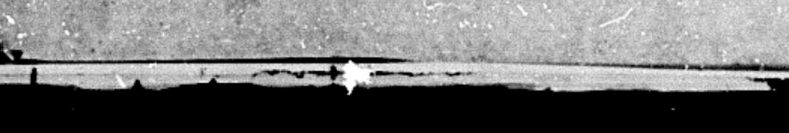
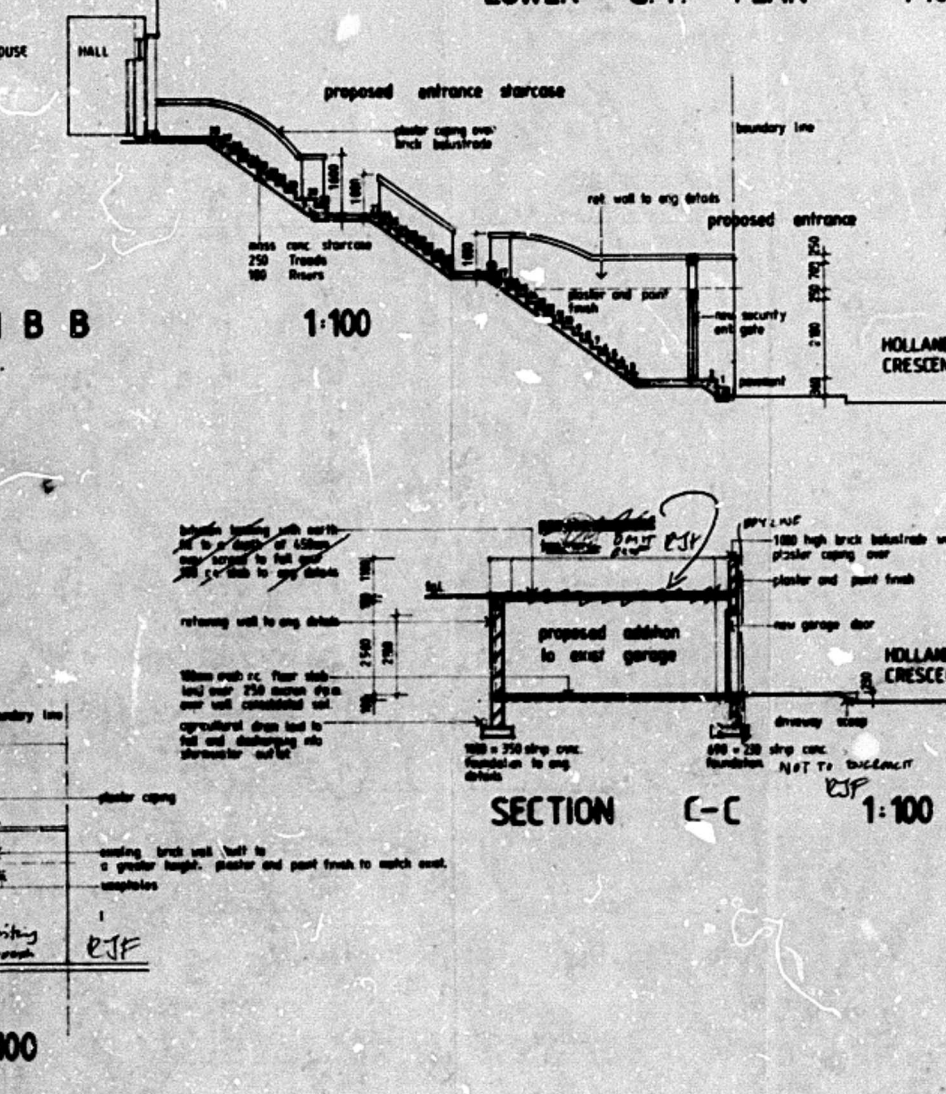
