

**GENERAL NOTES**

- NEW BUILDING WORK TO COMPLY WITH SABS0400, NATIONAL BUILDING REGULATIONS AND LOCAL MUNICIPAL BY-LAWS.
- ALL NEW WORK TO MATCH EXISTING BUILDING WHEREVER POSSIBLE.

SHOULD WORK NOT HAVE COMMENCED THIS APPROVAL WILL EXPIRE ON ITS FIRST ANNIVERSARY DATE.

PLAN SUBSTITUTED \_\_\_\_\_  
 SHEET SUBSTITUTED \_\_\_\_\_  
 SHEET ADDED *12/11/01*  
 SHEET *1/1* COPY *3*  
**CITY OF DURBAN**  
 PLAN No. *91-11-01*

APPROVED: Ms. J SUBBAN  
 EXECUTIVE DIRECTOR DEVELOPMENT  
**28 NOV 2001**  
 DATE: \_\_\_\_\_ PER \_\_\_\_\_

**ELECTRICITY SERVICES**  
 Any person undertaking erection of a structure/sign in accordance with this plan is to ensure that:  
 1) The electrical installation complies with the Code of Practice for the wiring of Premises SABS 0142:1987, as amended, and the Occupational Health and Safety Act 1993  
 2) A certificate of Compliance and Application for Permission to Connect is lodged with DME prior to electrical connection to the supply source  
 3) Adequate earthing to the satisfaction of the Director/Commissioner, DME is provided.

**ELECTRICITY SERVICES**  
 Any person undertaking building operations in accordance with this plan is required to ascertain from the Executive Director: Durban Metro Electricity.  
 1) The location of any electrical services and servitutions in the vicinity of the proposed works.  
 2) DME requirements regarding Substation, Meter rooms and Cable ducts.

**LAND USE MANAGEMENT**  
 CONSENT USE AUTHORITY  
**GRANTED**  
 2001-11-16  
 Signature: *[Signature]*  
 Checked: \_\_\_\_\_

"It should be noted that this plan has been approved on the basis of information thereon."

THE AUTHOR OF THE PLAN IS RESPONSIBLE FOR SHOWING ON THE APPLICATION DRAWINGS THE TOPS OF FOUNDATIONS OF ANY FRONTAGE WORKS AT A MINIMUM DISTANCE OF 0.25 METERS BELOW FRONTAGE LEVEL.

ROOF STRUCTURE TO BE TO "EMPIRICAL RULES" OR TO RATIONAL DESIGN COMPLYING WITH "DEEMED TO SATISFY RULE BB4"

ANTIGUARD - D.P.C. - VERTICAL D.P.C.  
 SOIL POISONING REQUIRED

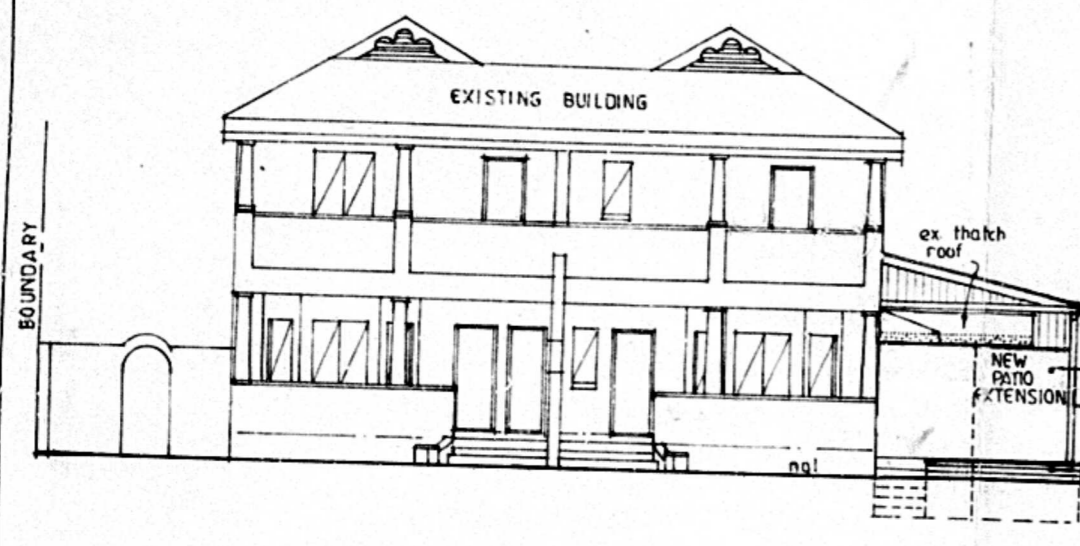
CONSENT GIVEN TO RELAX SIDE BUILDING LINE FROM 2.0m TO 0.0m. ✓  
 NEIGHBOUR'S CONSENT  
 NEIGHBOUR'S NAME: \_\_\_\_\_ NEIGHBOUR'S ADDRESS: \_\_\_\_\_ NEIGHBOUR'S SIGNATURE: \_\_\_\_\_ NEIGHBOUR'S PHONE NO.: \_\_\_\_\_  
 SHEIK MAHOMED: \_\_\_\_\_ OWNER OF 35, RYDE AVE DURBAN LOT 6324  
 031-2012026

