. K.

67 TRAMATION DR

h. 2200

L. K. V. B. R. E. E.

18/10/2003 C.A.S.

C. S. R. A. I.

24 Monreton St

C. M. A. I.

B. D. A. W. B. E. R.

19 Newwood Road

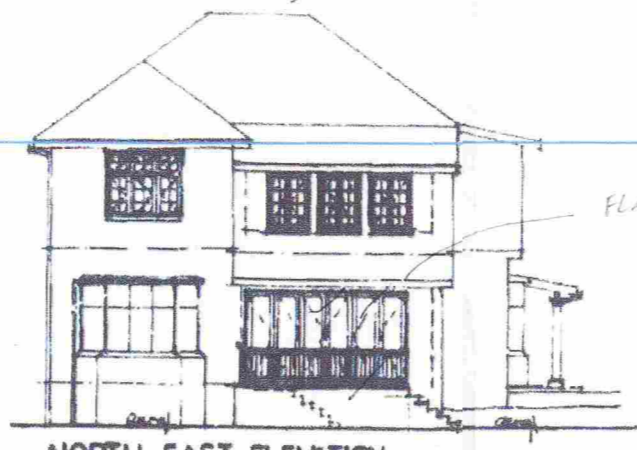
Gauteng.



SOUTH WEST ELEVATION

pic 6555

pic 556



NORTH EAST ELEVATION

FLAT ROOF - 6551

pic - 6548



SOUTH EAST ELEVATION 1:50

SECTION AND ELEVATION NOTES - DWELLING

NEW ROOF CONSTRUCTION - DWELLING 30° PITCH VERANDAH - 10° PITCH

MARBLE TILES ON 38x38 BATTENS ON STD TRUSSES AT MAX 750mm C/C

ON 114x38 WASH PLATE - ALL TIMBER MEMBERS TO ROOFING SPECIALISTS SPECIFICATION

INSULATION - POLYURETHANE 202 NO FASCIAS

SW GABLES - EXTRUDED ALUMINA GUTTERS + PVC RIDGES

CERAMIC - RENDIBONED WITH COVERSTEPS TO MATCH EXISTING

WAINS - CLAY BLOCKS

INTERNAL - PLASTER + PAINT

EXTERNAL - STIPPLE PLASTER + PAINT WITH FIBRECE PLANTH

WINDOWS - FRAME H/W WINDOWS TO MATCH EXIST EXACTLY TO CLIENTS APPROVAL

DOORS - GRZEKAL - PURPOSE MADE 700 mm C/P 2ND H/AN FOLDING DOORS

WINDOON CASES - GRZEKAL TILES

SKYLIGHT - TIMBER TO CLIENTS APPROVAL

FLOOR CONSTRUCTION - 100mm REINFORCED CONCRETE SURFACE BED ON DPM AND WELL COMPACTED AND POISONED SOIL

FOUNDATIONS - 700x750 - 230 WAYS

600x230 - 115 WAYS

RC WALLS ABOVE AND NEW OPENINGS UNLESS OTHERWISE STATED BY STRUCTURE

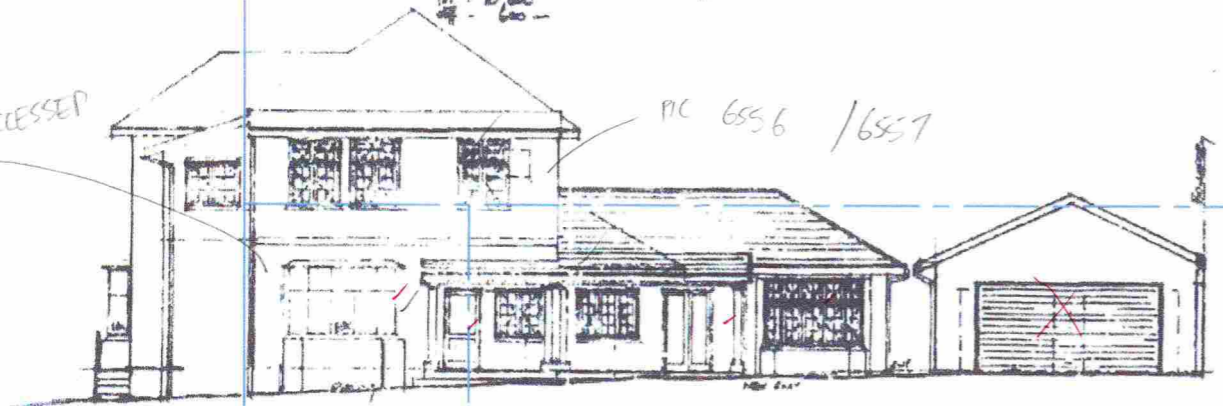
VERANDAH RAFTERS ON H/W BEAM TO ROOFING SPECIALISTS SPEC & ON STD RC COLUMNS ON BRICK BASES