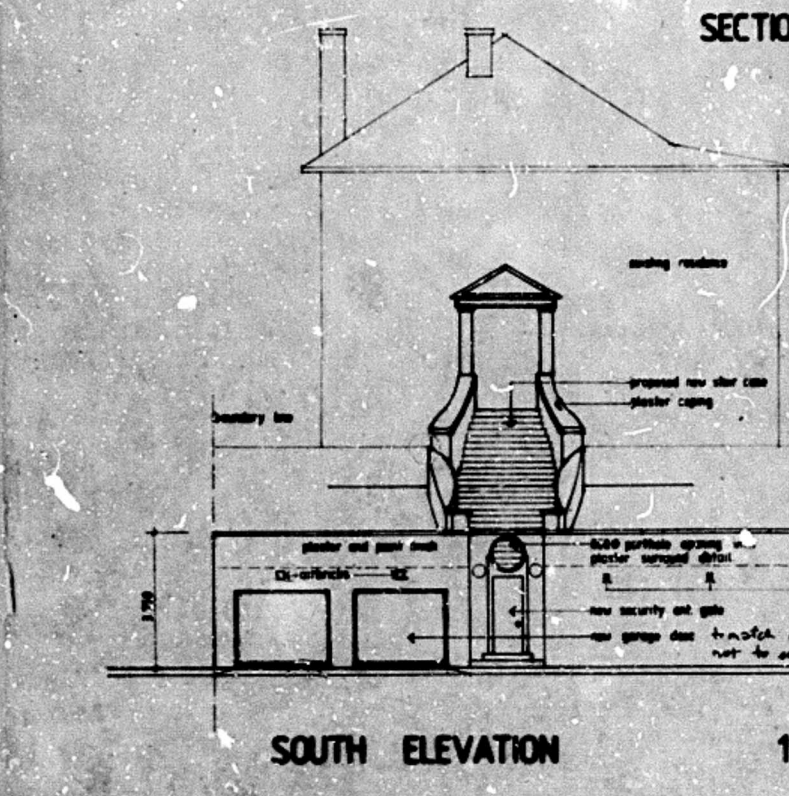
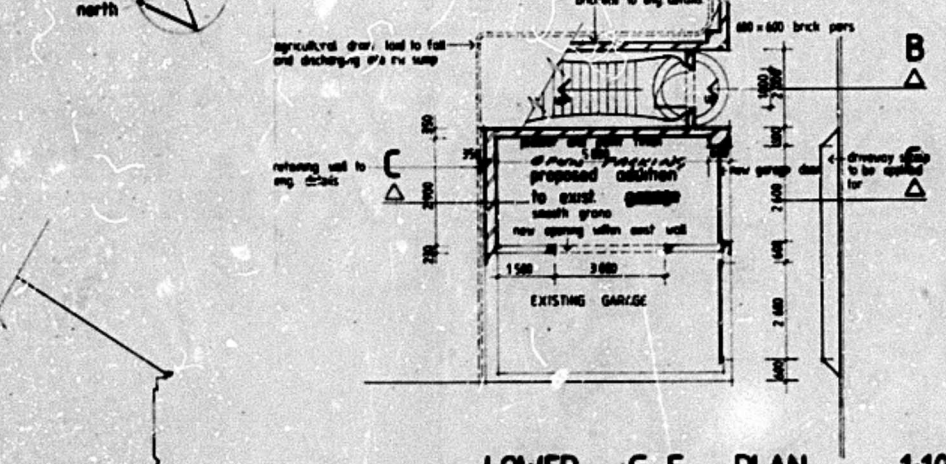
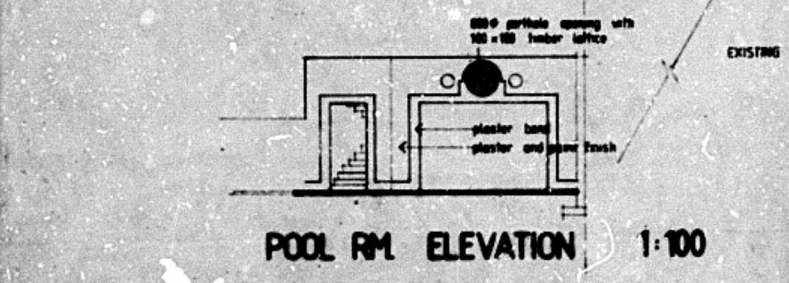