OWNERS SIGNATURES

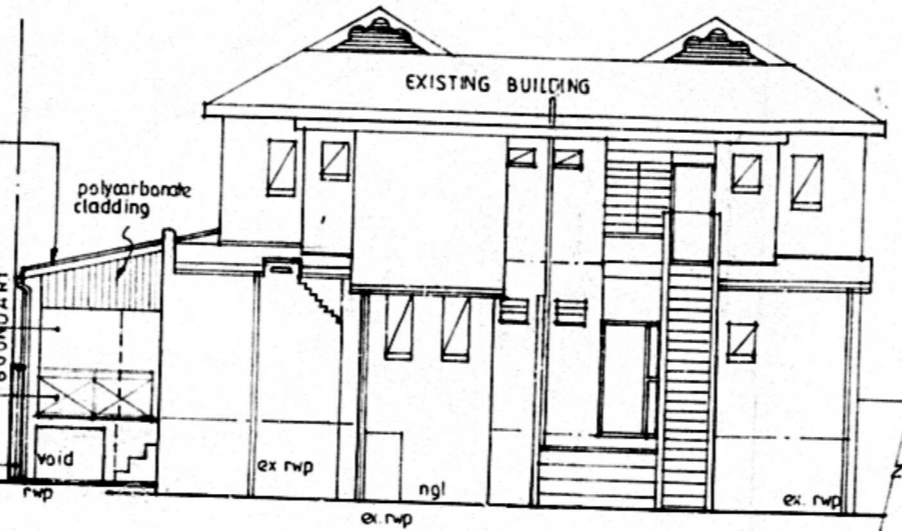
ALTERATIONS AND ADDITIONS TO EXISTING UNITS 1 AND 2 FOR JOHN DOLD BODY CORPORATE at 26 - 32 Clark Road, Durban on rem of 6325, Durban.