3RD WINDOON TO HAVE RC SLAB OVER

REMOVE EXIST ROOF AS SHOWN ON ELEV. - PACE GOOD + OBTAIN ALL MATERIALS

RECESSED

pic 6556 / 6557



NORTH WEST ELEVATION 1:50

REAL NOTES

DIMENSIONS, LEVELS AND MATERIALS TO BE CHECKED AT SITE BEFORE

STARTING ANY WORK

DO NOT USE TO MATCH EXISTING UNLESS OTHERWISE INDICATED

WHERE TO DETAIL AND SUBMITSE ALL WORK INDICATED ON PLAN

NEW MATERIALS TO BE SABS AND CLIENT APPROVED

ANY DISCREPANCIES OCCUR CLIENT TO BE NOTIFIED BEFORE CONTINUING

H. NOTE

NOT SCALE DRAWINGS

GUARDS TO COMPLY WITH NBR

M.B.M. - ALL WASH PIPES TO HAVE 'P' TRAPS

BEFORE INTERNAL ALLOCATIONS OCCUR. MUST WORK TO BE

DE CLIN BEFORE COMPLETION OF PROJECT

TOOK BY SPECIALISTS

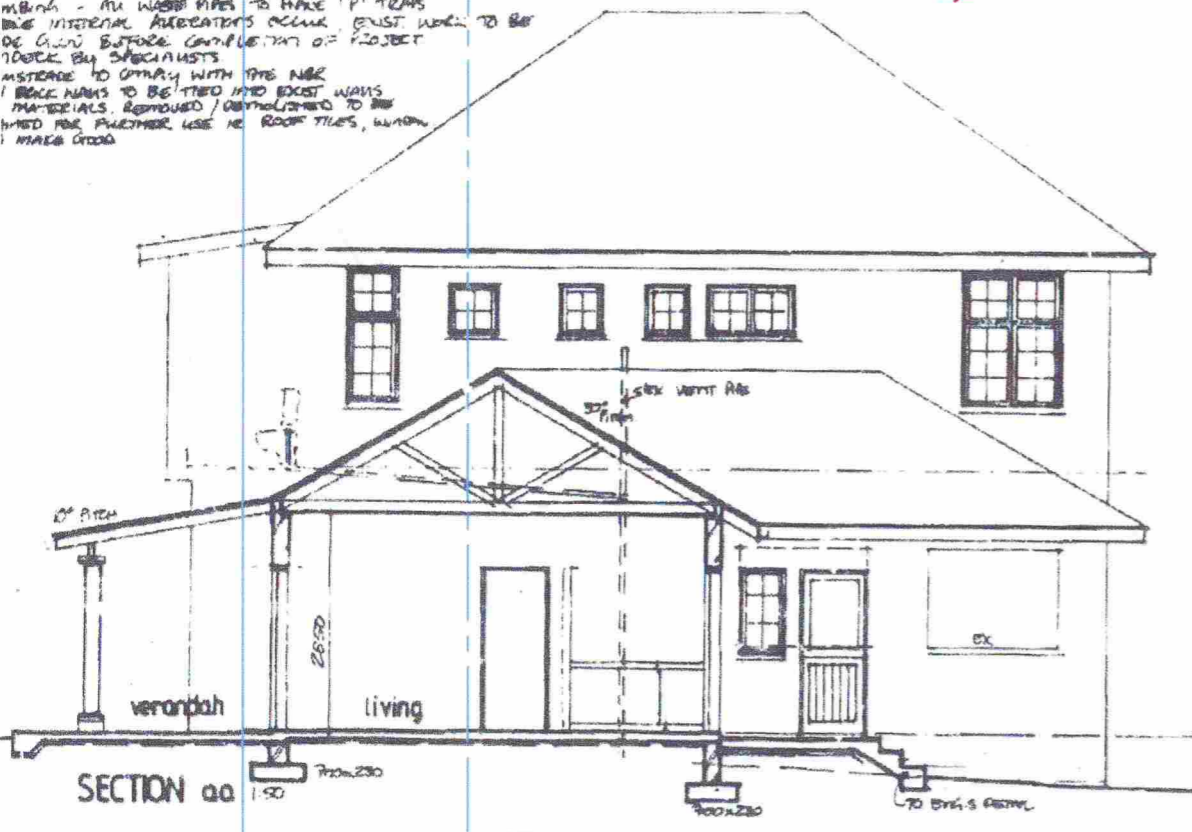
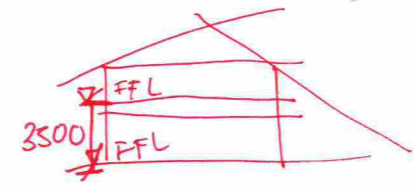
INSTEAD TO COMPLY WITH THE NBR