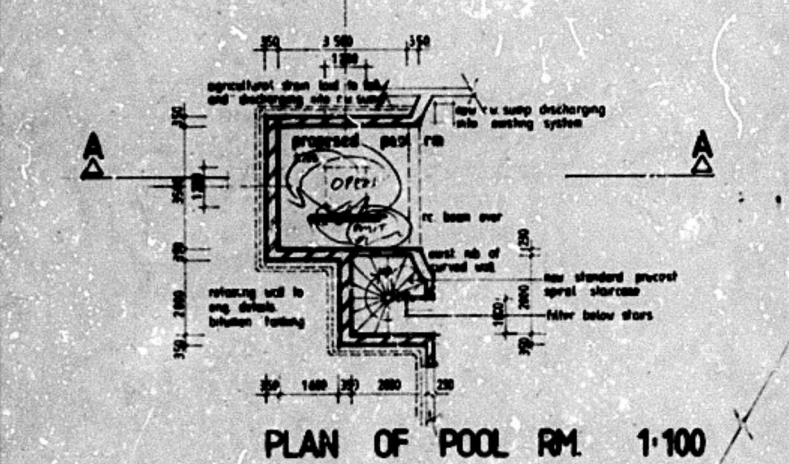
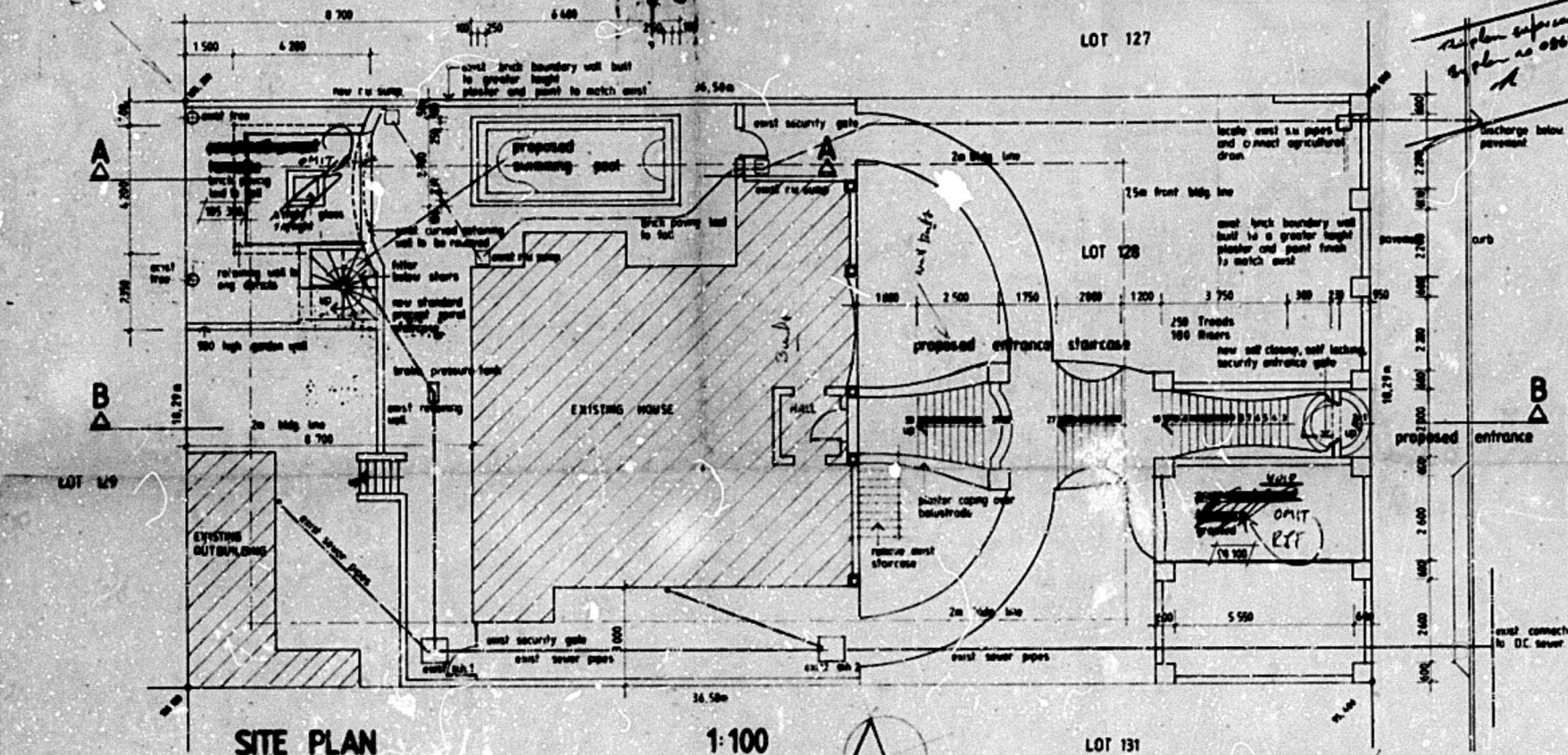