COLLEEN WEERHEIM  
 10 PRIM ROSE HILL CAMPBELL ROAD NEW GERMANY  
 PH 082 962 9954

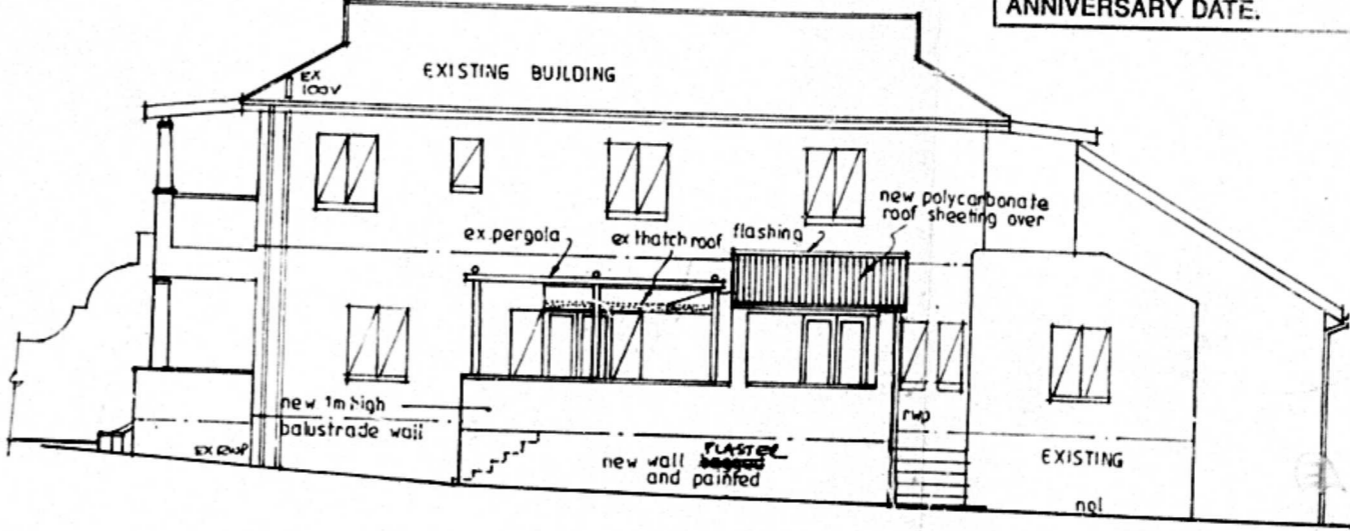
SCALES: 1:100 1:500  
 DRAWN: C.F.W. *[Signature]*  
 DATE: SEPTEMBER 2001.  
 drawing no. 01/18



• SOUTH WEST ELEVATION  
 SCALE 1:100

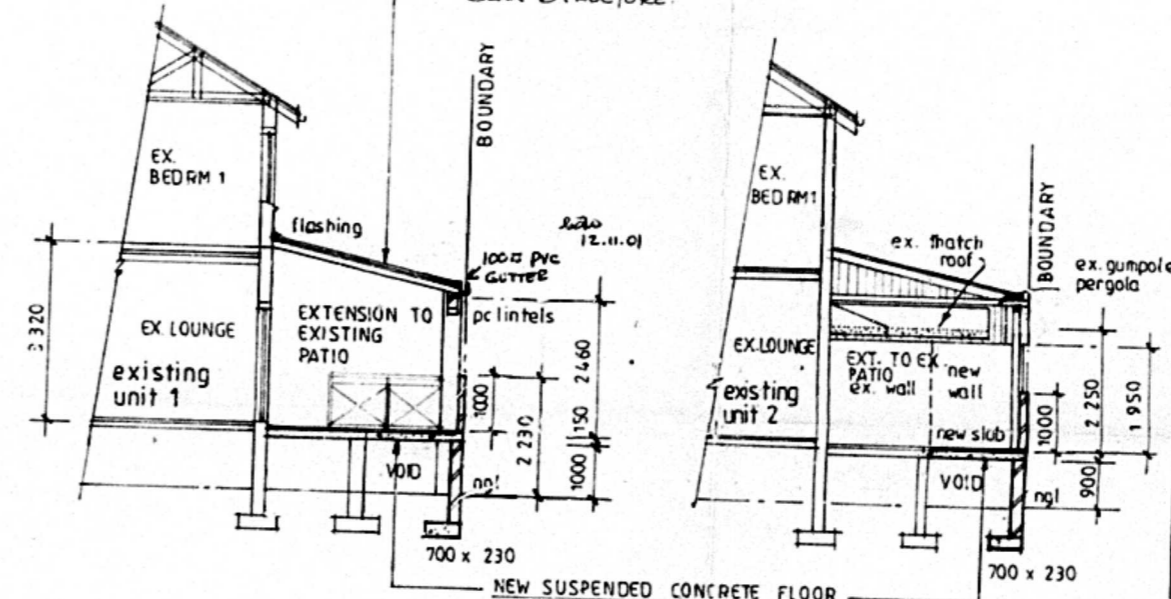


• NORTH EAST ELEVATION  
 SCALE 1:100



• SOUTH EAST ELEVATION  
 SCALE 1:100

• NEW ROOF OVER PATIO - PITCH 12° POLYCARBONATE ROOF SHEETING ON 150 x 250 RAFTERS (TIMBER) AT APPROX 1.1M CENTRES FIXED TO HOUSE WALL AND SUPPORTED ON PIER AND BEAM STRUCTURE.