BRICK WALLS TO BE TIED INTO EXIST WAYS

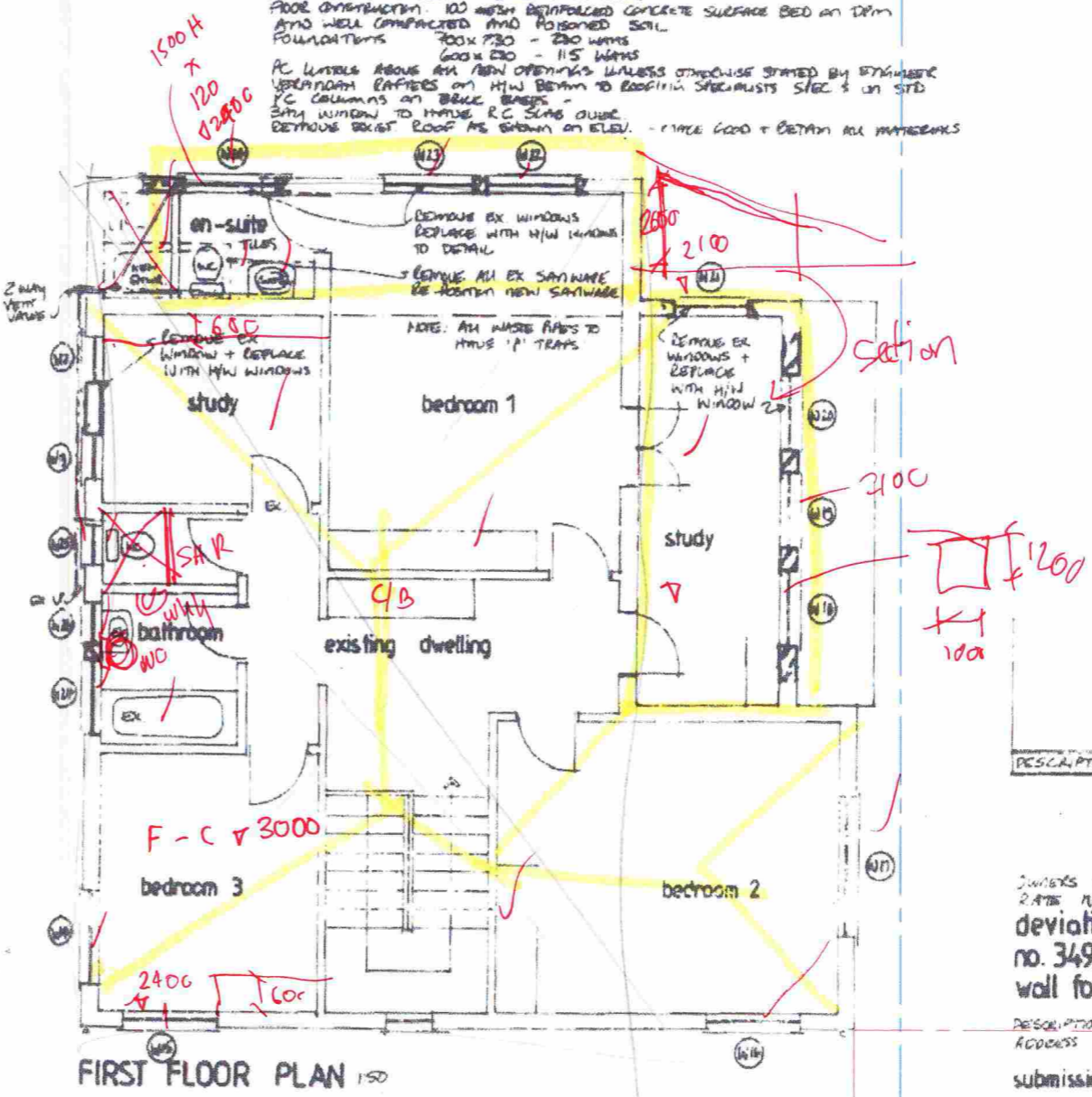
MATERIALS. REMOVED / DESTROYED TO BE

USED FOR FURTHER USE IN ROOF TILES, WINDOW

MAKE GOOD



SECTION aa



FIRST FLOOR PLAN 1:50

DESCRIPTION	REVISIONS	DATE	NO.