SWIMMING POOL NOTES
 Earth leakage protection to be fitted to all electrical apparatus. Precautions to be taken against:
 1. Fringing leakage & formation in suction pump chamber & filter unit.
 2. Condensate.
 Plans to comply with Sect AS121 Part 14(1)(2)(3) of National Building Regulations.
 Pump chamber to be adequately drained.
 Final arrangement to suiters requirements.
 Exposed steel to be painted on site.
 Brake pressure tank to be used to discharge waste water from pool on route to sewer.
 Provide min 1.2m high childproof boundary barrier and self closing self locking gate.

NOTES
GENERAL
 Do not scale this drawing.
 Copyright remains with architect.
 Check all dimensions and levels on site before commencing work.
 All work to comply with current building regulations, NBS1 codes of practice and SABS standards. Set levels to be taken before commencing work.
 Check all bearings with corner before setting out.
CONSTRUCTION
 All reinforced concrete and structural steel work to be cast in situ.
 Rebar to be laid on a min 25mm screed to a min 1:50 fall waterproofed with min 25mm bituminous asphalt lead to NBS1 spec.

CI OF DURBAN
 PLAN No. 027/10/1976
 APPROVED: 10/10/76
 FOLLOWING CONDITIONS:
 1. GARAGE DOOR SHALL BE OPENED TO THE STREET SIDE OF THE ROAD.
 2. THE GARAGE DOOR SHALL BE OPENED TO THE STREET SIDE OF THE ROAD.
 3. THE GARAGE DOOR SHALL BE OPENED TO THE STREET SIDE OF THE ROAD.
 4. THE GARAGE DOOR SHALL BE OPENED TO THE STREET SIDE OF THE ROAD.
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 8. THE GARAGE DOOR SHALL BE OPENED TO THE STREET SIDE OF THE ROAD.
 9. THE GARAGE DOOR SHALL BE OPENED TO THE STREET SIDE OF THE ROAD.
 10. THE GARAGE DOOR SHALL BE OPENED TO THE STREET SIDE OF THE ROAD.



THROUGH LEVEL REQUIREMENTS
 Top of foundations of any structure to be at least 7.25m below the level shown below.
 Where on level is required foundation shall not be higher than the level of the ground surface.
 Vehicle and pedestrian crossings on the road reserve boundary shall be maintained on the same grade as the back road and shall either (a) conform to level of existing kerb or (b) be at a level:
 (i) above the reserve as a ramp, OR
 (ii) above the reserve as a level of the hardstand/road surface to ensure the connection is not obstructed by structural kerbs or walls.
 Concrete drains at reserve boundary level of required at entrance with:
 One Signature
 is a condition.
 (A) Existing kerbs level in order to:
 1. Maintain the level of the hardstand/road surface.
 2. Maintain the level of the hardstand/road surface.
 3. Maintain the level of the hardstand/road surface.
 Date of Second Condition: _____

IMPORTANT
 THE APPLICANT IS RESPONSIBLE FOR ASCERTAINING THE POSITION OF ALL POST OFFICE CABLES, TELEPHONE CABLES, AND ALL OTHER SERVICES IN THE AREA OF THE SITE. THE APPLICANT SHALL BE RESPONSIBLE FOR THE COST OF ANY WORK REQUIRED TO PROTECT OR RELOCATE SUCH SERVICES OUT OF THE WAY OF THE PROPOSED WORK INDICATED ON THIS APPLICATION.

Professional Engineer to be responsible for and approve as proposed:
 Foundations, Retaining Walls, Driveways, Construction of Pool, Complete Parts 1 and 2 sub-division plans.

TOWN PLANNING BRANCH
 APPROVED / NOT APPROVED
 APPROVED / NOT APPROVED
 CITY ENGINEER: 28/10/76
 PLANNING: P.J.

Proposed Alterations & Additions to 161 Hollander Crescent, Durban, Lot 128 Block A B for P.H.J. Summers.