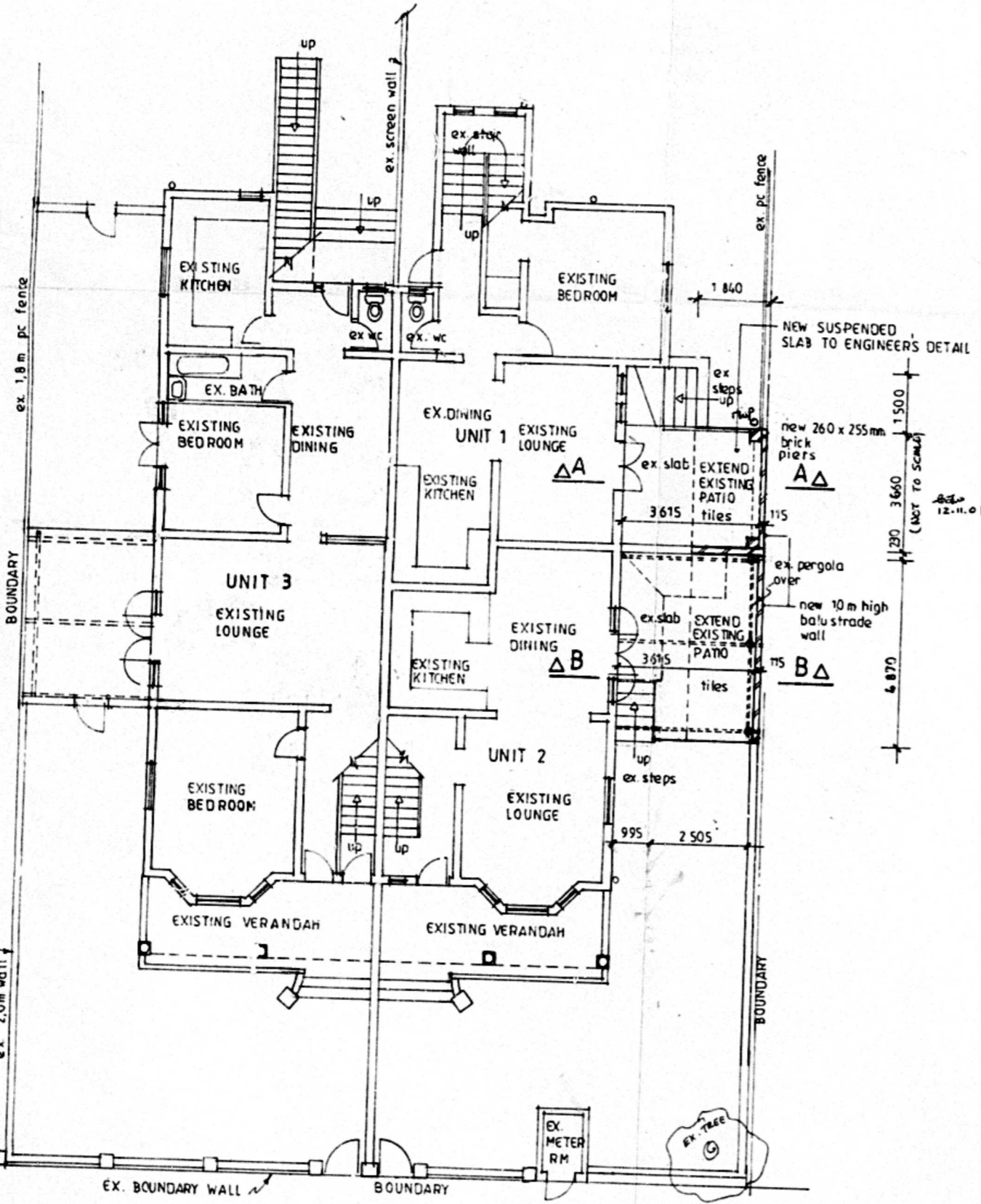


• SECTION A-A  
 SCALE 1:100

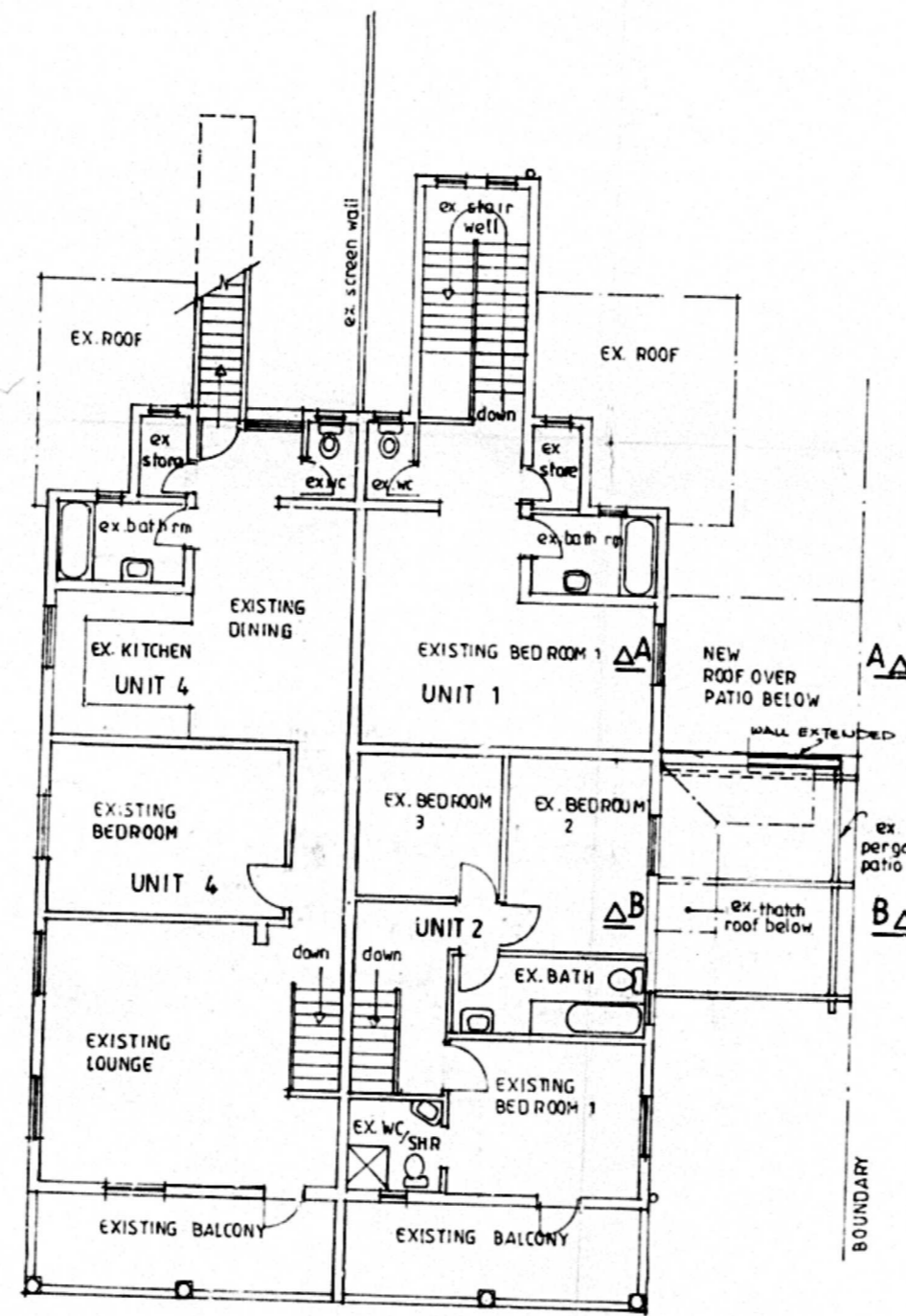
• SECTION B-B  
 SCALE 1:100  
 ENGINEERS DETAILS REQUIRED

FINISH LEVELS ARE:  
 (1) TO CORNER TO THE BACK OF THE CONCRETE SLAB OR  
 (2) TO BE CALCULATED BY THE USE OF THE FOLLOWING FORMULA:  $F.L. = (H.D. + 0.000)$   
 WHERE H.D. IS THE FINISH LEVEL OF EDGE OF RAISED ROAD AND DISTANCE IS METERS BETWEEN EDGE OF ROAD HANDRAIL AND ROAD RESERVE BOUNDARY.  
 A CONCRETE BEAM AT THE CORRECT FINISHAGE LEVEL IS TO BE PROVIDED TO SUPPORT THE ROOF.