Signature: [Signature]

DATE: 11/11/12

OWNER'S TELEPHONE 305 1108

RATE NO 0304 5001 000

DEVIATIONS TO APPROVED PLAN

NO. 349 01 02 + NEW BOUNDARY

WALL FOR S. LANGON

DESCRIPTION SELF SOL. EXP 400 DURBAN

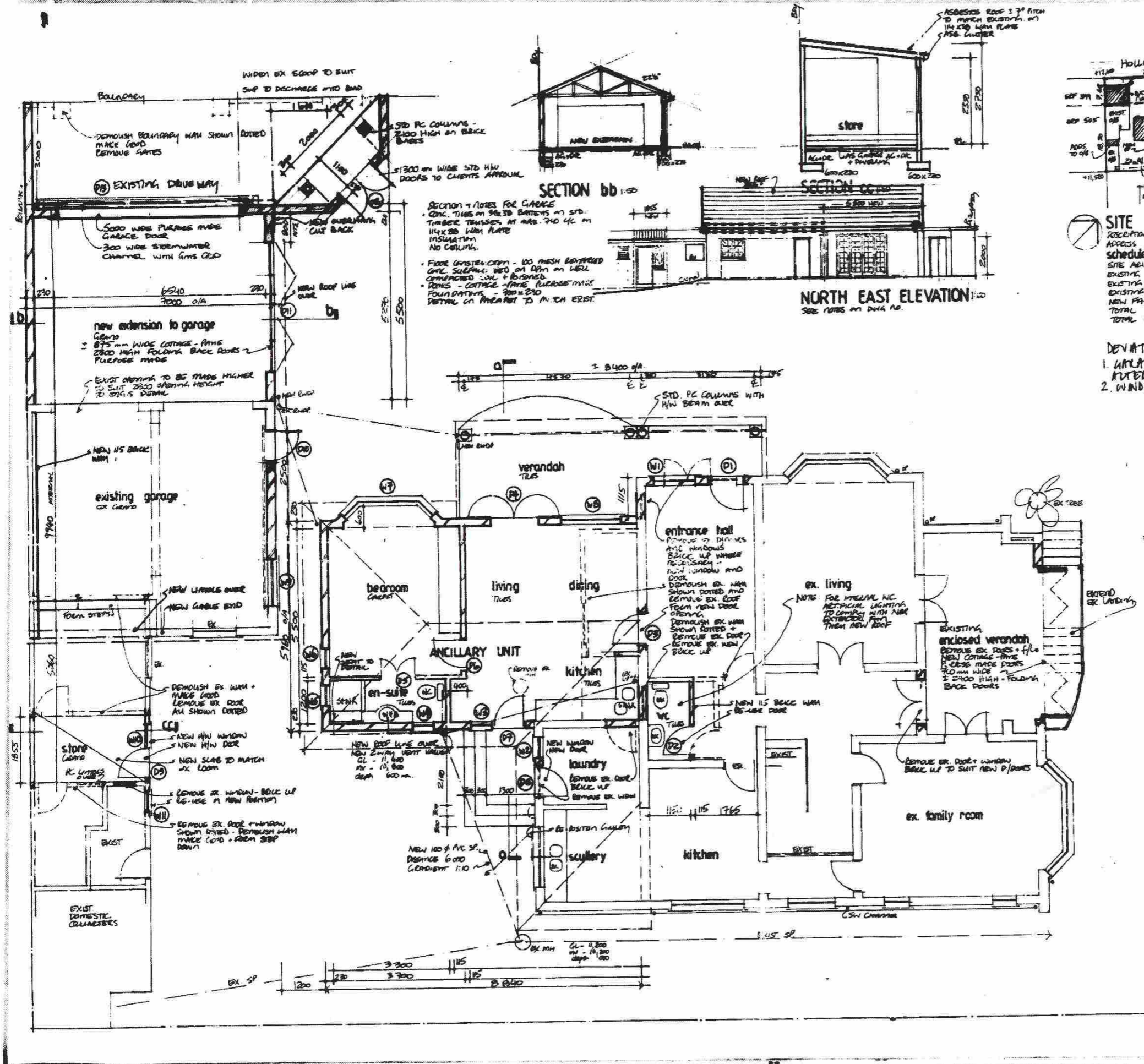
ADDRESS 25 NEWWOOD ROAD

SUBMISSION DRAWING

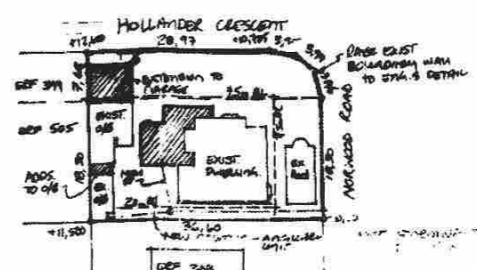
renee carlyle-mitchell

architect

12 HILDEBRAND ROAD MILLSIDE 71 7 5667



SECTION + NOTES FOR GARAGE
 CONC. TILES ON 90x90 BATTENS ON STB. TIMBER TRUSSES AT 2400 YC ON 114x90 W/45 PLATE INSULATION NO COLLUM.
 FLOOR CONSTRUCTION - 100 MESH REINFORCED CONC. SLABING 120 ON 100x100 W/45 CORRUGATED - 50L + 40S/S/S
 ROOF - CORRUGATED - 75mm PURPOSE MADE FOUNDATIONS - 200x250 DETAIL ON DRAWING TO MATCH EXIST.



SITE PLAN
 PROPOSITION DEF 506 - DEF 400 DURHAM
 ADDRESS 23 NORWOOD ROAD ALICEMOUNT
 schedule of areas

SITE AREA - 932 m ²	40%	372.80 m ²
EXISTING DWELLING FMR		313.94 m ²
EXISTING OUTBUILDING FMR		74.69 m ²
EXISTING COVERAGE		245.72 m ²
NEW FMR WITH DEV TOWN		107.62 m ²
TOTAL FMR		353.34 m ²
TOTAL COVERAGE		353.34 m ²

- DEVIATIONS:-**
1. WALLS EXTENDED & RTF WITH CONNECTION RATED
 2. WINDOWS ON FIRST FLOOR RATED

SHEET 1 OF 3 COPY 3
ETHEKWINI MUNICIPALITY
 CENTRAL 424 06 03
 APPROVED IN TERMS OF THE Urban Building Regulations and Building Standards Act No. 10 of 1977
 DATE LOCAL AUTHORITY
 This Plan is approved on the basis of the information shown herein. Approval is given in standard documentation.

INCORPORATING APPROVED PLAN
 NO. 349/01/02 APP. 26/1/03
 NO. APP.
 NO. APP.

PERMIT TO CONSTRUCT GRANTED
 2010-12
 Signature: [Signature]
 Checked: [Signature]

- A. A. ROOK** 1572001
 67 TREMATON DR.
- LAV PETER**
 181 HOLLANDER CRES. 01/11/02
- C. SEARZ**
 24 MURKIN RD C.MAL
- B. NAUBER**
 19 NORWOOD ROAD JAMBER

ELECTRICITY SERVICES
 Any person undertaking erection of a structure in accordance with this plan is to ensure that:
 1) The electrical installation complies with the Code of Practice for the wiring of buildings (SANS 10142-1) as amended and the Electrical Regulations and Safety Act (SA1982)
 2) A certificate of Compliance and Acceptance for Permission to Connect is accepted by the Executive Director, Durban Metro Electric Ltd.
 3) Adequate provision for the satisfaction of the Director, Durban Metro Electric Ltd.

ELECTRICITY SERVICES
 Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director, Durban Metro Electric Ltd. if:
 1) The location of any electrical services and services in the vicinity of the proposed works.
 2) The requirements for any additional metering, etc.

OWNERS TELEPHONE 305 1708
 EME NUMBER 021 0364 500 400
deviations to approved plan no. 349.01.02 + new boundary wall - s langton
 DESCRIPTION: DEF 506 + DEF 400 DURHAM
 ADDRESS: 23 NORWOOD ROAD
 submission drawing

rene carlyle-mitchell
 architect
 12 HILLdene ROAD HILLCAST TEL 765 6670
 DATED FEB 12 2003 PH 765 7126
 SCALE: 1:500 1:50 1:100
 DRAWING NO. 0205/110