BALUSTRADES, HANDRAILS, HEIGHTS AND OPENINGS TO COMPLY WITH MM3 AND DD2.4 OF SABS 0400.



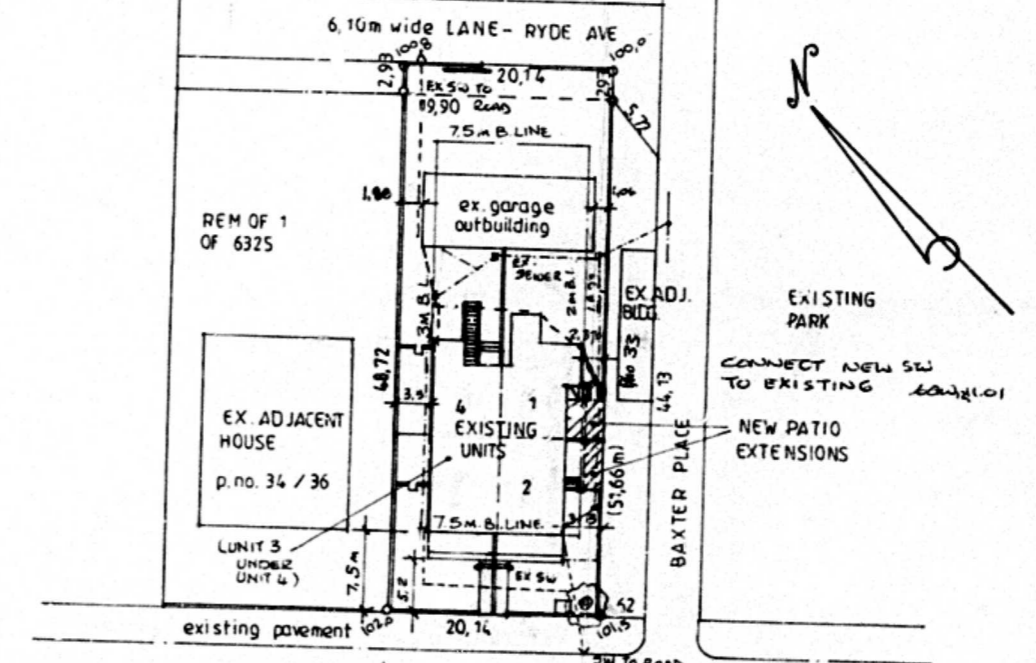
• GROUND FLOOR PLAN  
 SCALE 1:100



• FIRST FLOOR PLAN - all existing  
 SCALE 1:100

SCHEDULE OF AREAS			
DESCRIPTION OF BUILDINGS	BUILDINGS ON SITE	COVERAGE	F.A.R.
SITE AREA	1034 m <sup>2</sup>		
COVERAGE	40% = 413,60 m <sup>2</sup>		
F.A.R. PERMITTED	1		
UNITS 1 to 4 (EXISTING):			
GROUND FLOOR - UNITS	221,46	221,46	221,46
FIRST FLOOR - UNITS	182,31	-	182,31
EX. VERANDAHS / PATIOS	8,77	-	-
GROUND FLOOR	35,88	35,88	-
FIRST FLOOR	24,66	24,66	-
EXISTING GARAGES	106,04	106,04	-
NEW COVERED PATIO (ROOF AREA) UNIT 1	11,61	11,61	-
TOTAL ADDITIONAL COVERED AREA	590,53	399,45	403,77

TOTAL ADDITIONAL COVERED AREA - 11,61 m<sup>2</sup>  
 ZONING G.R.2



• SITE PLAN  
 SCALE 1:500

RATE NO 10426048  
 VOLUME 3-S.C. 000